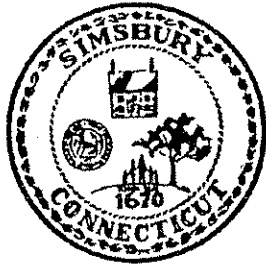


JUN 8 2021 4:09:25
ERICK BUTLER, TOWN CL



Town of Simsbury

933 HOPMEADOW STREET
06070

P.O. BOX 495

SIMSBURY, CONNECTICUT

Office of Community Planning and Development

AGENDA DESIGN REVIEW BOARD – REGULAR MEETING MONDAY, June 7, 2021 at 5:30 PM

Watch meetings LIVE and rebroadcast on Comcast Channels 96, 1090, Frontier Channel 6071 and LIVE streamed or on-demand at www.simsburystv.org

I. CALL TO ORDER

1. APPOINTMENT OF ALTERNATES

II. NEW BUSINESS

1. Zoning Commission Applications

- a. Application #21-10 of Valley Recreation LLC, Owner; MACK V Development LLC, Applicant; for special exceptions pursuant to Section 4.5 for outdoor storage associated with a retail business and Section 10.2.5.(a) for a reduction 55 of the required parking spaces; for the construction a new retail building at the property located at 1603 Hopmeadow Street (Assessor's Map H02, Block 403, 002BLot) Zone B-2

2. Zoning Compliance Referral

- a. Zoning Compliance permit for exterior renovations to the Anna's Kitchen tenant space located at 712 Hopmeadow Street (Drake Hill Mall property) Zone SC-1.

III. Approval of Minutes from May 19, 2021 regulation meeting

IV. ADJOURNMENT

PLEASE NOTIFY MICHAEL GLIDDEN AT 860-658-3292 OR MGLIDDEN@SIMSBURY-CT.GOV WITH YOUR AVAILABILITY TO ATTEND THIS MEETING.



Town of Simsbury

Office of Community Planning and Development - Zoning Commission Application

DATE: 05/04/21 FEE: \$ _____ CK #: _____ APP #: _____

PROPERTY ADDRESS: 1603 Hopmeadow Street

NAME OF OWNER: Valley Recreation, LLC

MAILING ADDRESS: 65 Nod Road, Avon, CT 06001

EMAIL ADDRESS: _____ TELEPHONE # _____

NAME OF AGENT: MACK V Development, LLC

MAILING ADDRESS: PO Box 370280

EMAIL ADDRESS: mark.daddabbo@mackvdevelopment.com TELEPHONE # 860-729-6812

ZONING DISTRICT: B-2 LOT AREA: 2.5943 SQ FT/ACRES

Does this site have wetlands? ☐ YES ☒ NO Have you applied for a wetlands permit? ☐ YES ☐ NO
N/A

REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):

- ☐ **ZONE CHANGE:** The applicant hereby requests that said premises be changed from zone _____ to zone _____.
- ☐ **TEXT AMENDMENT:** Please attach proposed changes, including Articles and Sections, and purposes.
- ☒ **SPECIAL EXCEPTION:** The applicant hereby requests a public hearing pursuant to Article 4.5*, Section 10.2 (5)(a).
- ☒ **SITE PLAN APPROVAL:** The applicant hereby requests _____ *Outside storage in connection with the operation of a business
- ☐ PRELIMINARY ☒ FINAL ☐ SITE PLAN AMENDMENT pursuant to Article 5, Section J
- ☒ **SIGN PERMIT**
- ☐ **OTHER (PLEASE EXPLAIN):** _____

*NOTE: Each application must fully comply with the requirements of the Zoning Regulations prior to receipt by the Commission. **Each application for zone change and/or special exception shall include a list of names and addresses of abutting property owners and all property owners within 100 feet of the subject site.***

A check payable to the Town of Simsbury must accompany this **original signed and dated** application. **Six (6) complete (folded) sets of plans and eleven (11) copies of the completed application and correspondence** must also be included. If you have a PDF of your plans, we would appreciate a copy of that sent to lbarkowski@simsbury-ct.gov, as well.

SEE ATTACHED ATTACHED LETTER
Signature of Owner _____ Date _____

[Signature]
Signature of Agent _____ Date 05/04/21

Telephone (860) 658-3245
Facsimile (860) 658-3206

www.simsbury-ct.gov

933 Hopmeadow Street
Simsbury, CT 06070

Project Overview
1603 Hopmeadow Street
Simsbury, Connecticut

Introduction: This application is for a Special Exception to allow outdoor storage associated with a retail use as well as for a reduction in the required number of parking spaces.

The applicant is proposing to build a Tractor Supply Company store at 1603 Hopmeadow Street, Simsbury, Connecticut. The retail store consists of four (4) sales areas.

- The Main Retail Building. The total building size is 19,758 square feet. Most of the building will be open to the general public as general retail space. The remaining area will be used for a stock room, pet wash area, restrooms, mechanical room, and manager's office.
- The Outside Display Area. This is a 13,050 square foot, fenced in area located adjacent to the building. The Outdoor Display Area is for the outdoor display and sale of bulk propane from a 1,000-gallon tank, welding gas, trailers, pedal boats, and motorized vehicles, including mini-bikes, dirt bikes, scooters, UTVs (Utility Terrain Vehicles) and ATVs (All Terrain Vehicles). Other items located in the Outdoor Display Area include tractor attachments, fencing, corral panels, livestock feeders, wood pellets, hay and forage, and landscape materials.
- The Permanent Sidewalk Display Area. This area is used for the outdoor display of merchandise on the sidewalk directly in front of the building. Items displayed in this area include seasonal items, such as lawnmowers, riding lawn tractors, leaf blowers, snow blowers, recreational vehicles, log splitters, wood pellets, and landscape supplies. This area is proposed to be in two section, one being 1,446 square feet in size and the other 930 square feet in size.
- The Permanent Trailer & Equipment Display Area. This 3,000 square foot area will be used for the display of landscaping and box trailers. It is located to the west of the fenced outdoor display area.

These retail areas are shown on the submitted site plans. The applicant is requesting approval for all uses listed above, as well as those included on the attached Sample Zoning Letter.

We are also requesting a waiver from the required 109 required parking spaces. As proposed on the site plans, the applicant is seeking to construct 65 spaces and defer the construction of 55 spaces in accordance with Section 10.2.5.(a).

Statement Re: Special Exception Criteria - Section 12
1603 Hopmeadow Street
Simsbury, Connecticut

1. Orderly Development. The location, type, character, and size of the use and of any building or other structure in connection therewith shall be in harmony with the appropriate and orderly development of the Town and the neighborhood and will not hinder or discourage the appropriate development and use of the adjacent property.

The proposed site plan is very similar to what currently exists on the site in terms of the overall configuration. The general location of the building utilizes almost the same footprint and will also be a 1-story concrete block structure. The existing accessway will remain at the northeast corner of the site. The parking lot layout is very similar to what currently exists.

The main difference is in the use: a bowling alley versus a retail store. This site is located in the General Business Zone (B-2) and there are retail uses at 1606 and 1610 Hopmeadow Street. As far as trip generation and customer counts, Tractor Supply company retail stores do not generate an excessive amount of traffic. Stores generally close by 9 p.m. The retail use is arguably less intense as far as the timing of "busy hours", the number of peak trips and how long people stay at the property and more in harmony with the surrounding neighborhood, which includes similar retail uses. This development will not hinder or discourage the development and use of the adjacent properties. The surrounding area is mostly developed, and the remaining vacant parcels are either dedicated open space, town farmland or available for commercial use.

2. Property Values. The proposed use will not depreciate adjacent property values and the size and height of all proposed buildings and the extent of all proposed site improvements shall be such as to harmonize with the existing character of the neighborhood in which such use is to be established.

The height of the building at 20' 8" is below the maximum of 40' feet. The building size of 19,758 sq. ft. is slightly smaller than the existing building.

Architectural renderings and elevations of the building and signage are included with the Site Plan. Tractor Supply Company is the largest operator of rural lifestyle retail stores in the United States and its stores tend to be located in towns outlying major metropolitan markets and in rural communities. Because of their desire to be located in such communities, their site design and architectural elements have been configured in such a way as to keep with the community's character. It has over 1,700 stores in 49 states and has taken great care to ensure that its design elements have universal appeal. This development, in keeping with Tractor Supply Company's high standards, will be attractive, well-maintained, and in line with the area's rural character.

3. Public Safety. The nature and location of the proposed use and of any building or other structure in connection therewith shall be such that there is adequate access to it for the purpose of fire protection, police protection and other emergency equipment.

The site is located in a business zone and only set back 150' from the state roadway, Hopmeadow Street (CT Rte. #10). It is easily accessible by emergency service vehicles and there is adequate space for turning maneuvers.

The utility plan includes a 6" fire protection line and fire hydrant located about midway along the front (easterly) property line, in front of the building. The building will be sprinklered. A copy of this plan was submitted to the Simsbury Fire Marshal as part of the regulatory approval process.

No hazardous materials are to be stored on site. There will be two (2) 1000-gallon underground propane tanks located to the rear of the building, just west of the rear loading area.

4. Traffic Considerations. The streets serving the proposed use are adjacent to carry all prospective traffic; adequate provision is made for entering and leaving the subject site in such a manner that no undue hazard to traffic or undue traffic congestion shall be created; adequate off-street parking and loading facilities are provided as required by Section 10.2 of these Regulations; and the development of the subject site provides for the continuation and appropriate improvement of streets terminating at or proposed to be constructed through the lot on which the proposed use is to be located.

The site is located off of a state roadway (CT Rte. #10) which is adequately suited to handle the traffic that will be generated by this development.

Tractor Supply Company stores do not generate excessive amounts of traffic. Listed below are anticipated customer counts for a typical Tractor Supply Company store.

Weekdays

Daily total count:	150-200 customers
Peak periods per hour:	20-30 customers

Weekends

Daily total count:	200-350 customers
Peak periods per hour:	30-50 customers

The average customer will stay in the store approximately 15 to 20 minutes.

The site plan proposes to eliminate one of the accessways off of Hopmeadow Street, making the accessway at the northeast corner of the site the main entrance and exit. As it is already existing, no additional curb cuts are necessary.

Per the Zoning Regulations, 2.75 parking spaces are required for every 500 sq. feet. For this project, 109 parking spaces are required. The applicant's plans show 65 parking spaces,

including 55 deferred spaces, for a total of 120 (5 of which are handicapped spaces). This reduction is being requested pursuant to Section 10.2.5(a) of the Zoning Regulations. The future reserve parking area is shown on Sheet 4 of the Site Plan. Tractor Supply is unique in that its retail model requires a significant area for outdoor display. It does not attract the same customer traffic, and therefore requires less parking than other retailers its size.

During an analysis of the parking requirements for the ten Tractor Supply Company retail stores we have had approved in Connecticut, most town regulations have required 1 space for every 250 sq. ft. of retail space, or something similar in nature, with parking requirements of between 77 and 87 spaces. Based on several other Tractor Supply Company retail stores that we have constructed, 65 spaces are more than adequate. In a few cases in which more parking was required, we sought to defer construction of those spaces. We are not aware of any site having insufficient parking even at those reduced amounts. Included with this application are letters from other municipalities where we have developed Tractor Supply Company retail stores stating that the provided parking is adequate.

We anticipate the primary vehicles entering and exiting this site will be customer vehicles, such as passenger cars, pick-up trucks, and pick-up trucks with landscape trailers. There are three (3) 10'x 40' pull-thru spaces located on the northerly side of the fenced outdoor display area to accommodate these trailers.

The only other vehicles that will enter and exit this site will be delivery trucks. The delivery trucks will be single unit box trucks and tractor trailers (WB-65). It is anticipated that the deliveries will occur once a week. The loading area for Tractor Supply is located to the rear of the building in an area separate from customer and pedestrian traffic.

5. Landscaping and Buffers. The site on which the proposed use is to be located will be suitably landscaped to protect the neighborhood and adjacent property and the proposed use of the subject property will not result in the loss of any existing buffering between the subject site and adjacent single-family residentially zoned properties. When adequate buffering is not found to exist, sufficient buffers between the proposed use and adjacent properties shall be provided.

By utilizing much of the site's existing configuration and layout, on already disturbed land, we are able to minimize any impact to the existing landscaping and buffers. The project has already obtained a variance to allow for parking over the 25' front yard setback and that was requested in order to eliminate the current rear yard non-conformity as the property abuts residential properties to the west.

6. Relationship to Utility Systems, Drainage Systems, and Impact on Community Facilities.

The subject site has adequate water and sewer systems to service the proposed use. Adequate provisions for storm water drainage can be provided without adversely affecting neighboring properties or adjacent public drainage systems, and the proposed use will not adversely impact existing community facilities.

It is proposed that the new building on this site will be serviced by both public water and public sewer, with connections to the existing mains located in Route #10. As part of the

site plan approval process, the plans will be made available for review to both the Water Pollution Control Authority and the Farmington Valley Health District, as necessary.

Cable, electric, and telephone service are also available to the site.

Runoff from the parking area will be handled via a drainage system, which includes an underground detention system and a network of catch basins , as detailed in the drainage report to be submitted as part of this application. These measures provide a degree of water quality treatment.

There will be no impact on any schools or other public or community facilities as a result of this development.

SAMPLE ZONING LETTER

TO BE PRINTED ON LETTERHEAD OF MUNICIPALITY OR JURISDICTION

Date

Fill in Landlord name and address here

RE: Proposed Tractor Supply Company Store

ADDRESS

CITY, STATE

To whom it may concern:

The above referenced property lies within a _____ Zoning District.

The proposed use of the Property as a Tractor Supply Company retail store is:
(please check applicable statement):

- ☐ A permitted use by right in the Zone
- ☐ Permitted upon obtaining a Special Use Permit
- ☐ Permitted upon obtaining a Variance
- ☐ Not permitted

The required Variance or Special Use Permit mentioned above is described in
Section _____ of the ordinance of this jurisdiction and
was granted on _____.

We understand that TSC wishes to display merchandise on certain areas outside of the building.

1. **The outdoor display of merchandise on the sidewalk directly in front of the building
(as shown on the attached site plan) in this Zoning District is:**
(please check applicable statement)

- ☐ Permitted
- ☐ Permitted upon obtaining a variance or obtaining a Special Use Permit
- ☐ Not Permitted

The required Variance or Special Use Permit mentioned above is described in
Section _____ of the ordinance of this jurisdiction and
was granted on _____.

SAMPLE ZONING LETTER

Page 2

2. **The outdoor display of merchandise inside the Fenced Outdoor Display Area (as shown on the attached site plan) in this Zoning District is:**

(please check applicable statement)

☐ Permitted

☐ Permitted upon obtaining a variance or obtaining a Special Use Permit

☐ Not Permitted

The required Variance or Special Use Permit mentioned above is described in Section _____ of the ordinance of this jurisdiction and was granted on _____.

3. **The outdoor display of merchandise in the Permanent Trailer & Equipment Display Area (as shown on the attached site plan) in this Zoning District is:**

(please check applicable statement)

☐ Permitted

☐ Permitted upon obtaining a variance or obtaining a Special Use Permit

☐ Not Permitted

The required Variance or Special Use Permit mentioned above is described in Section _____ of the ordinance of this jurisdiction and was granted on _____.

4. **The outdoor display and sale of bulk propane from a 1,000-gallon tank, welding gas, trailers, pedal boats and motorized vehicles, including mini-bikes, dirt bikes, scooters and UTVs and ATVs, in the aforementioned outdoor display areas in this Zoning District is:**

(please check applicable statement)

☐ Permitted

☐ Permitted upon obtaining a variance or obtaining a Special Use Permit

☐ Not Permitted

The required Variance or Special Use Permit mentioned above is described in Section _____ of the ordinance of this jurisdiction and was granted on _____.

SAMPLE ZONING LETTER

Page 3

5. **The outdoor display and sale of hay and forage in this Zoning District is:**
(please check applicable statement)

_____ Permitted

_____ Permitted upon obtaining a variance or obtaining a Special Use Permit

_____ Not Permitted

The required Variance or Special Use Permit mentioned above is described in
Section _____ of the ordinance of this jurisdiction and
was granted on _____.

6. **Pet grooming and washing services in this Zoning District are:**
(please check applicable statement)

_____ Permitted

_____ Permitted upon obtaining a variance or obtaining a Special Use Permit

_____ Not Permitted

The required Variance or Special Use Permit mentioned above is described in
Section _____ of the ordinance of this jurisdiction and
was granted on _____.

Please let me know if you have any questions. I may be reached at telephone number

_____.

Sincerely,

Signature

Print Name

Title

SAMPLE ZONING LETTER

Attachment: Tractor Supply Company - Site Plan

HOUSING AUTHORITY OF SIMSBURY
1600 HOPMEADOW STREET
SIMSBURY CT 06070

H02 403 001
BASHKIN IRIS
3 BRETTONWOOD DRIVE
SIMSBURY CT 06070

H02 403 001
BRADLEY SUSAN
9 BRETTONWOOD DRIVE
SIMSBURY CT 06070

H02 403 001
SANDOVAL SYBIL L
44 BRETTONWOOD DRIVE
SIMSBURY CT 06070

H02 403 000A
TOWN OF SIMSBURY
933 HOPMEADOW STREET
SIMSBURY CT 06070

H02 403 008
GRAHAM SCOTT A AND LAURA F
4 LAURIE-JOE WAY
SIMSBURY CT 06070

H02 402 006
B3G LLC
1606 HOPMEADOW STREET
SIMSBURY CT 06070

H02 403 001
MCKEON DOROTHY E
5 BRETTONWOOD DRIVE
SIMSBURY CT 06070

H02 403 001
WELDON CHRISTOPHER AND BARBARA
48 BRETTONWOOD DRIVE
SIMSBURY CT 06070

H02 403 001
LOBO DENNIS
46 BRETTONWOOD DRIVE
SIMSBURY CT 06070

H02 403 007
VELLAIPARAMBIL JOSE K AND VADAKEL
5 LAURIE-JOE WAY
SIMSBURY CT 06070

H02 403 001
HORDEJUK DARIUSZ AND AGNIESZKA
49 BRETTONWOOD DRIVE
SIMSBURY CT 06070

H02 403 001
BOSCO JAMES J AND MAUREEN G
7 BRETTONWOOD DRIVE
SIMSBURY CT 06070

H02 403 001
THOMAS SHARON R
42 BRETTONWOOD DRIVE
SIMSBURY CT 06070

H02 403 002B
VALLEY RECREATION LLC
65 NOD ROAD
AVON CT 06001

H02 403 009
PAYANDEH MEHRAN AND IRIS
2 LAURIE-JOE WAY
SIMSBURY CT 06070

EXHIBIT C

Owner's Authorization

Location
1803 Hopmeadow Street
MBL H02 403 0028
Simsbury, CT 06070

Ownership:
Valley Recreations LLC
65 Nod Road
Avon CT 06001

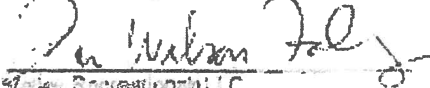
Re: *Owner's Authorization to file all necessary applications for Property located on
1803 Hopmeadow Street, Simsbury, CT 06070*

To Whom It May Concern

The undersigned, owner of the property referenced above and as said forth in the Real Estate Contract attached, hereby authorizes the firm of MACK V LLC of Westfield, Connecticut, and its attorneys and representatives to file and pursue such applications on the undersigned's behalf with the various land use commissions in the Town of Simsbury CT and state of Connecticut including but not limited to: Planning and Zoning; Inland Wetlands; Conservation; Design Review along with any other necessary municipal, state or federal governing body (including but not limited to utility companies, Department of Transportation, Army Corps of Engineers) which may be required for the development of said property.

A copy of this authorization may be treated as if it were an original.

Dated: January 15, 2021



Valley Recreations LLC
President



Town of Orange, Connecticut

Zoning Department

TOWN HALL
617 ORANGE CENTER ROAD
ORANGE, CONNECTICUT 06477-2499

PHONE: (203) 891-4743
FAX: (203) 891-2185
www.orange-ct.gov

March 26, 2019

James P. Cassidy, P.E.
Hallisey, Pearson & Cassidy Engineering Associates, Inc.
630 Main Street, Unit 1A
Cromwell, CT 06416

Re: Tractor Supply located at 253 Indian River Road, Orange, CT.

Dear Mr. Cassidy:

This letter is to confirm the following:

- the above referenced Tractor Supply was approved on November 17, 2015 and Opened in the fall of 2016.
- 91 parking spaces were required for the development. 10 spaces were deferred by an approved Special Permit approval.
- the number of parking spaces for the Orange Tractor Supply is more than adequate to service the retail use. I have made numerous on-site visits to the store and have never seen the parking area at more than 1/2 capacity.

If you have any questions I can be reached at 203 891-4731.

Very truly yours,

Paul Dinice
Zoning Administrator &
Enforcement Officer



BOROUGH OF NAUGATUCK

229 Church Street
Land Use Office-2nd floor
Naugatuck, CT 06770
TEL (203) 720-7042
FAX (203) 720-5026

March 21, 2019

To whom it may concern:

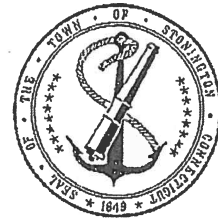
The Tractor Supply Company retail store, located at 1160 New Haven Road, Naugatuck, CT, was approved in 2016. There are 72 parking spaces available. This amount of parking appears to be adequate and I am unaware of any complaints related to insufficient parking.

Sincerely,

Lori Rotella
Town Planner/WEO

TOWN OF STONINGTON

Department of Planning
152 Elm Street
Stonington, Connecticut 06378
(860) 535-5095 • Fax (860) 535-1023



March 25, 2019

James P. Cassidy, P.E.
Hallisey, Pearson & Cassidy Engineering Associates, Inc.
630 Main Street, Unit 1A
Cromwell, CT 06416

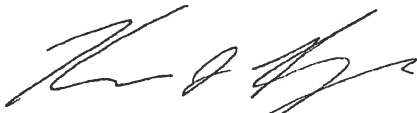
Re: Tractor Supply Co. parking

Dear Mr. Cassidy:

The Tractor Supply Company retail store, located at 331 Liberty St., Pawcatuck, CT, was approved by the Stonington Planning and Zoning Commission in 2010. The 19,128SF building was developed with 77 parking spaces (1 space / 250SF). This amount of parking appears to be more than adequate and I am unaware of any complaints related to insufficient parking.

If you have any questions related to these comments, please feel free to contact me at 860.535.5095 or via email at kbrynes@stonington-ct.gov.

Sincerely,



Keith A. Brynes, AICP
Town Planner



City of Middletown

245 deKoven Drive
Middletown, Connecticut 06457

Mark S. DeVoe, AICP
City Planner
(860) 638-4842
Mark.DeVoe@Middletownct.gov

March 15, 2019

James P. Cassidy, P.E.
Hallisey, Pearson & Cassidy Engineering Associates, Inc.
630 Main Street, Unit 1A
Cromwell, CT 06416

RE: Tractor Supply, Middletown, CT

Dear Mr. Cassidy,

On July 18, 2015, Middletown's Planning and Zoning Commission approved a site plan for NERP Holding and Acquisitions Co, LLC to locate a Tractor Supply Company at 823-833 Newfield Street in Middletown, CT. The plan calls for 88 spaces, which were constructed in accordance with the approved site plan (attached). Empirical observations at this location support the fact that the amount of parking required (see parking tabulations) is more than adequate. We have never observed the lot at or near capacity. Furthermore, we have had no complaints from the operators of the site or the general public about a lack of on-site parking.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink that reads "Mark DeVoe". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Mark DeVoe, AICP
City Planner, Middletown, CT

Attachment

Julie Petrella

Subject: FW: Tractor Supply Company

From: George Kral [<mailto:KralG@ci.guilford.ct.us>]

Sent: Tuesday, March 26, 2019 10:34 AM

To: 'Julie Petrella'

Subject: RE: Tractor Supply Company

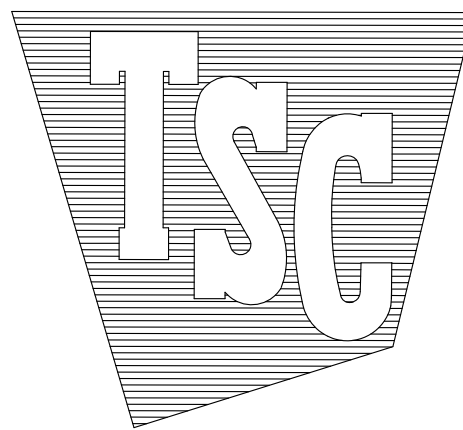
Hello Julie,

The Guilford Tractor Supply store ((19,000 sq. ft.) was approved with 77 required parking spaces. 21 spaces were deferred meaning that they could be built if needed but not required as part of the initial site development. Based upon my observations the 56 paved spaces are more than adequate for this use.

George Kral
Town Planner

SITE PLAN & SPECIAL EXCEPTION APPLICATION

FOR



TRACTOR
SUPPLY CO

19,758 SQ. FT. RETAIL BUILDING,
ASSESSOR'S MAP/BLOCK/LOT#H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT

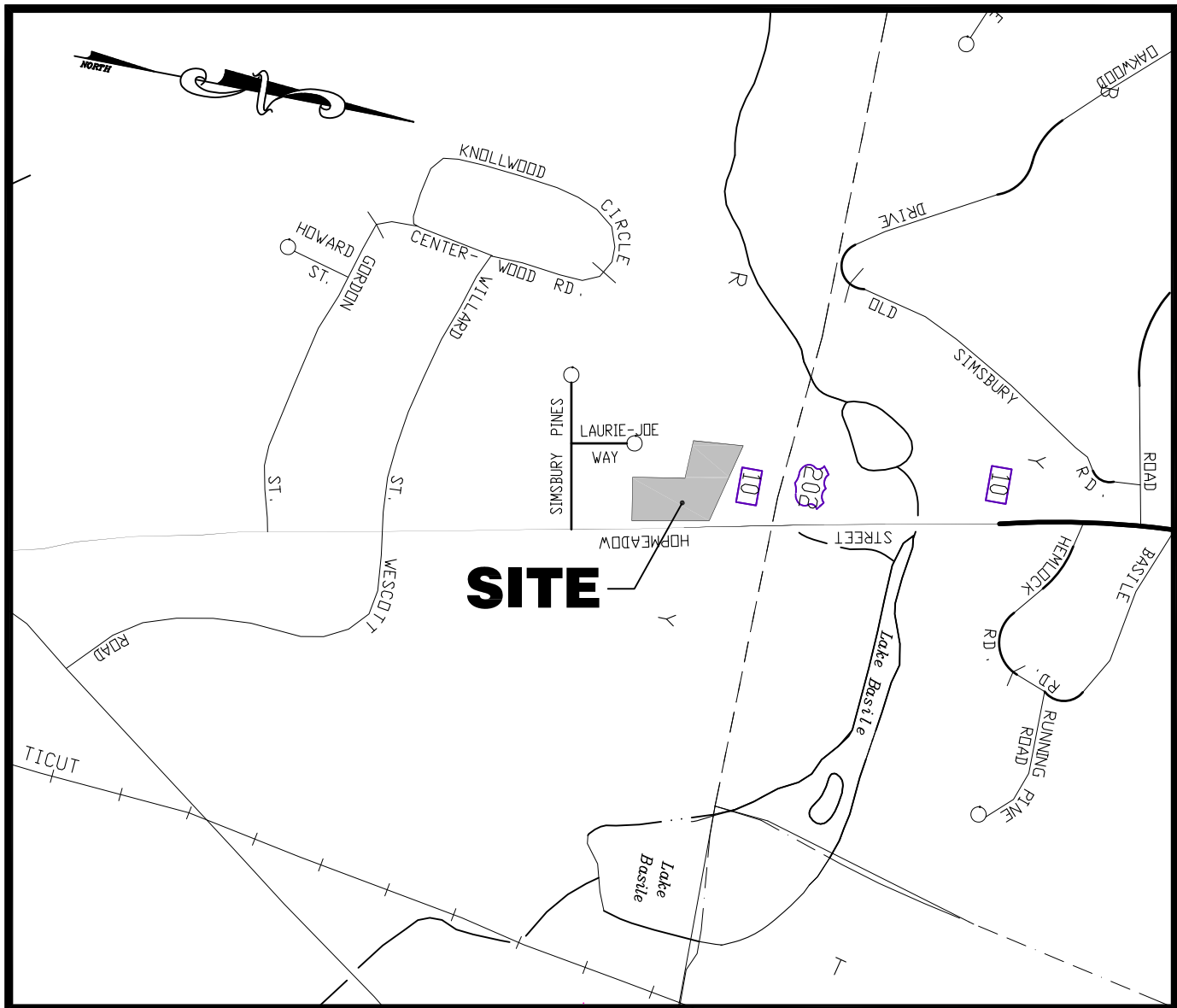
DATE: APRIL 28, 2021

OWNER

VALLEY RECREATION, LLC
65 NOD ROAD
AVON, CT 06001

APPLICANT & DEVELOPER

MACK V DEVELOPMENT, LLC
93 NORTH MAIN STREET
WEST HARTFORD, CT 06107
ATTENTION: MATTHEW DARLING
PHONE NUMBER: 860-319-7914



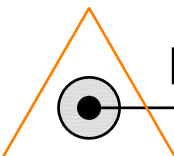
LOCATION MAP

SCALE: 1"=1,000'

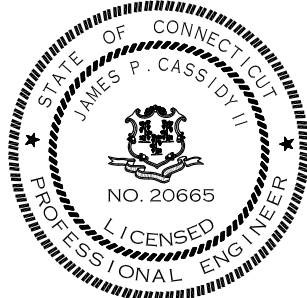
SHEET INDEX

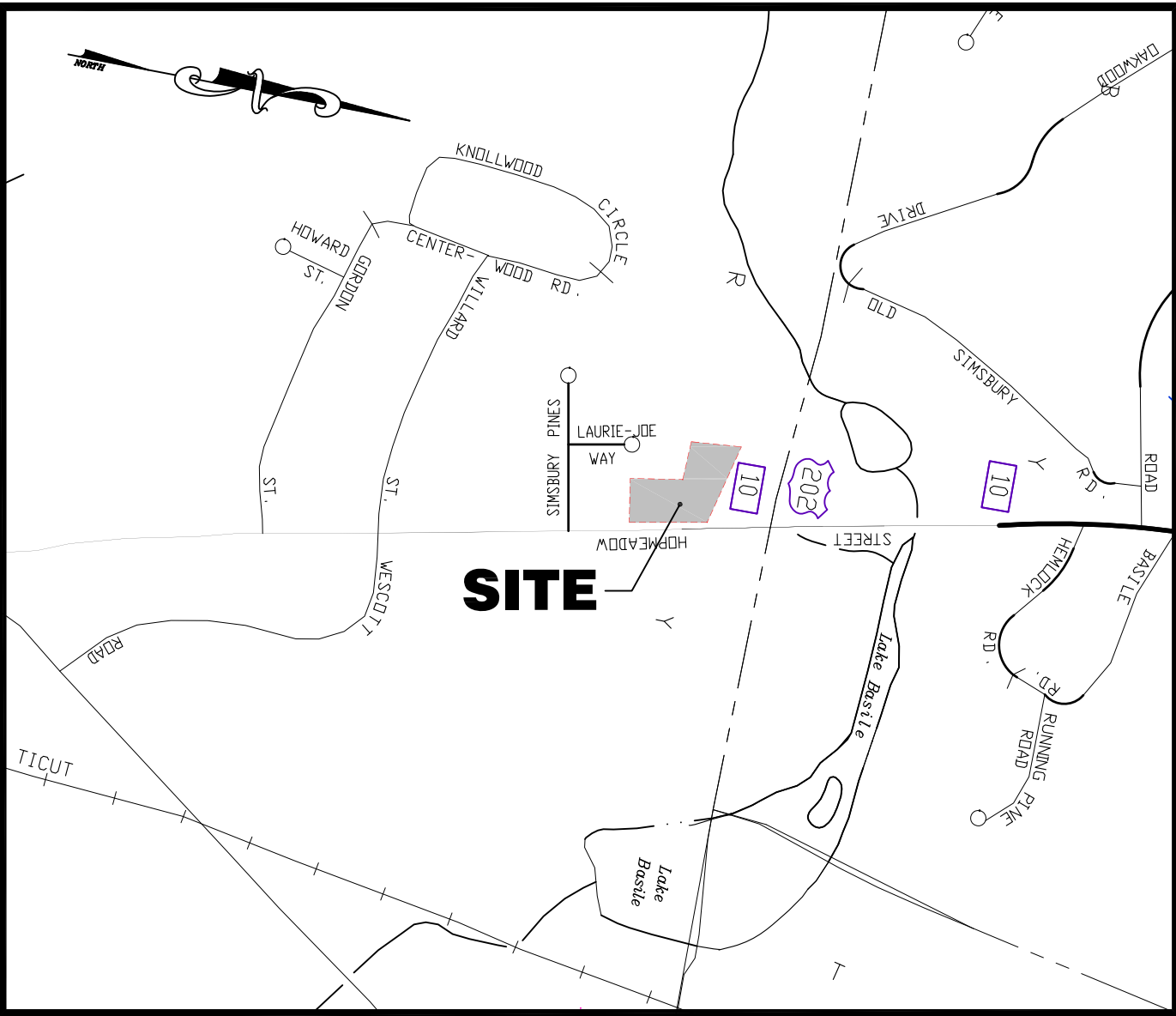
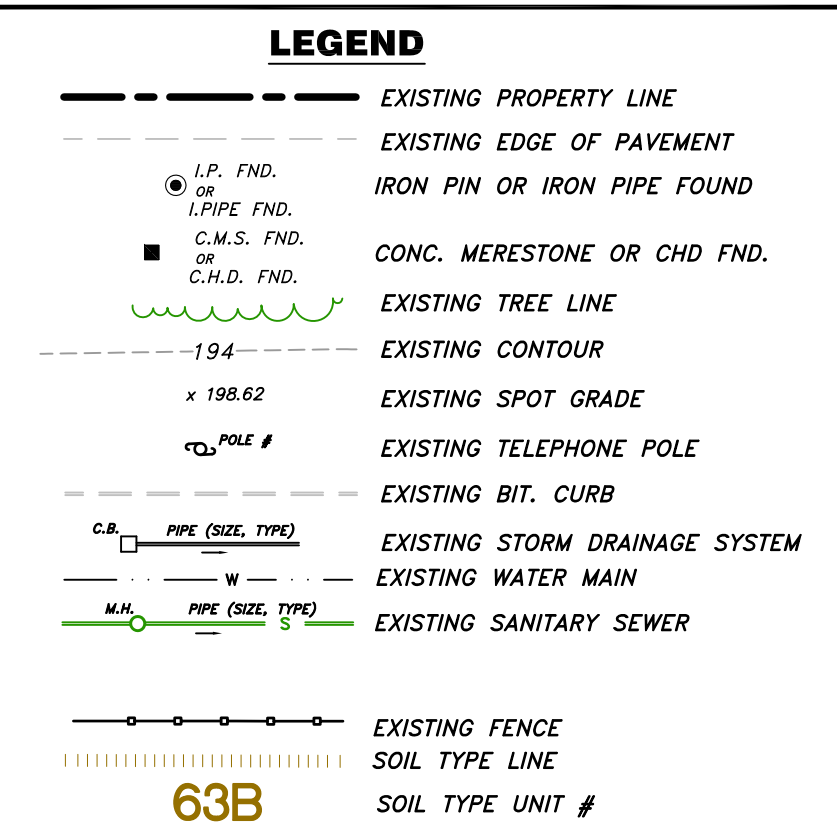
SHEET #	DRAWING TITLE
1	EXISTING CONDITIONS SURVEY
2	SITE DEMOLITION PLAN
3	ZONING IMPROVEMENT LOCATION SURVEY / SITE LAYOUT PLAN
4	DEFERRED PARKING PLAN
5	SITE GRADING & DRAINAGE PLAN
6	SITE UTILITIES PLAN
7	EROSION AND SEDIMENT CONTROL PLAN
8	EROSION AND SEDIMENT CONTROL NOTES
9	GENERAL NOTES
10 -14	SITE DETAILS
15	SIGN DETAILS
LS-1.0	SITE LANDSCAPING PLAN
PH-1.0	SITE LIGHTING PLAN
A-1	BUILDING ELEVATIONS

NO.	DATE	DESCRIPTION	BY



HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709






NOTES:

1. SURVEY NOTES:
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Survey and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type of Survey is PROPERTY & TOPOGRAPHIC SURVEY
 - Boundary Determination Category is DEPENDENT RESURVEY MAP REF A
 - Class of Accuracy is HJOR="A-2", "I-2" TOPO, "Y-2" VERT.
2. PROPERTY MAY BE BURDENED AND/OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS OR RIGHTS OF WAY.
3. A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD ZONE X (AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD) AS SHOWN OF FIRM COMMUNITY MAP NO. 09003C0191F EFFECTIVE DATE: SEPT. 26, 2008.
4. PROPERTY IS ZONED: (B-2) BUSINESS ZONE
5. ORIGINAL PARCEL AREA = 113,008 sq.ft., or 2.5943 acres.
6. MAP REFERENCE: A). "SITE PLAN OF DEVELOPMENT SHOWING EXISTING AND PROPOSED IMPROVEMENTS FARMINGTON VALLEY RECREATION, INC. PREPARED FOR VICTOR RIJIA #1605 HOPKESWOOD STREET SIMSBURY, CONNECTICUT, B-1 ZONE, DATE: SEPT. 30, 1985, REVISED through: 05-9-1986, PREPARED BY: HENRY CHARLES COTTON"
- B). "SCHEDULE 3 (31 UNITS) PROPERTY/BOUNDARY SURVEY DEVELOPER: 1617 HOPKESWOOD, LLC SUMMFIELD AT SIMSBURY HOPKESWOOD STREET, SIMSBURY, CONNECTICUT, DATE: 3-17-99, REVISED through: 3-24-99, SHEET: 1 OF 2, PREPARED BY: THE BONGIOVANNI GROUP, INC."
- C). "SIMSBURY PINES PREPARED FOR C.G.R. DEVELOPERS, INC. HOPKESWOOD STREET - SIMSBURY, CONNECTICUT, DATE: MAY 06, 1993, REVISED through: 8/10/93, PREPARED BY: ED LALLY AND ASSOCIATES, INC."

ZONE: B-2	REQUIRED	EXISTING
USE		BOWLING ALLIES/MINI-GOLF
MINIMUM LOT AREA	NO MIN.	113,008 sq. ft.
MIN. LOT FRONTAGE	N/A	355.14'
MAX. IMPERVIOUS COVERAGE	40%	84,199 sq.ft./113,008 sq. ft.= 74.43%
MAX. BUILDING HEIGHT	40'	<40'
MIN. FRONT YARD DEPTH	25'	183.8'
MIN. SIDE YARD DEPTH	20'	5.7' * / 22.3'
MIN. REAR YARD	25'	20.3'*
* - DENOTES EXISTING NON-CONFORMING		

*— DENOTES EXISTING NON-CONFORMING

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:


MARCH 09, 2021
 PAUL A. HALLISEY, LSJ LIC. NO. 7761 DATE

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE
SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL.
UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID.
VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL

**PROPERTY & TOPOGRAPHIC SURVEY
SHOWING EXISTING CONDITIONS
PREPARED FOR
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#H02-403-002B
1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT**

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SCALE: 1"= 30'	CHECKED BY: P.A.H.
DATE: APRIL 28, 2021	DRAWN BY: J.P.C.
JOB No.: 3205	ACAD FILE: 3205-EX
SHEET: 1 OF: 15	
REVISIONS:	

EXIST. BUILDING IN CHECKERED HATCHED AREA TO BE REMOVED AND DISPOSED OFF-SITE.

EXIST. OVERHEAD WIRES AND POLES REMOVED AND DISPOSED OF OFF-SITE.

EXIST. SANITARY SEWER LATERALS FROM 1 STORY CONC. BLOCK BUILDING TO EXISTING SANITARY MANHOLE AND FROM WOOD FRAME BUILDING TO EXISTING SANITARY MANHOLE TO BE REMOVED.

EXIST. MATERIALS FOR MINI GOLF COURSE, BUILDING IN CHECKERED HATCHED AREA TO BE REMOVED AND DISPOSED OFF-SITE.

EXIST. TREES AND LANDSCAPING TO BE REMOVED AND DISPOSED OF OFF-SITE TYP.

EXIST. FENCING TO BE REMOVED AND DISPOSED OF OFF-SITE.

EXIST. CATCH BASIN TO BE REMOVED AND DISPOSED OF OFF-SITE TYP.

EXIST. STORM DRAINAGE PIPE TO BE REMOVED AND DISPOSED OF OFF-SITE.

EXIST. CATCH BASIN TO BE REMOVED AND DISPOSED OF OFF-SITE TYP.

EXIST. IDENTIFICATION SIGN TO BE REMOVED.

EXIST. CONNEX BOX TO BE REMOVED OF OFF-SITE.

EXIST. TREES AND LANDSCAPING TO BE REMOVED AND DISPOSED OF OFF-SITE TYP.

EXIST. CATCH BASIN TO BE REMOVED AND DISPOSED OF OFF-SITE TYP.

EXIST. BIT. CURBING TO BE REMOVED AND DISPOSED OF OFF SITE IN CROSSED HATCH AREA. EXIST. BIT. PAVEMENT TO BE RECLAIMED AND REUSED ON SITE.

EXIST. STORM DRAINAGE PIPE TO BE REMOVED AND DISPOSED OF OFF-SITE.

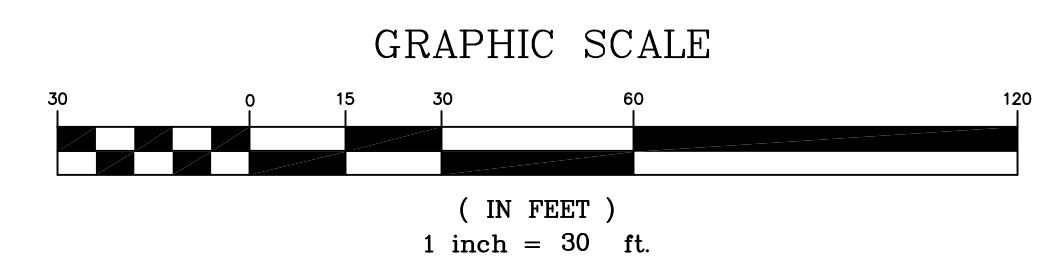
EXIST. TREES AND LANDSCAPING TO BE REMOVED AND DISPOSED OF OFF-SITE TYP.

GENERAL NOTE FOR SITE PREPARATION

1. PRIOR TO ANY CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ESTABLISH ADEQUATE LAYOUT AND GRADING INFORMATION FOR PROPOSED WORK TO ALLOW FOR THE EVALUATION AND ITS RELATIONSHIP TO EXISTING SITE FEATURES AND VEGETATION. THE CONTRACTOR SHALL, IF REQUIRED, MAKE FIELD MODIFICATIONS AS AUTHORIZED BY THE ENGINEER TO ADDRESS EXISTING SITE CONDITIONS.
2. SITE LAYOUT & PROPOSED GRADES ARE TO BE STAKED IN THE FIELD AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO THE BEGINNING OF THE CONSTRUCTION OPERATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE PROPERTY LIMIT LINE DUE TO CONSTRUCTION OPERATIONS FROM THIS PROJECT.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD BEFORE BEGINNING ANY EXCAVATION. CONTRACTOR SHALL CONTACT CALL-BEFORE-YOU-DIG - "811" - AT LEAST 72 HOURS PRIOR TO START OF WORK.
5. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
6. INSTALL SEDIMENT AND EROSION CONTROL MEASURES AT THE DIRECTION OF THE ENGINEER AND IN ACCORDANCE WITH THE STATE OF CONNECTICUT GUIDELINES FOR SEDIMENT AND EROSION CONTROL. SEE SHEET #0 FOR E & S NOTES AND CONSTRUCTION SEQUENCE.
7. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION.
8. MATERIAL STAGING AREAS SHALL BE ESTABLISHED IN COORDINATION WITH THE OWNER, OR THEIR REPRESENTATIVE AT THE SITE.
9. CONTAMINATED SOILS, IF ENCOUNTERED, SHALL BE STOCKPILED ON-SITE (SEE PREVIOUS NOTE) AT THE DIRECTION OF THE ENGINEER, PRIOR TO OFF-SITE DISPOSAL/RECYCLING.
10. BACKFILL AND SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY. PERCENT COMPACTING SHALL BE DEFINED AS THE RATIO OF THE FIELD DRY DENSITY, DETERMINED BY AASHTO T180 (METHOD D), TO THE MAXIMUM DRY DENSITY.

LEGEND

---	EXISTING PROPERTY LINE	C.B. PIPE (SIZE, TYPE)	PROPOSED STORM DRAINAGE SYSTEM
- - - - -	EXISTING EDGE OF PAVEMENT	M.H. PIPE (SIZE, TYPE)	PROPOSED WATER MAIN
● I.P. FND. or ● L.P. PIPE FND.	IRON PIN OR IRON PIPE FOUND	---	PROPOSED SANITARY SEWER
■ C.M.S. FND. or ■ C.H.D. FND.	CONC. MERESTONE OR CHD FND.	---	PROPOSED PROPERTY LINE
~	EXISTING TREE LINE	---	LIMITS OF TOWN WETLANDS
- - - - -	EXISTING CONTOUR	---	LIMITS OF FLAGGED WETLANDS
x 134.4	EXISTING SPOT GRADE	X	EXIST. BIT. CURBING TO BE REMOVED AND EXIST. BIT. PAVEMENT TO BE RECLAIMED AND REUSED ON SITE.
POLE #	EXISTING TELEPHONE POLE	---	EXISTING C.B. OR TREE TO BE REMOVED
---	EXISTING BIT. CURB	---	EXISTING STORM DRAINAGE PIPE TO BE REMOVED
C.B. PIPE (SIZE, TYPE)	EXISTING STORM DRAINAGE SYSTEM	---	EXIST. BUILDING, CONC. & MINI GOLF COURSE TO BE REMOVED.
---	EXISTING WATER MAIN	---	EXISTING SANITARY SEWER LATERAL TO BE REMOVED
M.H. PIPE (SIZE, TYPE)	EXISTING SANITARY SEWER	---	EXISTING OVERHEAD WIRES TO BE REMOVED
---	EDGE OF RIVER	---	
- - - - -	LIMITS OF 100' UPLANDS REVIEW AREA	---	
x - x - x	EXISTING FENCE	---	



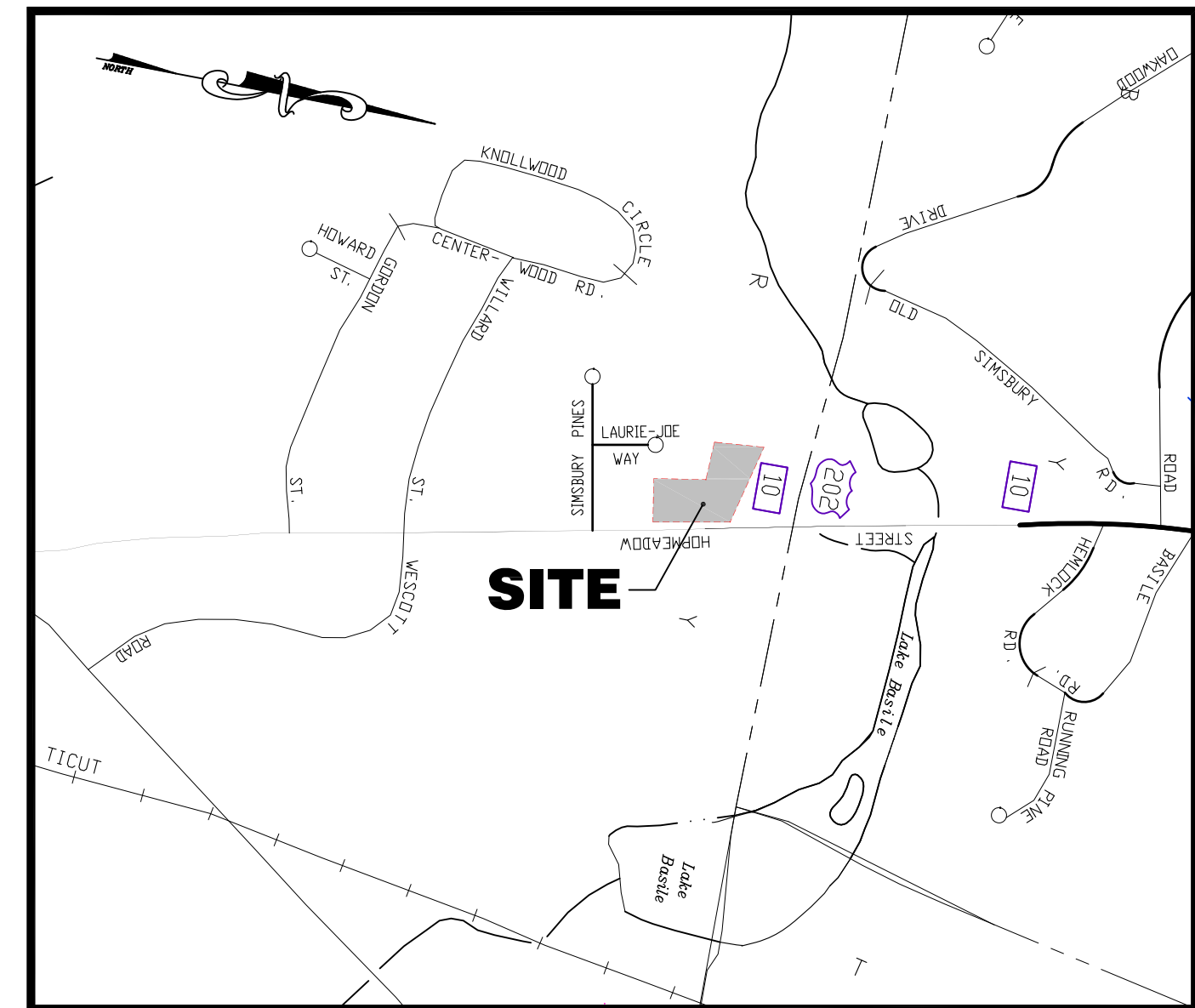
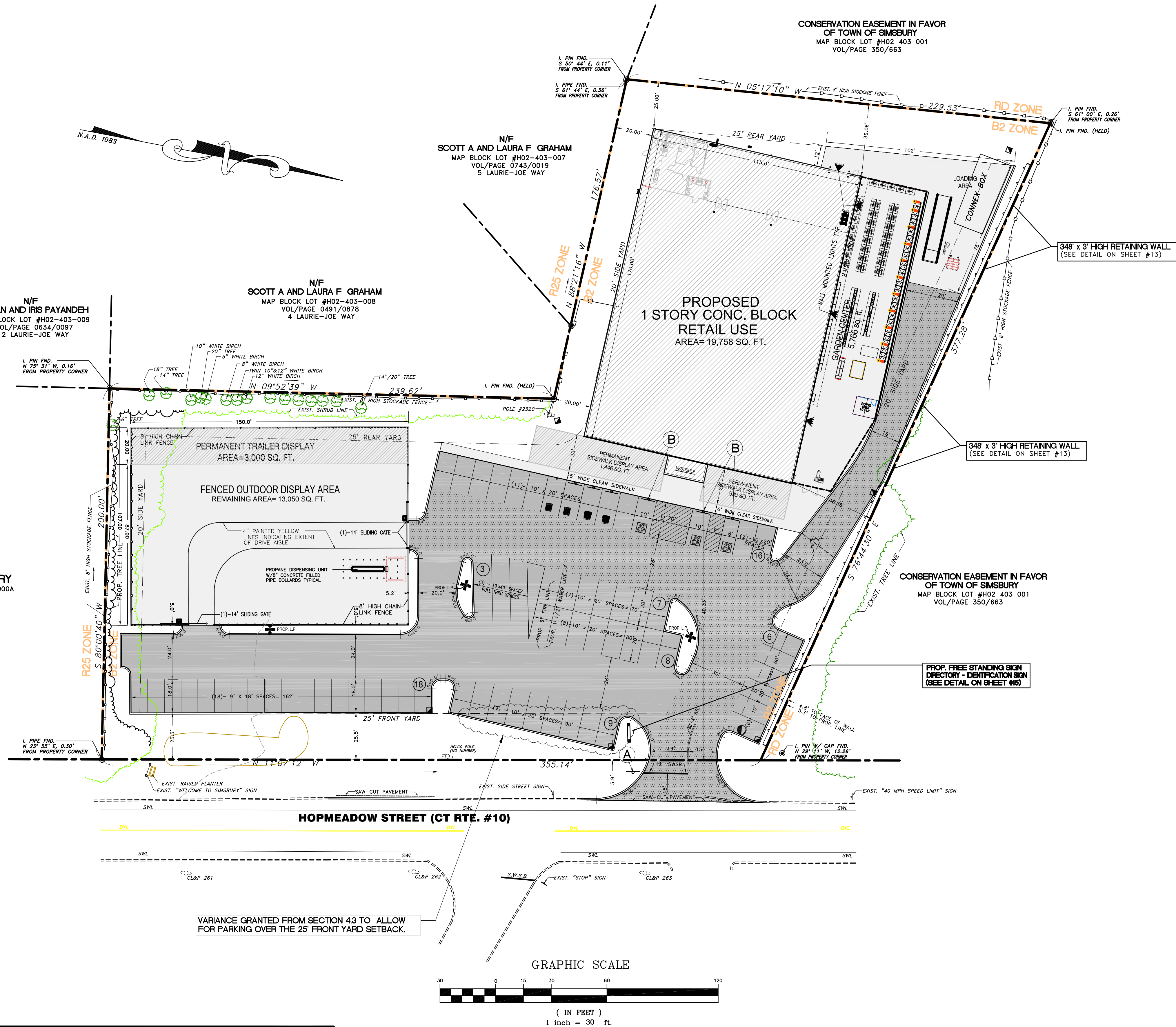
SITE DEMOLITION PLAN

PREPARED FOR:
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

CHECKED BY: P.A.H.
DATE: APRIL 26, 2021
JOB NO.: 3205
ACAD FILE: 3205-DEMO
SHEET: 2 OF 15
REVISIONS:

STATE OF CONNECTICUT
JAMES P. CASSIDY
PROFESSIONAL LAND SURVEYOR
NO. 20665
EXPIRATION DATE 12/31/2025



NOTES:

1. SURVEY NOTES:

- This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
- Type Of Survey is PROPERTY & TOPOGRAPHIC SURVEY
- Boundary Determination Category is DEPENDENT RESURVEY MAP REF A
- Class of Accuracy is :HOR.-"A-2", "T-2" TOPO, "V-2" VERT.
2. PROPERTY MAY BE BURDENED AND/OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS OR RIGHTS OF WAY.
3. A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD ZONE X (AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD) AS SHOWN OF FIRM COMMUNITY MAP NO. 09003C0191F EFFECTIVE DATE: SEPT. 26, 2008.
4. PROPERTY IS ZONED: (B-2) BUSINESS ZONE
5. ORIGINAL PARCEL AREA = 113,008 sq.ft.. or 2.5943 acres.
6. MAP REFERENCE: A). "SITE PLAN OF DEVELOPMENT SHOWING EXISTING AND PROPOSED IMPROVEMENTS FARMINGTON VALLEY RECREATION, INC. PREPARED FOR VICTOR PUJA #1603 HOPEMEADOW STREET SIMSBURY, CONNECTICUT, B-1 ZONE, DATE: SEPT. 30, 1985, REVISED THROUGH: 05-9-1986, PREPARED BY: HENRY CHARLES COTTON"
- B). "SCHEDULE 3 (31 UNITS) PROPERTY/BOUNDARY SURVEY DEVELOPER: 1617 HOPEMEADOW, LLC SUMMERFIELD AT SIMSBURY HOPEMEADOW STREET, SIMSBURY, CONNECTICUT, DATE: 3-17-99, REVISED THROUGH: 3-24-99, SHEET: 1 OF 2, PREPARED BY: THE BONGIOVANNI GROUP, INC."
- C). "SIMSBURY PINES PREPARED FOR C.G.B. DEVELOPERS, INC. HOPEMEADOW STREET - SIMSBURY, CONNECTICUT, DATE: MAY 06, 1993, REVISED THROUGH: 8/10/93, PREPARED BY: ED LALLY AND ASSOCIATES, INC."

ZONING INFORMATION BULK CHART: B-2 ZONE

ZONE: B-2	REQUIRED	EXISTING	PROPOSED
USE		BOWLING ALLIES/MINI-GOLF	RETAIL
MINIMUM LOT AREA	NO MIN.	113,008 sq. ft.	113,008 sq. ft.
MIN. LOT FRONTAGE	N/A	355.14'	355.14'
MAX. IMPERVIOUS COVERAGE	40%	84,199 sq.ft./113,008 sq. ft.= 74.4%	83,670/113,008= 74.0%
MAX. BUILDING HEIGHT	40'	<40'	20'-8"
MIN. FRONT YARD DEPTH	25'	183.8'	149.33'
MIN. SIDE YARD DEPTH	20'	5.7' / 22.3'	20.0'/46.58'
MIN. REAR YARD	25'	20.3'	25.0'

*- DENOTES EXISTING NON-CONFORMING

PARKING DATA SCHEDULE:

USE	REQUIREMENT	REQUIRED
RETAIL STORE	2.75 SPACES / 500 SQ. FT.	19,800 SQ. FT./2.75 SPACES/500 SQ. FT.) 108.9 SPACES
TOTAL REQUIRED= 108.9 SPACES		
TOTAL PARKING SPACES = (59) 10' X 20' SPACES + (3) 10' X 40' PULL-THRU SPACES + (3) HANDICAPPED SPACES TOTAL SPACES PROVIDED = 65 (SPECIAL PERMIT REQUIRED FOR REDUCTION)		

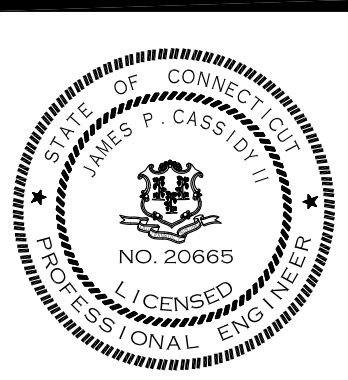
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

PAUL A. HALLISEY, L.S. MARCH 09, 2021
LIC. NO. 7761 DATE

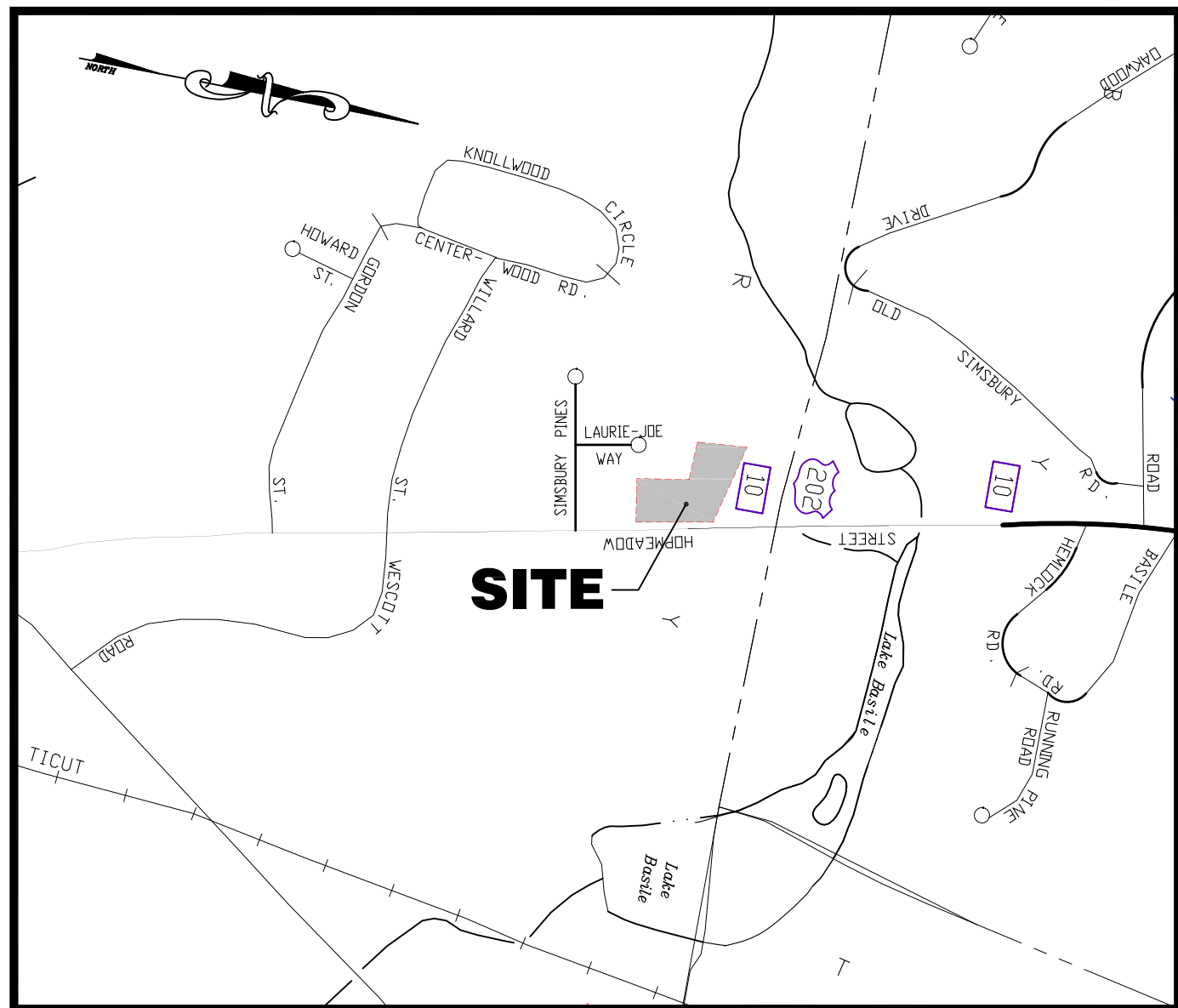
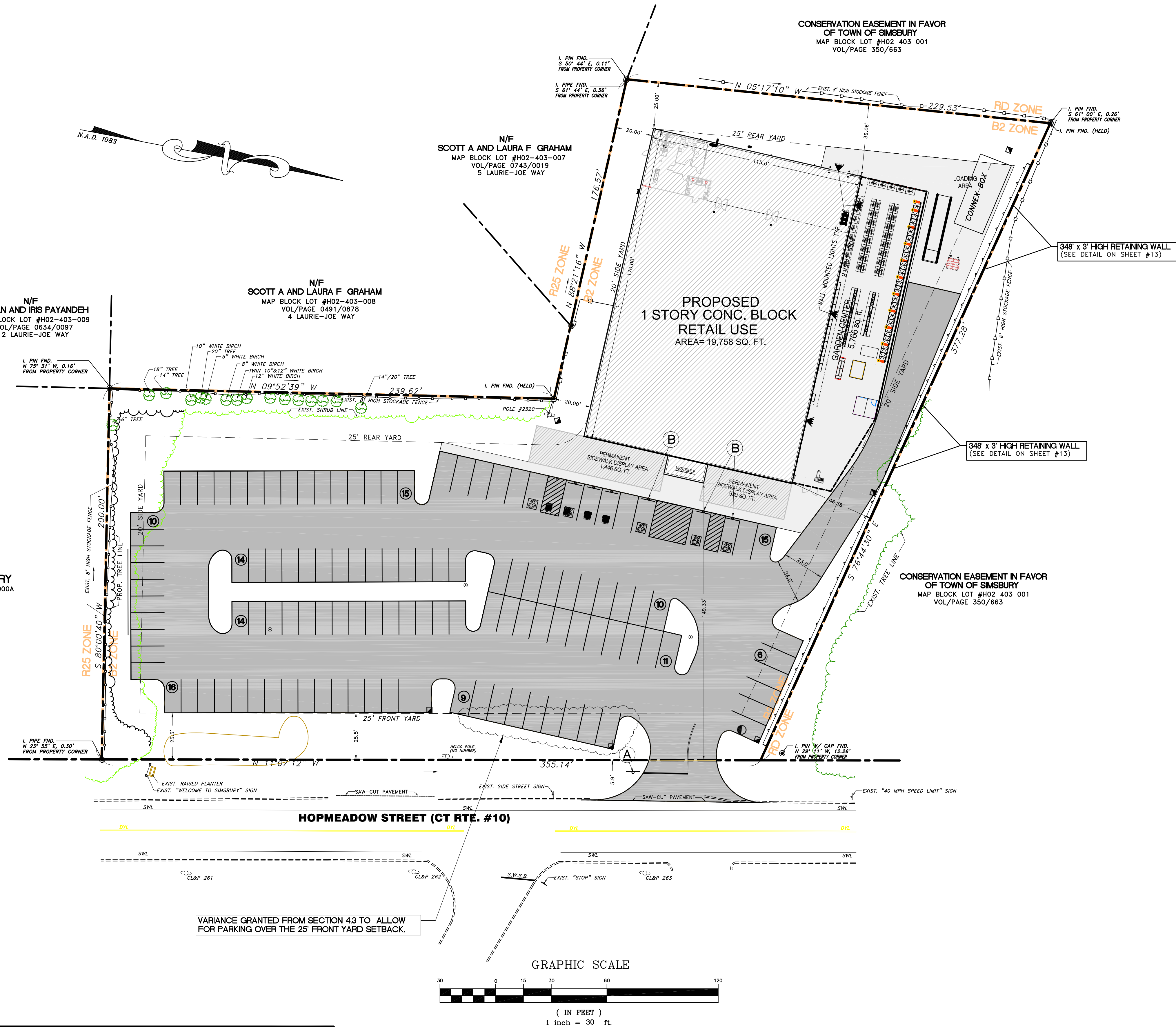
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HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

ZONING IMPROVEMENT LOCATION SURVEY - PROPOSED
PREPARED FOR
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#H02-403-002B
#1603 HOPEMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT



CHECKED BY: P.A.H.
DATE: APRIL 26, 2021
JOB NO.: 3205
ACAD FILE: 3205-SL-2
SCALE: 1"= 30'
SHEET: 3 OF 15
REVISIONS:



NOTES:

- SURVEY NOTES:
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
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- "SIMSBURY PINES PREPARED FOR C.G.R. DEVELOPERS, INC. HOPEMEADOW STREET - SIMSBURY, CONNECTICUT, DATE: MAY 06, 1993, REVISED through: 8/10/93, PREPARED BY: ED LALLY AND ASSOCIATES, INC."

ZONING INFORMATION BULK CHART: B-2 ZONE

ZONE: B-2	REQUIRED	EXISTING	PROPOSED
USE		BOWLING ALLIES/MINI-GOLF	RETAIL
MINIMUM LOT AREA	NO MIN.	113,008 sq. ft.	113,008 sq. ft.
MIN. LOT FRONTAGE	N/A	355.14'	355.14'
MAX. IMPERVIOUS COVERAGE	40%	84,199 sq.ft./113,008 sq. ft.= 74.4%	78,220/113,008= 70.1%
MAX. BUILDING HEIGHT	40'	<40'	20'-8"
MIN. FRONT YARD DEPTH	25'	183.8'	149.33'
MIN. SIDE YARD DEPTH	20'	5.7'* / 22.3'	20.0'/46.58'
MIN. REAR YARD	25'	20.3'*	25.0'

*- DENOTES EXISTING NON-CONFORMING

PARKING DATA SCHEDULE:

USE	REQUIREMENT	REQUIRED
RETAIL STORE	2.75 SPACES / 500 SQ. FT.	19,800 SQ. FT./ (2.75 SPACES/500 SQ. FT.) 108.9 SPACES
TOTAL REQUIRED= 108.9 SPACES		
TOTAL PARKING SPACES = (116) REGULAR SPACES + (4) HANDICAPPED SPACES TOTAL SPACES PROVIDED = 120 SPACES		

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

PAUL A. HALLISEY, L.S. MARCH 09, 2021
LIC. NO. 7761 DATE

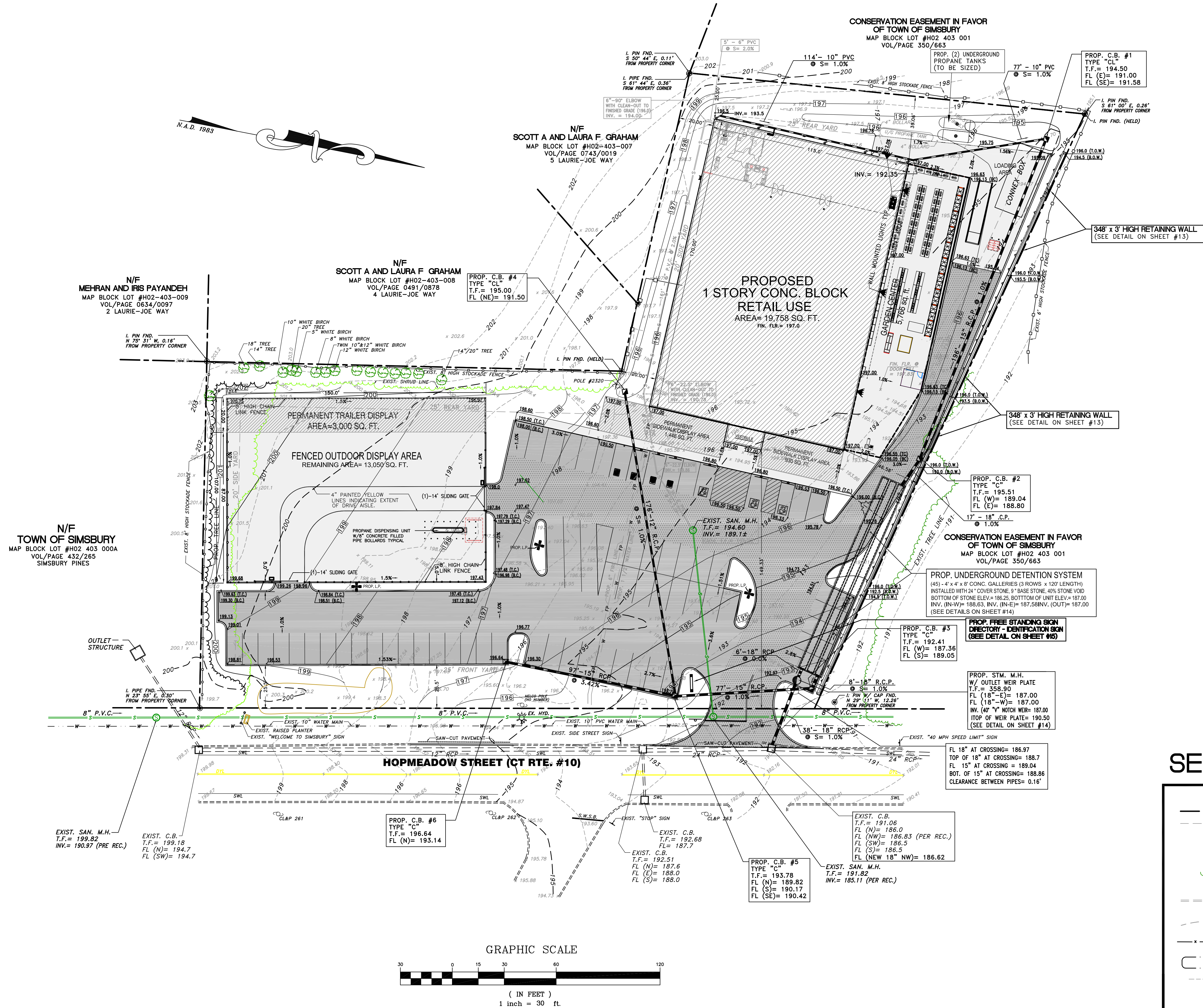
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HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

DEFERRED PARKING PLANS
PREPARED FOR
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT



CHECKED BY: P.A.H.
SCALE: 1" = 30'
DATE: APRIL 26, 2021
JOB NO.: 3205
ACAD FILE: 3205-DEF
SHEET: 4 OF 15
REVISIONS:



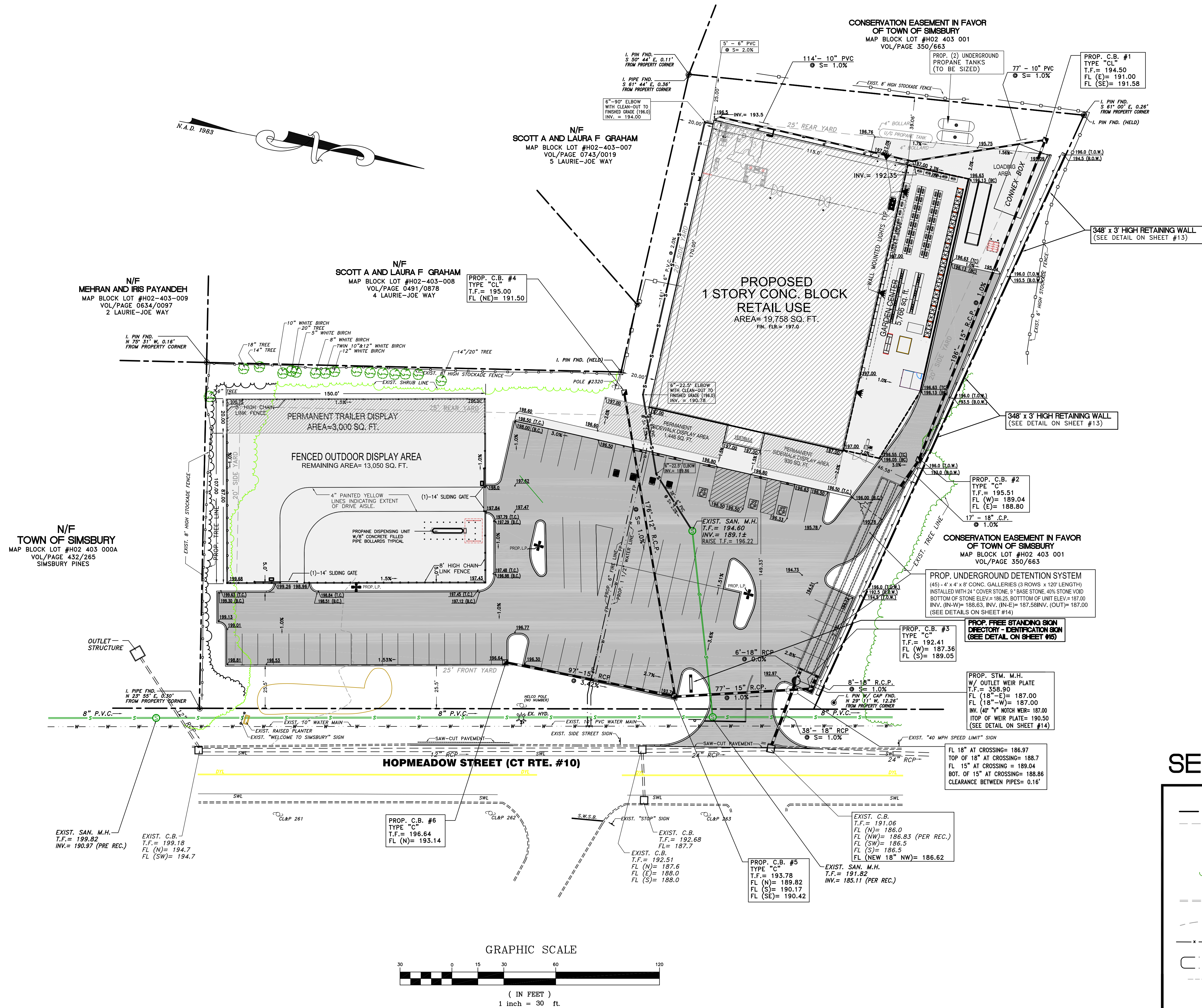
SEE SHEET #9 FOR SITE NOTES

LEGEND			
	EXISTING PROPERTY LINE		PROPOSED STORM DRAINAGE SYSTEM
	EXISTING EDGE OF PAVEMENT		PROPOSED WATER MAIN
	I.P. FND. OR I.P. PIPE FND.		PROPOSED SANITARY SEWER
	C.M.S. FND. OR C.H.D. FND.		PROPOSED CONTOUR
	EXISTING TREE LINE		PROPOSED SPOT GRADE
	EXISTING TELEPHONE POLE		LIMITS OF TOWN WETLANDS
	EXISTING BIT. CURB		LIMITS OF FLAGGED WETLANDS
	LIMITS OF 100' UPLANDS REVIEW AREA		PROPOSED TREE LINE
	EXISTING FENCE		IRON PIN TO BE SET
	AREA OF SNOW STORAGE		CONC. MERESTONE TO BE SET
	EXISTING CONTOUR		PROPOSED BIT. CURB
	EXISTING SPOT GRADE		PROPOSED CONC. CURB
	EXISTING TELEPHONE POLE		PROPOSED RETAINING WALL
	EXISTING BIT. CURB		AREA OF LIGHT DUTY PAVEMENT
	EXISTING STORM DRAINAGE SYSTEM		AREA OF HEAVY DUTY PAVEMENT
	EXISTING WATER MAIN		PROPOSED CONCRETE
	EXISTING SANITARY SEWER		

SITE GRADING AND DRAINAGE PLAN
PREPARED FOR
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#402-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

CHECKED BY: P.A.H.
DATE: APRIL 26, 2021
JOB NO.: 3205
ACAD FILE: 3205-SG
SHEET: 5 OF 15
REVISIONS:

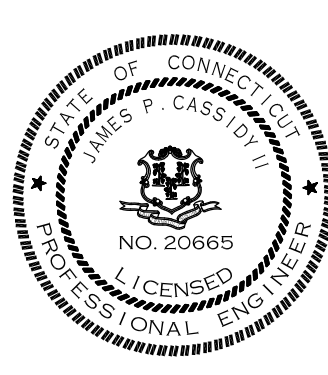


SEE SHEET #9 FOR SITE NOTES

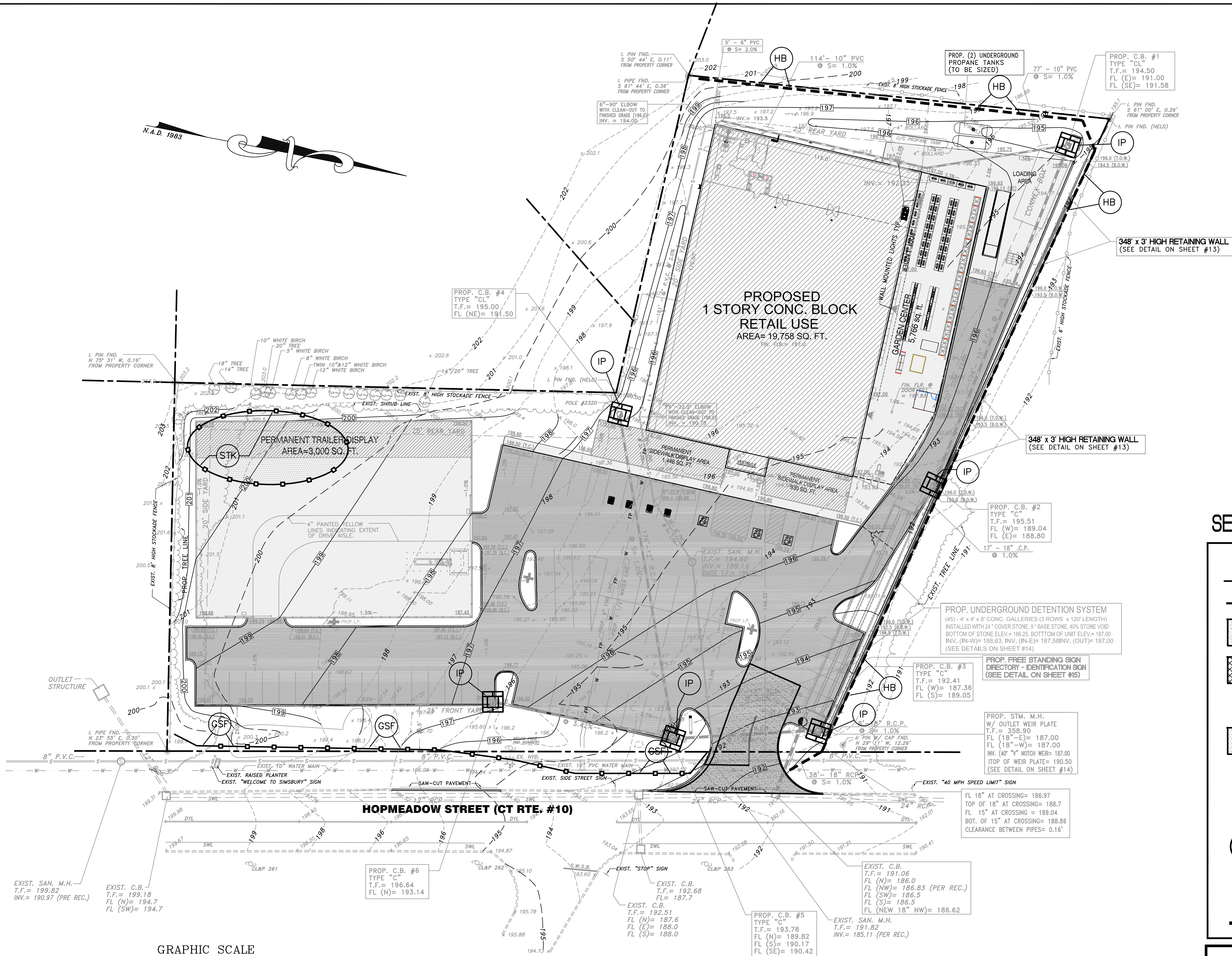
LEGEND			
	EXISTING PROPERTY LINE		PROPOSED STORM DRAINAGE SYSTEM
	EXISTING EDGE OF PAVEMENT		PROPOSED WATER MAIN
	IRON PIN OR IRON PIPE FOUND		PROPOSED SANITARY SEWER
	CONC. MERESTONE OR CHD FND.		PROPOSED CONTOUR
	EXISTING TREE LINE		PROPOSED SPOT GRADE
	EXISTING TELEPHONE POLE		LIMITS OF TOWN WETLANDS
	EXISTING BIT. CURB		LIMITS OF FLAGGED WETLANDS
	LIMITS OF 100' UPLANDS REVIEW AREA		PROPOSED TREE LINE
	EXISTING FENCE		IRON PIN TO BE SET
	AREA OF SNOW STORAGE		CONC. MERESTONE TO BE SET
	EXISTING CONTOUR		PROPOSED BIT. CURB
	EXISTING SPOT GRADE		PROPOSED CONC. CURB
	EXISTING TELEPHONE POLE		PROPOSED RETAINING WALL
	EXISTING BIT. CURB		AREA OF LIGHT DUTY PAVEMENT
	EXISTING STORM DRAINAGE SYSTEM		AREA OF HEAVY DUTY PAVEMENT
	EXISTING WATER MAIN		PROPOSED CONCRETE
	EXISTING SANITARY SEWER		

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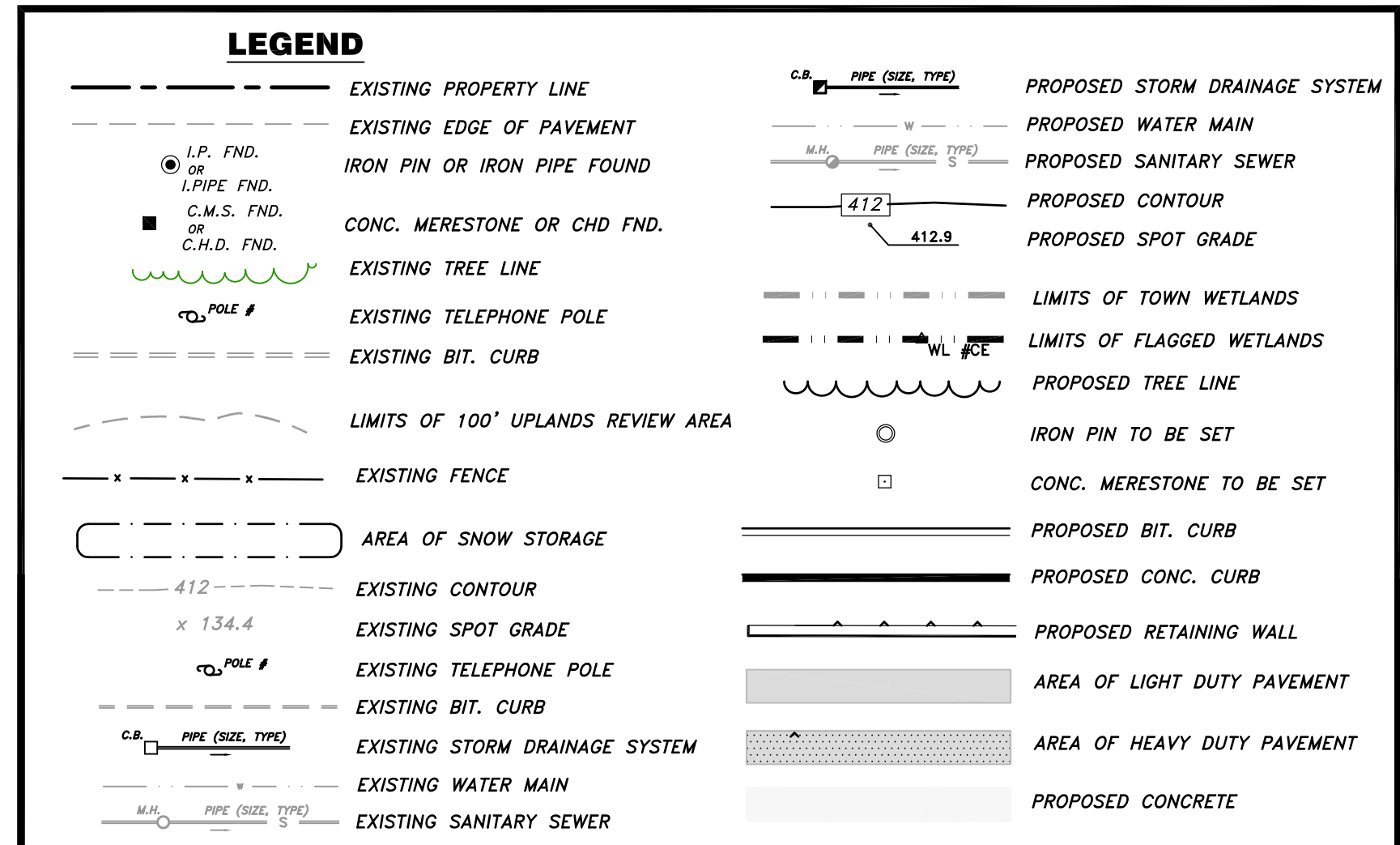
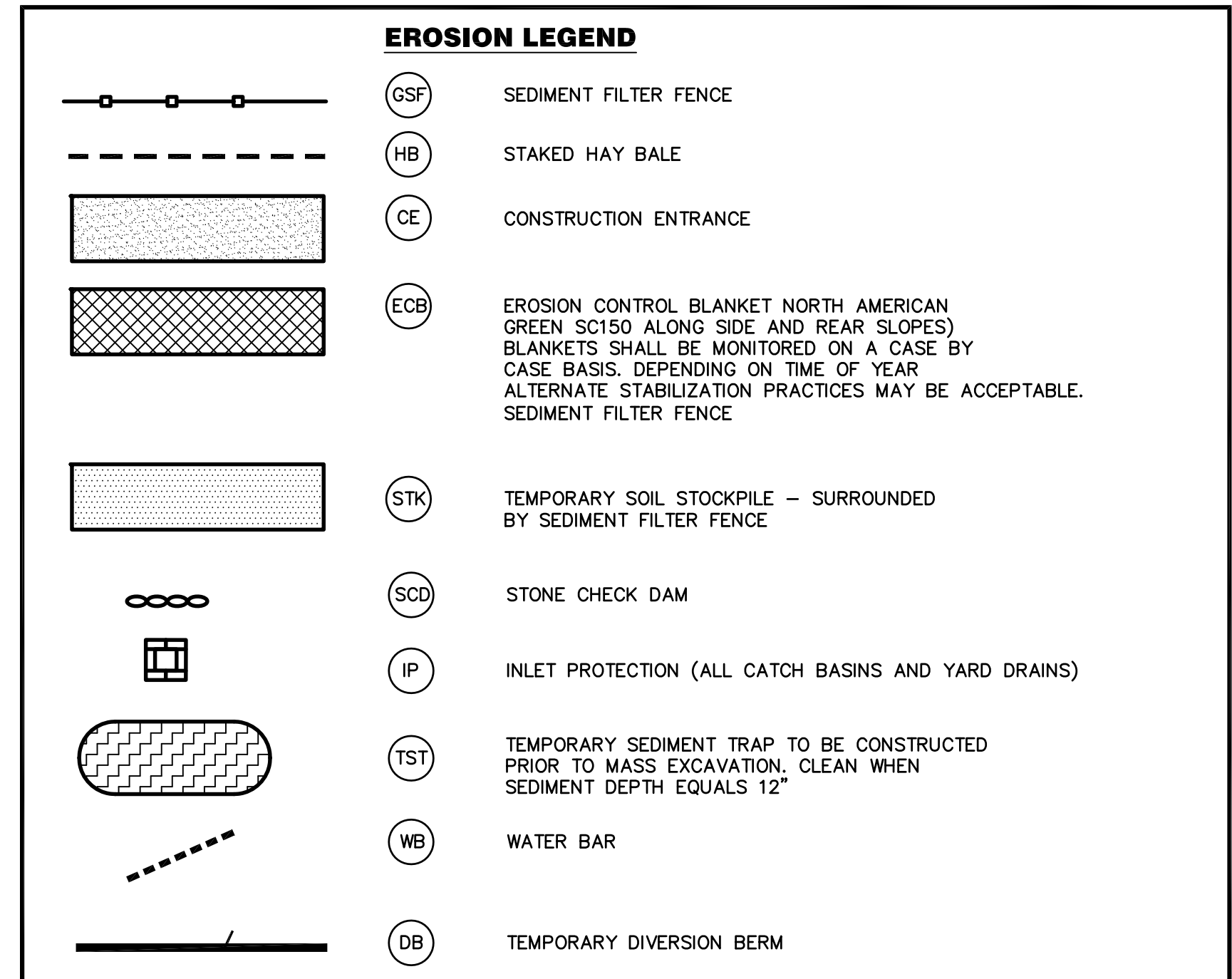
SITE UTILITIES PLAN
PREPARED FOR
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT



CHECKED BY: P.A.H.
DATE: APRIL 26, 2021
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ACAD FILE: 3205-SU
SHEET: 6 OF 15
REVISIONS:



SEE SHEET #8 FOR EROSION and SEDIMENT CONTROL NOTES



EROSION CONTROL MEASURE	CONTROL OBJECTIVE	INSPECTION/MAINTENANCE	FAILURE INDICATORS	REMOVAL
TEMPORARY SEDIMENT TRAP (TST)	-DETAIN SEDIMENT-LADEN RUNOFF FROM SMALL DISTURBED AREAS LONG ENOUGH TO ALLOW A MAJORITY OF THE SEDIMENT TO SETTLE OUT	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE NET STORAGE CAPACITY OR WHEN DEPTH OF AVAILABLE POOL IS REDUCED TO 18" PLATE. EXCESSIVE DEPTH OF SEDIMENT MUST BE REMOVED WITHIN 24 HOURS.	-TURBID WATER -EXCESSIVE SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	TST MAY BE REMOVED ONCE THE CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED.
TEMPORARY SEDIMENT BASIN (DETENTION BASIN) (SB/FST)	-INTERCEPT AND REDUCE/DETAIN SMALL AMOUNTS OF SEDIMENT FROM SMALL DISTURBED AREAS. -PREVENT TRANSPORT AND ACCUMULATION OF SEDIMENT OFF CONSTRUCTION SITE.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE NET STORAGE CAPACITY OR WHEN DEPTH OF AVAILABLE POOL IS REDUCED TO 18" PLATE. EXCESSIVE DEPTH OF SEDIMENT MUST BE REMOVED WITHIN 24 HOURS.	-TURBID WATER -EXCESSIVE SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE -EVIDENCE OF SIGNIFICANT FLOWS EVADING CAPACITY.	TEMPORARY SEDIMENT BASINS THAT ARE NOT TO FUNCTION AS PERMANENT DETENTION BASINS MAY BE REMOVED ONCE THE CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED.
SILT FENCE (GSF) (RELATED: IP, STK)	-INTERCEPT AND REDUCE/DETAIN SMALL AMOUNTS OF SEDIMENT FROM SMALL DISTURBED AREAS. -PREVENT TRANSPORT AND ACCUMULATION OF SEDIMENT OFF CONSTRUCTION SITE. -PROTECT SENSITIVE SLOPES OR SOILS FROM EXCESSIVE WATER FLOW.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE NET STORAGE CAPACITY OR WHEN DEPTH OF AVAILABLE POOL IS REDUCED TO 18" PLATE. EXCESSIVE DEPTH OF SEDIMENT MUST BE REMOVED WITHIN 24 HOURS.	-PHYSICAL DAMAGE OR DECOMPOSITION -EVIDENCE OF OVERTOPPING OR UNDERCUT FENCE -EVIDENCE OF SIGNIFICANT FLOWS EVADING CAPACITY.	SILT FENCE MAY BE REMOVED AFTER UPHILL AND SENSITIVE AREAS HAVE BEEN PERMANENTLY STABILIZED.
HAY BALES (HB)	-INTERCEPT AND REDUCE/DETAIN SMALL AMOUNTS OF SEDIMENT FROM SMALL DISTURBED AREAS. -PREVENT TRANSPORT AND ACCUMULATION OF SEDIMENT OFF CONSTRUCTION SITE. -PROTECT SENSITIVE SLOPES OR SOILS FROM EXCESSIVE WATER FLOW.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE NET STORAGE CAPACITY OR WHEN DEPTH OF AVAILABLE POOL IS REDUCED TO 18" PLATE. EXCESSIVE DEPTH OF SEDIMENT MUST BE REMOVED WITHIN 24 HOURS.	-PHYSICAL DAMAGE OR DECOMPOSITION -EVIDENCE OF OVERTOPPING OR UNDERCUT FENCE -EVIDENCE OF SIGNIFICANT FLOWS EVADING CAPACITY.	HAY BALES MAY BE REMOVED AFTER UPHILL AND SENSITIVE AREAS HAVE BEEN PERMANENTLY STABILIZED.
TEMPORARY DIVERSION BERM/SWALE (TBS) OR TEMPORARY SWALE (TSW) OR WATER BAR (WB)	-MINIMIZE VELOCITY AND CONCENTRATION OF SHEET FLOW ACROSS CONSTRUCTION SITE TO A SEDIMENT TRAPPING FACILITY. -DIVERT WATER ORIGINATING FROM UNDISTURBED AREA AWAY FROM CONSTRUCTION.	WHEN LOCATED WITHIN CLOSE PROXIMITY TO ON GOING CONSTRUCTION ACTIVITIES, INSPECT AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. PERIODIC REINFORCEMENT OF SILT FENCE, OR ADDITION OF HAY BALES MAY BE NECESSARY.	-PHYSICAL DAMAGE OR DECOMPOSITION -EXCESSIVE SOILING/EROSION -REPEATED FAILURE	TEMPORARY DIVERSIONS MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY STABILIZED.
CONSTRUCTION ENTRANCE (CE)	-REDUCE THE TRACKING OF SEDIMENT OFF-SITE OR TO PAVED SURFACES.	INSPECT AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. PERIODIC REINFORCEMENT OF SILT FENCE, OR ADDITION OF HAY BALES MAY BE NECESSARY.	-SEDIMENT IN ROADWAY ADJACENT TO SITE	CONSTRUCTION ENTRANCE MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY STABILIZED.
CATCH BASIN INLET PROTECTION (IP)	-PREVENT SILT IN CONSTRUCTION RELATED RUNOFF FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AFTER EACH RAIN EVENT. IF FILTER BAG HOUSE GUTCH BARN CONTAINS MORE THAN 4" OF SEDIMENT, REMOVE SEDIMENT FROM BAG. CHECK SURROUNDING SILT FENCE AND HAY BALES PER NOTED ABOVE.	-BYPASS BAG -FALD HAY BALES/SILT FENCE -SEDIMENT IN STORM DRAINAGE SYSTEM OUTFLOW.	SILT PROTECTION MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY STABILIZED.
STOCKPILE PROTECTION (STK)	-DETAIN SOIL STOCKPILE IN LOCATIONS SPECIFIED AND REDUCE WATER TRANSPORT.	INSPECT SILT FENCE AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. PERIODIC REINFORCEMENT OF SILT FENCE, OR ADDITION OF HAY BALES MAY BE NECESSARY.	-BYPASS BAG -FALD HAY BALES/SILT FENCE -SEDIMENT IN STORM DRAINAGE SYSTEM OUTFLOW.	STOCKPILE PROTECTION MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY STABILIZED.
DUST PROTECTION (DC)	-TO PREVENT MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, WHICH MAY CAUSE BOTH OFF-SITE AND ON-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, ANIMALS, AND PLANT LIFE, OR CREATE A HAZARD BY REDUCING TRAFFIC VISIBILITY.	USE MECHANICAL SHEEDING DAILY ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE. IF HEAVY TRAFFIC AND DUST ACCUMULATES QUICKLY, PERIODICLY MOWED UNPAVED TRAILS, WAYS TO CONTROL DUST WHEN EVIDENCE OF AIRBORNE DUST.	-AIRBORNE DUST	REPEAT APPLICATION OF DUST CONTROL MEASURES UNTIL ALL AREAS ARE PERMANENTLY STABILIZED, VEGETATED, AND PAVED, OR AS LONG AS THERE IS AIRBORNE DUST.

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EROSION & SEDIMENT CONTROL PLAN
PREPARED FOR
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT



CHECKED BY: P.A.H.
DATE: APRIL 26, 2021
JOB NO.: 3205
ACAD FILE: 3205-ES
SHEET: 7 OF 15
REVISIONS:

EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND THE WETLAND AREA FROM SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF CONTROLS PRIOR TO THE PROJECT CONSTRUCTION BEGINNING.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS JULY 2021 WITH COMPLETION ANTICIPATED NOVEMBER 2021. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL CONSTRUCTION ACTIVITY.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE DIRECTOR OF PLANNING & DEVELOPMENT, INLAND WETLANDS AGENCY AND/OR SITE ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- CONTACT TOWN OF SIMSBURY AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THE PROJECT. A PRE-CONSTRUCTION MEETING WITH LOCAL AND/OR STATE OFFICIALS NEEDS TO BE HELD PRIOR TO THE START OF CONSTRUCTION
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF SIMSBURY AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE & HAY BALE SEDIMENT BARRIERS.
- CONSTRUCT TRACKING PADS AT ENTRANCES AND WRAP FILTER FABRIC AROUND GRATE OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT TRAPS AND INSTALL SEDIMENT BASINS IN REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
- CLEAR AND GRUB SITE. STOCK PILE CHIPS. STRIP AND STOCKPILE TOPSOIL.
- INSTALL ADDITIONAL SILT FENCE AS REQUIRED, CONSTRUCT TEMPORARY DIVERSION BERMS AND AND SEDIMENT TRAPS.
- CONTINUE EARTHWORK. CONSTRUCT FILL SLOPE. INSTALL ADDITIONAL EROSION CONTROL AS REQUIRED. TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
- ROUGH GRADING.
- INSTALLATION OF STORM DRAINAGE.
- FOUNDATION CONSTRUCTION. BEGIN SUPERSTRUCTURE.
- REMOVE SEDIMENT FROM BEHIND SILT FENCES, AND FROM SEDIMENTATION BASINS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
- INSTALL SANITARY LATERAL, WATER SERVICE AND ALL OTHER UTILITIES. COMPLETE STORM SEWERS.
- INSTALL SITE LIGHTING, LOADING DOCK AND TRASH ENCLOSURE.
- FINISH GRADING AND CONSTRUCT PARKING AREA SUBGRADE.
- CONSTRUCT OUTDOOR DISPLAY AREA AND SIDEWALKS.
- PAVING OF PARKING AREAS AND DRIVEWAYS
- FINAL GRADING OF SLOPE AREAS.
- PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED APRIL 11 TO JUNE 1 OR AUGUST 15 TO OCTOBER 1. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
- CONSTRUCT STORM WATER QUALITY BASIN AND FINAL OUTLET.
- LANDSCAPE ISLANDS AND PERIMETER AREAS. INSTALL SIGNING AND PAVEMENT MARKINGS.
- UPON DIRECTION OF THE TOWN OF SIMSBURY AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

SEQUENCE OF OPERATIONS

OPERATION I – CLEARING AND GRUBBING

- ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAPS AND ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH OPERATION II UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING OPERATION I, SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL STRUCTURES.

OPERATION II – ROUGH GRADING

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE SITE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
- ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

OPERATION III – FILLING

- PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL STRUCTURES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THE PLAN.
- ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN CONTRACT SPECIFICATIONS.
- AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE BASINS.

OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.

- STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.

OPERATION V – FINAL GRADING AND PAVING

- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS DISCUSSED IN OPERATION IV.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
- CONSTRUCT PAVEMENT, PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.
- REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

SEQUENCE FOR INSTALLATION OF SOIL EROSION & SEDIMENTATION CONTROL MEASURES

- ERECT SILTATION FENCES, SEDIMENT TRAPS, DIVERSION DITCHES, AND ANTI-TRACKING PAD.
- STRIP TOPSOIL AND STOCKPILE.
- PERFORM CLEARING AND GRUBBING ACTIVITIES, AND DEMOLITION.
- STABILIZE STOCK PILE.

PHASE 2

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- ROUGH GRADING.

PHASE 3

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- PERFORM FILLING ACTIVITIES.

PHASE 4

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- CONSTRUCT DRAINAGE STRUCTURES. CONSTRUCT DIVERSION BERMS, RIP RAPPED LINED DITCHES AND SEDIMENTATION BASINS.

PHASE 5

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- PERFORM FINAL GRADING AND PAVING.

PHASE 6

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- RESPREAD TOPSOIL.

- LIME, FERTILIZE, AND SEED.

- MULCH.

- FINAL COVER.

PHASE 7

- MAINTAIN SILTATION FENCES UNTIL COVER IS COMPLETELY STABILIZED.

- PERFORM FINAL INSPECTION.

- REMOVE SILTATION FENCES, CLEAN, AND RESTORE ALL AREAS.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE
 - DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
 - POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
 - LAY THE BOTTOM SIX INCHES OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
 - BACKFILL THE TRENCH AND COMPACT.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE
 - ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE PLAN.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
- SEDIMENT TRAPS/BASINS
 - CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP, LOCAL AUTHORITIES OR ENGINEER.
 - ALL PONDS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM PONDS WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
 - SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS.

EROSION AND SEDIMENT CONTROL PLAN

- SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- CATCH BASINS WILL BE PROTECTED WITH SILT SACKS OR HAY BALES THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- MACK V DEVELOPMENT, LLC IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE SIMSBURY WETLANDS ENFORCEMENT OFFICER OR GOVERNING AUTHORITY OF THE TRANSFER OF THE RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

EROSION AND SEDIMENT CONTROL PLAN SEDIMENT AND EROSION CONTROL NOTES

- THE DRAWING IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THE SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER PLANS FOR APPROPRIATE INFORMATION.
- MACK V DEVELOPMENT, LLC IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THE RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF SIMSBURY. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAIN A CT DEEP GENERAL PERMIT FOR THE DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (SILT FENCE, JUTE MESH, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN 2 MONTHS.
- SEDIMENTATION BASINS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
- COMPLY WITH REQUIREMENTS OF CGS SECTION 22A, 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEDED WITH TACKIFIER.
- SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
- EXCAVATED MATERIAL FROM TEMPORARY SEDIMENT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENVIROFENCE, AMOCO SILT STOP OR EQUIVALENT APPROVED BY SITE ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR EQUIVALENT.
- INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE ENGINEER AND GOVERNING OFFICIAL.
- DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM SEWERS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
- BLOCK THE OPEN UPSTREAM ENDS OF DETENTION PIPE SYSTEM OUTLET CONTROL ORIFICE UNTIL SITE IS STABILIZED AND BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDES WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY. REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON SITE IN NON-WETLANDS AREAS.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY.
- THE PARTY RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL MEASURES IS: MACK V DEVELOPMENT, LLC 93 NORTH MAIN STREET, WEST HARTFORD, CT 06107 PHONE: 860-319-7214
- IF WIND EROSION OCCURS, THEN GROUND SHALL BE COVERED WITH CALCIUM CHLORIDE OR WATER TRACK APPLICATIONS AS REQUIRED TO CORRECT THE PROBLEM.

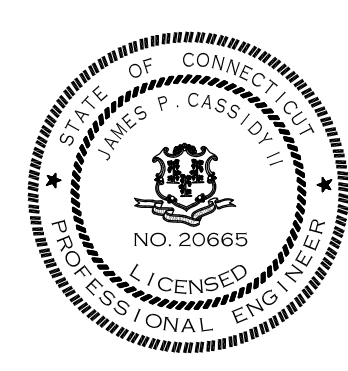
EROSION and SEDIMENT CONTROL NOTES

PREPARED FOR:
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT

SCALE: N.A.
DATE: APRIL 28, 2021
JOB No.: 3205

CHECKED BY: J.P.C.
DRAWN BY: J.M.P.
ACAD FILE: 3205-CS-NOTES

SHEET: **8** OF: **15**
REVISIONS:



HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF SIMSBURY, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, OUTSIDE DISPLAY AREA, AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.
7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
14. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.
15. PAVEMENT MARKING KEY:
- | | |
|----------|---|
| 4" SYDL | 4" SOLID YELLOW DOUBLE LINE |
| 4" SYL | 4" SOLID YELLOW LINE |
| 4" SWL | 4" SOLID WHITE LINE |
| 12" SWSB | 12" SOLID WHITE STOP BAR |
| 4" BWL | 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE |
16. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
19. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
20. THE CONTRACTOR SHALL COMPLY WITH GFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "1(800)922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
23. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
24. CT DOT ENCROACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK.
25. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
26. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
28. THESE PLANS ARE FOR PERMITTING.
29. THE SITE IS PROPOSED TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER SYSTEM.
30. PROPERTY SHOWN ON F.I.R.M. NO. 0900470004B, DATED: JUNE 15, 1992, NO DIGITAL DATA AVAILABLE. THE PORTION OF THIS PROPERTY THAT IS BEING DEVELOPED IS IN A FLOOD ZONE "C".
31. 12" SWSB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CT DOT SPECIFICATIONS.
32. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN FIRE MARSHAL.
33. THE APPLICANT WILL PROVIDE AND MAINTAIN ADEQUATE SIGHT DISTANCES AT ALL DRIVEWAY INTERSECTIONS. CURRENT STATE OF CONNECTICUT HIGHWAY DESIGN STANDARDS WILL APPLY TO REQUIRED SIGHT DISTANCES.
34. THE APPLICANT WILL REGISTER BUILDING ALARMS PER TOWN ORDINANCE.
35. THE APPLICANT WILL CONTROL DUST AND DEBRIS ON THE SURROUNDING ROADWAYS DURING CONSTRUCTION. PROPER SAFETY PRECAUTIONS AND EQUIPMENT ARE TO BE UTILIZED WHEN WORKING ON PUBLIC ROADWAYS AND ARE THE APPLICANT'S RESPONSIBILITY TO PROVIDE.
36. THE APPLICANT WILL OBTAIN A CONNECTICUT DEPARTMENT OF TRANSPORTATION ENCROACHMENT PERMIT FOR ANY WORK DONE IN THE STATE RIGHT OF WAY.
37. THE APPLICANT MUST COMPLY WITH CONNECTICUT DEPARTMENT OF TRANSPORTATION STIPULATIONS/REGULATIONS WHEN APPLICABLE.
38. ALL DISTURBED PAVEMENT MARKINGS MUST BE REPLACED WITH EPOXY PAINT.

GRADING AND DRAINAGE NOTES

GRADING GENERAL NOTES:

1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE LITCHFIELD TOWN STAFF.
9. VERTICAL DATUM IS NVGD 1988.
10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF SIMSBURY AGENT PRIOR TO THE START OF WORK ON THE SITE.
11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATION OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF LITCHFIELD AUTHORITY AND STATE OF CONNECTICUT.
14. ALL CONSTRUCTION SHALL COMPLY WITH TRACTOR SUPPLY COMPANY'S AND THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS, WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.

PRODUCT NOTES:

1. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
2. POLY VINYL CHLORIDE PIPE (PVC) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
3. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
4. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
5. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF ASSHTO M294, TYPE PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF ASSHTO M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PLUG-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
6. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-Q PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF ASSHTO M292, TYPE S PIPE SECTIONS SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAP COUPLERS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. SLIT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A CLOSED SYNTHETIC EXPANDED RUBBER GASKET. MEETING THE REQUIREMENTS OF ASSHTO D1056 GRADE 242. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
2. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
3. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
5. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
6. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "1-(800)-922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
7. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
8. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST EFFECTIVE SHALL APPLY AS DETERMINED BY A LICENSED PROFESSIONAL AND APPROVED BY TOWN STAFF.
9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
10. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
11. CONTRACTOR'S TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
12. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

UTILITIES NOTES

UTILITY CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
3. THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
5. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
6. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND TOWN STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER, TOWN OF LITCHFIELD PUBLIC WORKS DEPARTMENT AND TOWN OF LITCHFIELD WATER & SEWER DEPARTMENT.
7. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, REALLOCATIONS, INSPECTIONS, AND DEMOLITION.
8. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED THE SITE CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE PLANS OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
9. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
10. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED.
11. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
12. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 12" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO FLAGGING FILL.
13. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS FOR UTILITY CONNECTIONS.
14. UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE MEP DRAWINGS AND CONSTRUCTION MANAGER.
15. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE LOCAL MUNICIPALITIES' REQUIREMENTS.
16. A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SANITARY SEWER WITH A CONCRETE ENCASMENT.
17. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
18. MANHOLE RIMS SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
19. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL/ELECTRICAL CONTRACTOR.
20. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL/ELECTRICAL CONTRACTOR.
21. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER.
22. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. CONTACT "CALL BEFORE YOU DIG" AT 1-(800)-922-4455 72 HOURS PRIOR TO CONSTRUCTION AND VERIFY ALL UNDERGROUND AN OVERHEAD UTILITY LOCATIONS.
23. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY COMPANIES AND THE TOWN OF LITCHFIELD FOR WORK TO BE PERFORMED BY UTILITY COMPANIES OR BY THE TOWN OF LITCHFIELD. THE CONTRACTOR SHALL PAY ALL UTILITY FEES AND REPAIR PAVEMENTS AS NECESSARY.
24. ELECTRIC, AND TELEPHONE SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE CL&P #1543. THE CONTRACTOR SHALL INSTALL AND BACKFILL TWO 4" PVC CONDUITS FOR TELEPHONE SERVICE, FOUR 4" PVC CONDUITS FOR ELECTRIC SERVICE. PRIMARY PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS (SCHEDULE 80N UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 1" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELEPHONE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC COMPANY, AND PHONE COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLES AS REQUIRED. INSTALL CONCRETE ENCASMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC COMPANY.
25. ALL WATER LINES TO HAVE A MINIMUM COVER OF 54-INCHES. ALL LINES SHALL BE BEDDED IN 6" SAND AND BACKFILLED WITH 12" SAND.
26. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERAL SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL HEALTH, APPLICABLE TOWN OF LITCHFIELD WATER & SEWER DEPARTMENT SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE CODES AND SPECIFICATIONS FOR POTABLE WATER SYSTEMS.
27. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, UTILITY PROVIDER AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
28. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY CONNECTIONS TO EXISTING ABUTTING HOUSES & COMMERCIAL BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE PROJECT ENGINEER, UTILITY PROVIDER AND GOVERNING AUTHORITIES.
29. ANY EXISTING POTABLE WATER WELLS AND SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE DEPARTMENT OR ENVIRONMENTAL PROTECTION AND HEALTH CODE REQUIREMENTS.
30. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE SITE ENGINEER AND ALLOWED BY THE TOWN ENGINEER OR BY GOVERNING AUTHORITY.

POST CONSTRUCTION STORM WATER POLLUTION PLAN

RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER:

MAX V DEVELOPMENT, LLC
93 NORTH MAIN STREET
WEST HARTFORD, CT 06107
PHONE: 860-319-7914

THE FOLLOWING PROCEDURES WILL BE IMPLEMENTED CONTINUALLY BY THE OWNER:

1. PAVEMENT SWEEPING: PARKING LOTS AND DRIVES SHALL BE SWEEPED A MINIMUM OF TWICE A YEAR (SPRING AND FALL).
2. CATCH BASINS: CATCH BASINS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND ANY SEDIMENT, OILS & FLOATABLES WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)
3. THE COLLECTION SYSTEM PIPES SHALL BE AT SIX-MONTH INTERVALS. REGULAR MAINTENANCE INCLUDES THE FOLLOWING ITEMS:
--INSPECTION OF THE OUTLET TO ENSURE THEY ARE NOT BLOCKED.
--CHECKING THE OUTLETS FROM THE DRAINAGE SYSTEM IS CLEAR AND NOT ERODING.
--REMOVING PAPER AND DEBRIS FROM INSIDE THE BASIN.
4. THE SEDIMENT FOREBAY SHALL BE INSPECTED A MINIMUM OF EVERY SIX MONTHS IN THE MONTHS OF APRIL AND OCTOBER. IF TRASH, DEBRIS, SEDIMENT DEPOSITS, ECT. SHALL BE NOTED AND ANY DEPOSITS FOUND TO BE 4 INCHES OR MORE, AS MEASURED FROM THE BOTTOM OF THE FOREBAY SHALL BE CLEANED AND REMOVED. ANY DEBRIS OR TRASH, ECT. SHALL BE REMOVED DURING NORMAL LANDSCAPE MAINTENANCE OPERATIONS. BARE AREAS SHALL BE SEEDED.
5. STORMWATER QUALITY BASIN SLOPES SHALL BE MOWED ONCE A YEAR, MORE FREQUENT MOWING WILL ELIMINATE NATIVE FORBS SEEDS FROM THE MEADOW COVER.
6. LANDSCAPING: LANDSCAPED AREAS WILL BE MAINTAINED. NORMAL LANDSCAPING MAINTENANCE WILL CONSIST OF PRUNING, MULCHING, PLANTING MOWING LAWNS, RAKING LEAVES, ECT.. USE OF FERTILIZERS AND PESTICIDE WILL BE CONTROLLED AND LIMITED TO MINIMAL AMOUNTS NECESSARY FOR HEALTHY LANDSCAPE MAINTENANCE. THE LAWN AREAS, ONCE ESTABLISHED, WILL BE MAINTAINED AT A TYPICAL HEIGHT OF 3 1/2". THIS WILL ALLOW THE GRASS TO BE MAINTAINED WITH A MINIMAL IMPACT FROM WEEDS AND/OR PEST. THE REAR (EASTERLY) SLOPE AREAS WILL BE MAINTAINED AS A MEADOW OR ALLOWED TO REVERT BACK TO WOODLANDS. PESTICIDE WILL ONLY BE USED AS A CONTROL METHOD WHEN A PROBLEM HAS BEEN IDENTIFIED AND OTHER NATURAL CONTROL METHODS ARE NOT SUCCESSFUL. ALL PESTICIDE APPLICATION SHALL BE BY LICENSED APPLICATORS, WHERE NECESSARY. TOPSOIL, BRUSH, LEAVES, CHIPPINGS, MULCH, EQUIPMENT, AND OTHER MATERIALS SHALL BE STORED OFF SITE.
7. MAINTAIN EXISTING NATIVE VEGETATION: EXISTING VEGETATION ALONG THE EASTERLY EDGE OF THE DEVELOPMENT, ADJACENT TO THE WETLANDS SHALL REMAIN IN ITS NATIVE CONDITIONS NO CLEARING, GRADING, STOCKPILING, STORAGE, OR DEVELOPMENT WILL OCCUR IN THESE AREAS WITHOUT PRIOR APPROVAL FROM THE APPROPRIATE AGENCIES.
8. TRASH COLLECTION: ALL TRASH WILL BE CONTAINED IN DUMPSTERS. ALL DUMPSTERS WILL BE EQUIPPED WITH COVERS. ALL TRASH WILL BE COLLECTED ON A REGULAR BASIS AND DISPOSED OF LEGALLY OFF-SITE.
9. OUTDOOR STORAGE: THERE WILL BE NO OUTDOOR OF HAZARDOUS CHEMICALS, FERTILIZER, PESTICIDES, OR HERBICIDES ANYWHERE AT THE FACILITY.
10. THE OWNER SHALL BE KEEP AN ON-SITE LOG OF STORMWATER MAINTENANCE MEASURES PERFORMED AND DATES THEY WERE IMPLEMENTED. THIS LOG BOOK SHALL BE AVAILABLE FOR THE TOWN OF SIMSBURY INSPECTION.

State of Connecticut Department of Transportation - 817 CONSTRUCTION NOTES

817 CONSTRUCTION NOTES

Removal of pavement markings along state roadways shall be completed by a non-destructive method in compliance with the State of Connecticut Department of Transportation Standard Specifications for Road, Bridges, and Incidental Construction Form 817 Section 12.11 as revised.

New pavement markings shall be painted with epoxy resin paint in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.10 as revised.

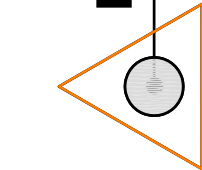
New sign material and sheeting shall be made of reflective material in compliance with State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.08 as revised. Type 1 Reflective Sheeting shall be used for signs with white background; Type 3 Reflective Sheeting shall be used for signs with colored background except for signs with red background that shall be Type 8 or 9 Reflective Sheeting.

All signs and pavement markings installed along the state road must conform to the "Manual on Uniform Traffic Control Devices," the latest State of Connecticut Catalog of Signs and standard as revised.

Any damage to the existing curb, sidewalk or any other highway appurtenances during the development of the permitted site will be replaced by the contractor as directed by the District 3 Permit Section at no cost to the state.

All work within the state right of way will comply with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges and Incidental Construction Form 817 with the latest Special Provisions and Typical State Standard Details.

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS

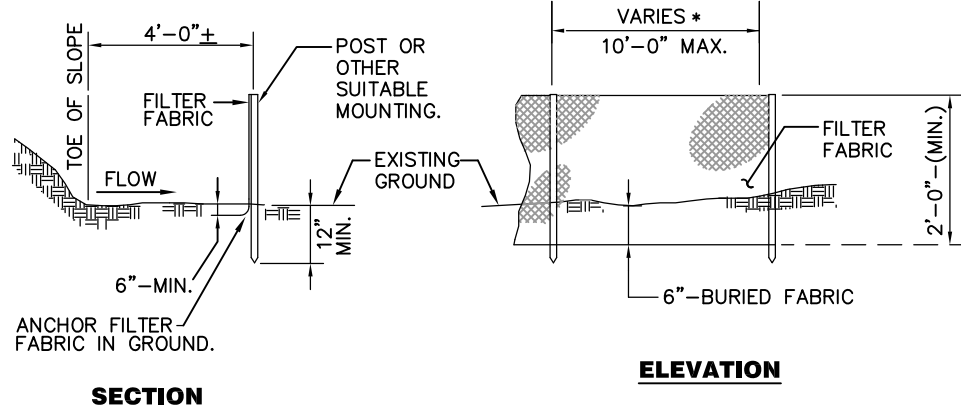


GENERAL NOTES

PREPARED FOR:
MAX V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT



SCALE: N.A.	CHECKED BY: J.P.C.	DATE: APRIL 28, 2021	DRAWN BY: J.M.P.	ACAD FILE: 3205-GEN-010
JOB No.: 3205	SHEET: 9	OF: 15	REVISIONS:	

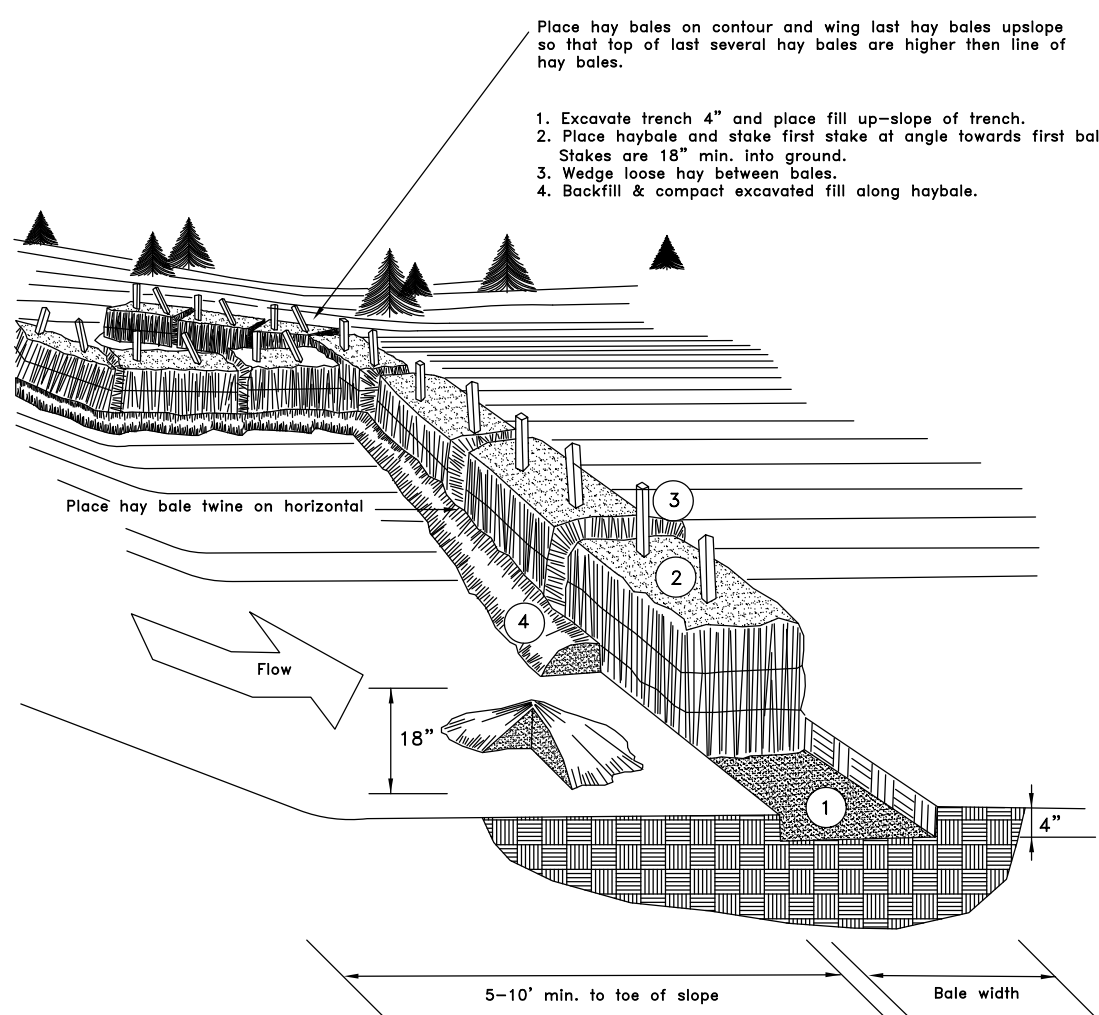


NOTE:
• POST SPACING AND EMBEDMENT VARIES BASED ON THE MANUFACTURER'S REQUIREMENTS.

SILT FENCE

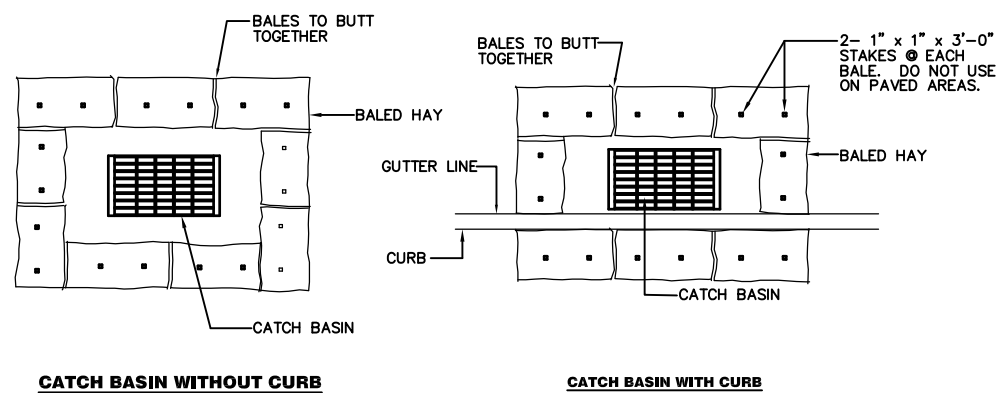
MAINTENANCE OF SILT FENCE
INSPECT THE SILT FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN USED FOR DRAINAGE OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.
REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, EXISTING FENCE WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE EXISTING FENCE.
REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:
(A) THE FENCE HAS BEEN OVER TOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER.
(B) THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR
(C) THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (E.G., TEMPORARY STABILIZATION OF CONTRIBUTING AREA, DIVERSION, STONE BARRIERS) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.
MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.
AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR REGRADING AND STABILIZATION. IF THE DEPTH IS GREATER THAN OR EQUAL TO 6 INCHES, REGRADING OR REMOVAL OF THE ACCUMULATED SEDIMENT IS REQUIRED. NO REMOVAL OR REGRADING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES.
REMOVE THE FENCE BY PULLING UP THE SUPPORT POSTS AND CUTTING THE GEOTEXTILE AT GROUND LEVEL. REGRADE OR REMOVE SEDIMENT AS NEEDED, AND STABILIZE DISTURBED SOILS.



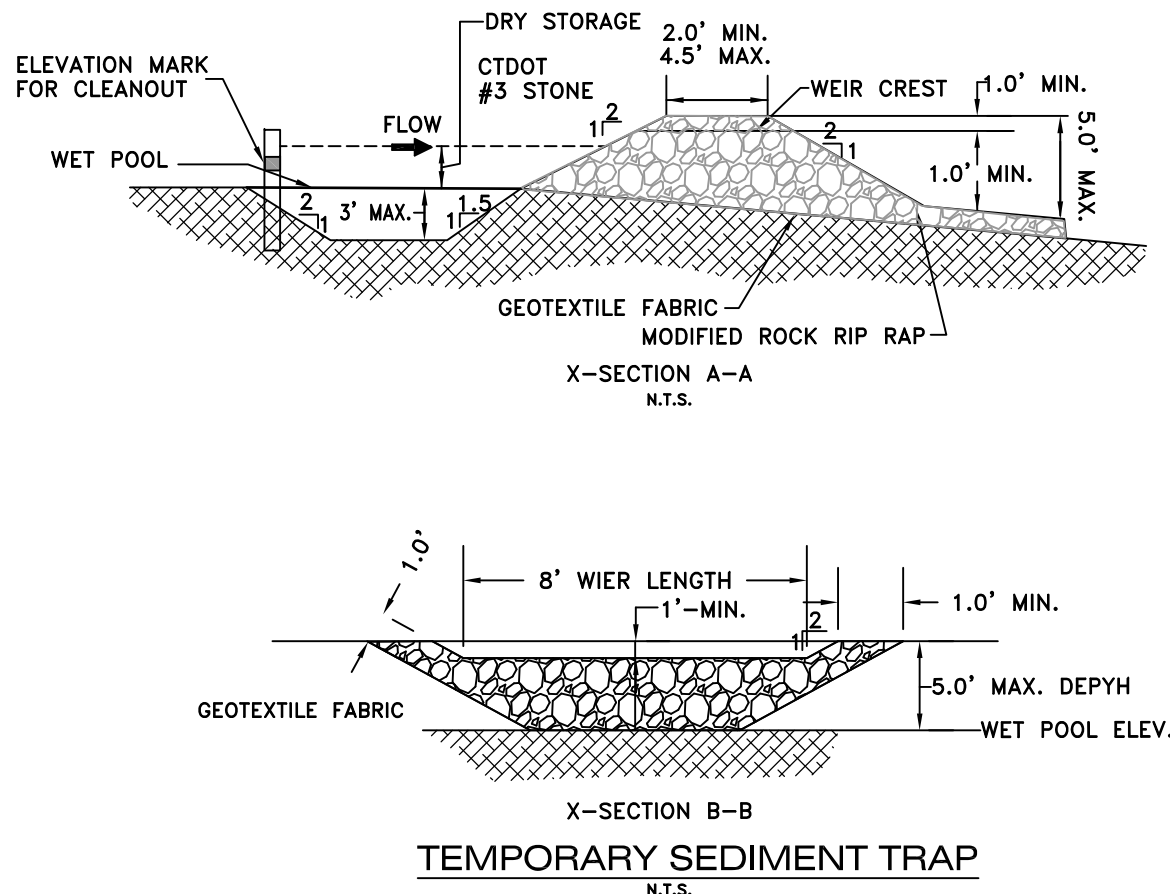
TOE OF SLOPE HAY BALE BARRIER

NO SCALE



SEDIMENTATION CONTROL BALES

MAINTENANCE OF HAY BALE CHECK DAM
INSPECT THE HAY BALE CHECK DAM AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. FOR DE WATERING OPERATIONS AND, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.
REMOVE THE SEDIMENT DEPOSITS OR INSTALL A SECONDARY BARRIER WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE BARRIER BECAUSE:
A) THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER.
B) THE BARRIER HAS BEEN MOVED OUT OF POSITION.
C) THE HAY BALES HAVE DETERIORATED.
WHEN REPETITIVE FAILURE OCCUR AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATIONS FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE HAY BALE BARRIER.
MAINTAIN HAY BALE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE HAYBALES. UNLESS OTHERWISE REQUIRED NO REMOVAL OF REGRADING OF ACCUMULATED SEDIMENT IS NECESSARY. THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.



TEMPORARY SEDIMENT TRAP

N.T.S.

7-Diversions

Temporary Diversion (TD)

Definition
A temporary channel with a berm of tamped or compacted soil placed in such a manner so as to divert flows.

- Purposes**
- To divert sediment-laden runoff from a disturbed area to a sediment-trapping facility such as a temporary sediment trap, sediment basin or vegetative filter.
 - To direct water originating from undisturbed areas away from areas where construction activities are taking place.
 - To fragment disturbed areas thereby reducing the velocity and concentration of runoff.

- Applicability**
- Where the drainage area at the point of discharge is 5 acres or less. For drainage areas greater than 5 acres use **Permanent Diversion** measure.
 - Where the intended use is 1 year or less. For uses greater than 1 year use **Permanent Diversion** measure.

Planning Considerations

A temporary diversion is used to divert sheet flow to a stabilized outlet or a sediment-trapping facility. It is also used during the establishment of permanent vegetative cover on sloping disturbed areas. When used at the top of a slope, the structure protects exposed slopes by directing runoff away from the disturbed areas. When used at the base of a disturbed slope, the structure protects adjacent and downstream areas by diverting sediment-laden runoff to a sediment trapping facility. Temporary diversions must be installed as a first step in the land-disturbing activity and must be functional prior to disturbing the land they are intended to protect.

Where channel grades within the temporary diversion exceed 2%, stabilization of the channel is necessary to prevent erosion of the temporary diversion itself (e.g., temporary seeding, temporary erosion control blankets, riprap, etc.). The channel and berm must have a positive grade to assure drainage, but if the gradient is too great, precautions must be taken to prevent channel erosion due to high-velocity flows behind the berm. The cross-section of the channel should be of a parabolic or trapezoidal shape to prevent a high velocity flows which could erode in the bottom of a "V" shaped ditch. This practice is economical because it uses materials available on the site and can usually be constructed with equipment needed for site grading. The useful life of the practice can be extended by stabilizing the berm with vegetation. Temporary diversions are durable, inexpensive, and require little maintenance when constructed properly. When used in conjunction with a **Temporary Sediment Trap**, temporary diversions become a logical choice for a control measure when the control limits for all fences or hay bale barriers have been exceeded.

2002 Connecticut Guidelines for Soil Erosion and Sediment Control

grade. Channel grades flatter than 2% require no stabilization. Channels with grades steeper than 2% require stabilization in accordance with stabilization specifications found in the **Permanent Diversion** measure. Temporary diversions shall be stabilized according to the duration of their intended use (see Short Term Non-irrigation Soil Protection Functional Group).

Outlets

Regardless of design, release the diverted runoff to a stable outlet or channel. Where diverted runoff is expected to be carrying a sediment load, the runoff shall be released to a sediment impoundment (see Sediment Impoundments and Barriers Functional Group).

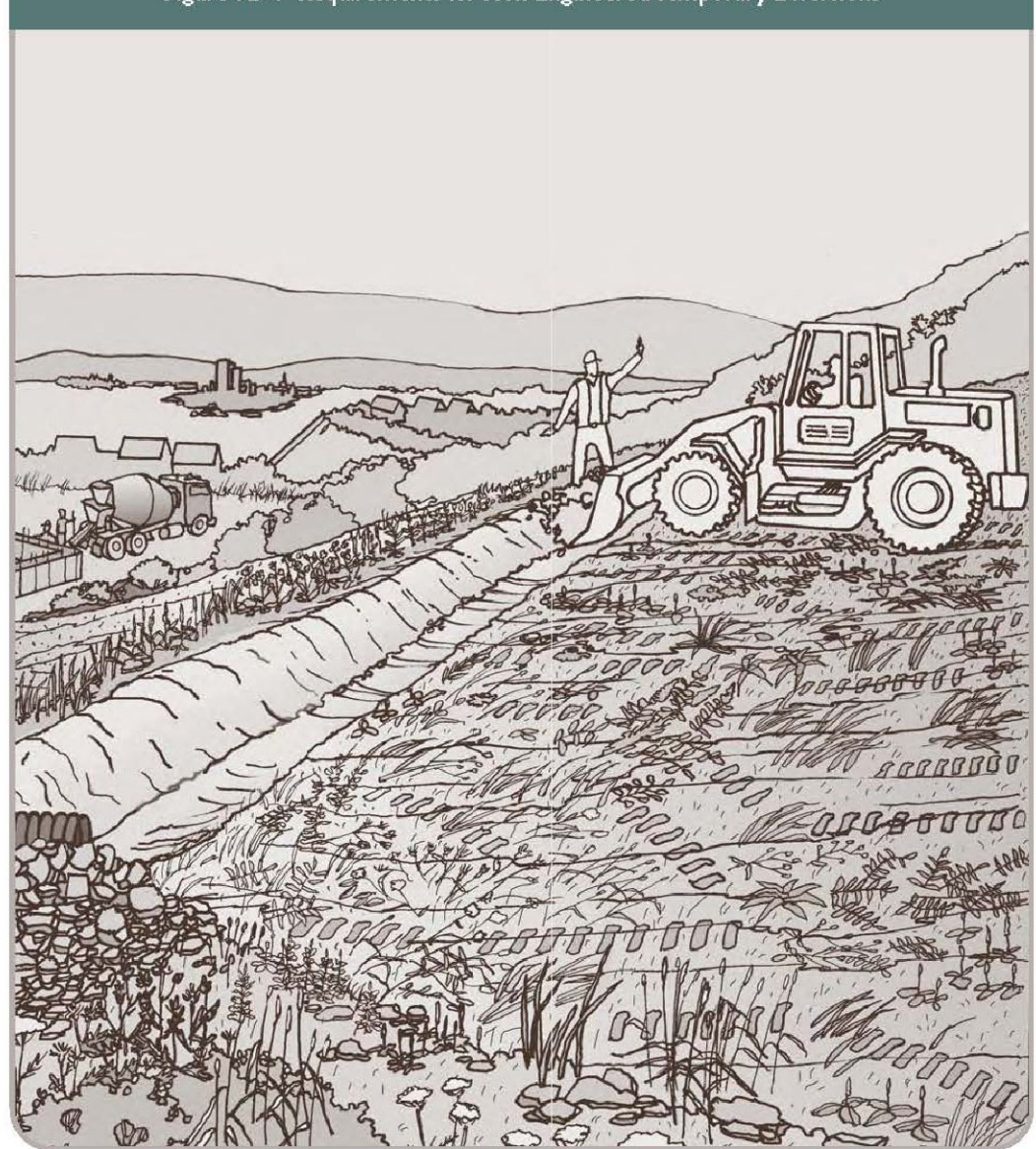
Construction

Install erosion controls at the outlet where sediment laden runoff is expected.
Construct the temporary diversion (see Figure TD-1). After grading the berm, tamp or compact it to prevent failure.
Apply stabilization measures (may include temporary or permanent seed and mulch) immediately following construction.

Maintenance

When the temporary diversion is located within close proximity to ongoing construction activities, inspect the temporary diversion at the end of each work day and immediately repair damages caused by construction equipment. Otherwise inspect the temporary diversion and any associated measures weekly or immediately after 0.5 inch of rain falls within a 24-hour period to determine maintenance needs.
Repair the temporary diversion and any associated measures within 24 hours of observed failure. Failure of the temporary diversion has occurred when the diversion had been damaged by other construction equipment, erosion or siltation such that it no longer meets the criteria established under the **Specifications** section or provided in the engineered design (if any).
When repetitive failures occur at the same location, review conditions and limitation for use and determine if additional measures are needed to reduce failure rates or if alternate measures are indicated to replace the temporary diversion.

Figure TD-1 Requirements for Non-Engineered Temporary Diversions



2002 Connecticut Guidelines for Soil Erosion and Sediment Control

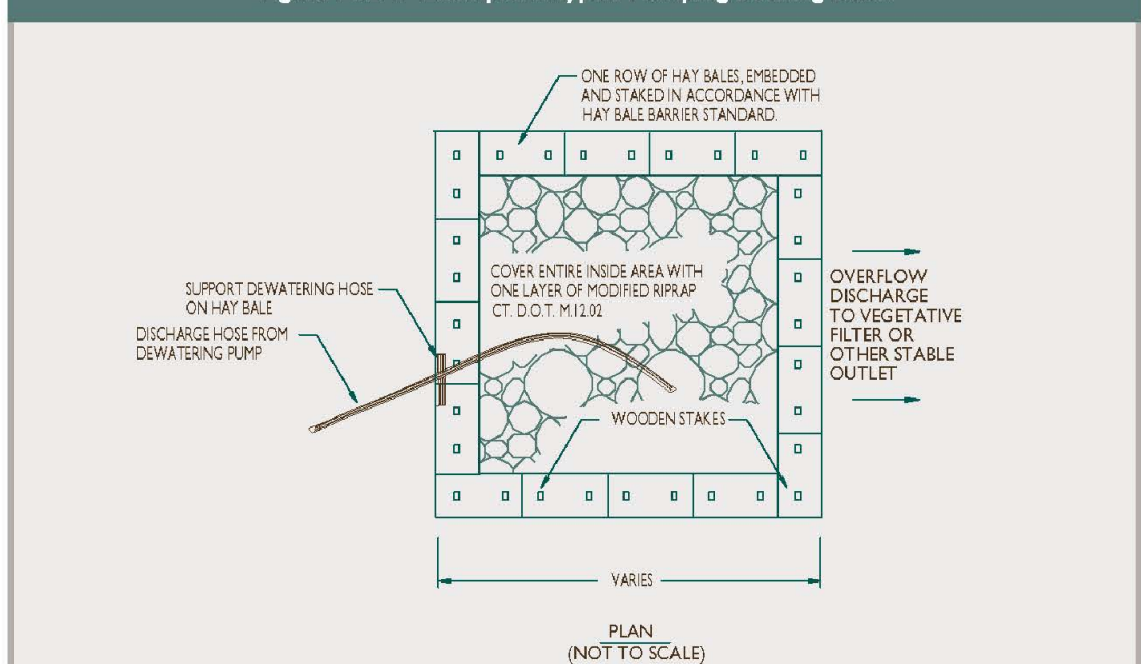
Location
Locate the pumping settling basin on the site such that surface water is directed away from the pumping settling basin (See **Temporary Water Diversion** measure).

Installation

All dewatering basins, regardless of type, contain a water/sediment storage area, an energy dissipator for pump discharges entering the basin (See **Pump Intake and Outlet Protection** measure and an emergency overflow that provides for a stable filtration surface through which water may leave the basin. Pump discharge is located at a point in the dewatering basin that is farthest from the basin outlet.
Depending upon existing soil conditions and side slopes of excavated pumping settling basin, soil stabilization may be required. The excavation may be lined with geotextile or stone to help reduce scour and to prevent the erosion of soil from within the structure.

Type 1 - Small Volumes Consist of an above ground enclosure created by a **Hay Bale Barrier**. See **Hay Bale Barrier** measure for material specifications and general installation requirements. This type of basin is located only on flat grades and is limited for use by its storage volume where the anticipated sediment delivery would not require cleaning and the expected use is for a very short duration. For calculating storage use the top of the lowest hay bale on the perimeter to the crest of the outlet control. An example of use for this type of basin would be a dewatering operation for a trench where no adequate vegetated filter exists (See **Vegetated Filter** measure) before the discharge enter into critical area such as a wetland, watercourse, street

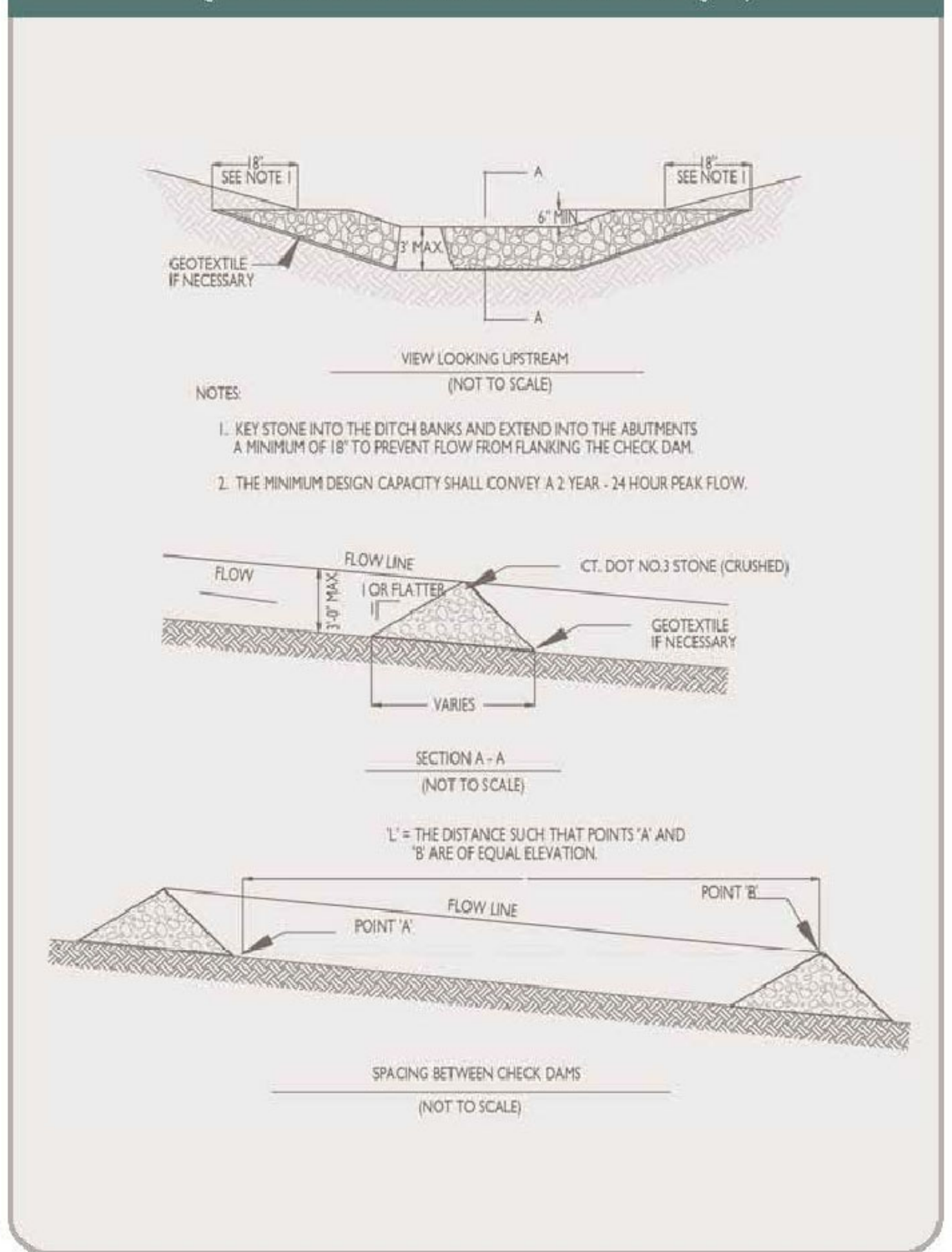
Figure PSB-1 Example of Type I Pumping Settling Basin



Source: USDA-NRCS

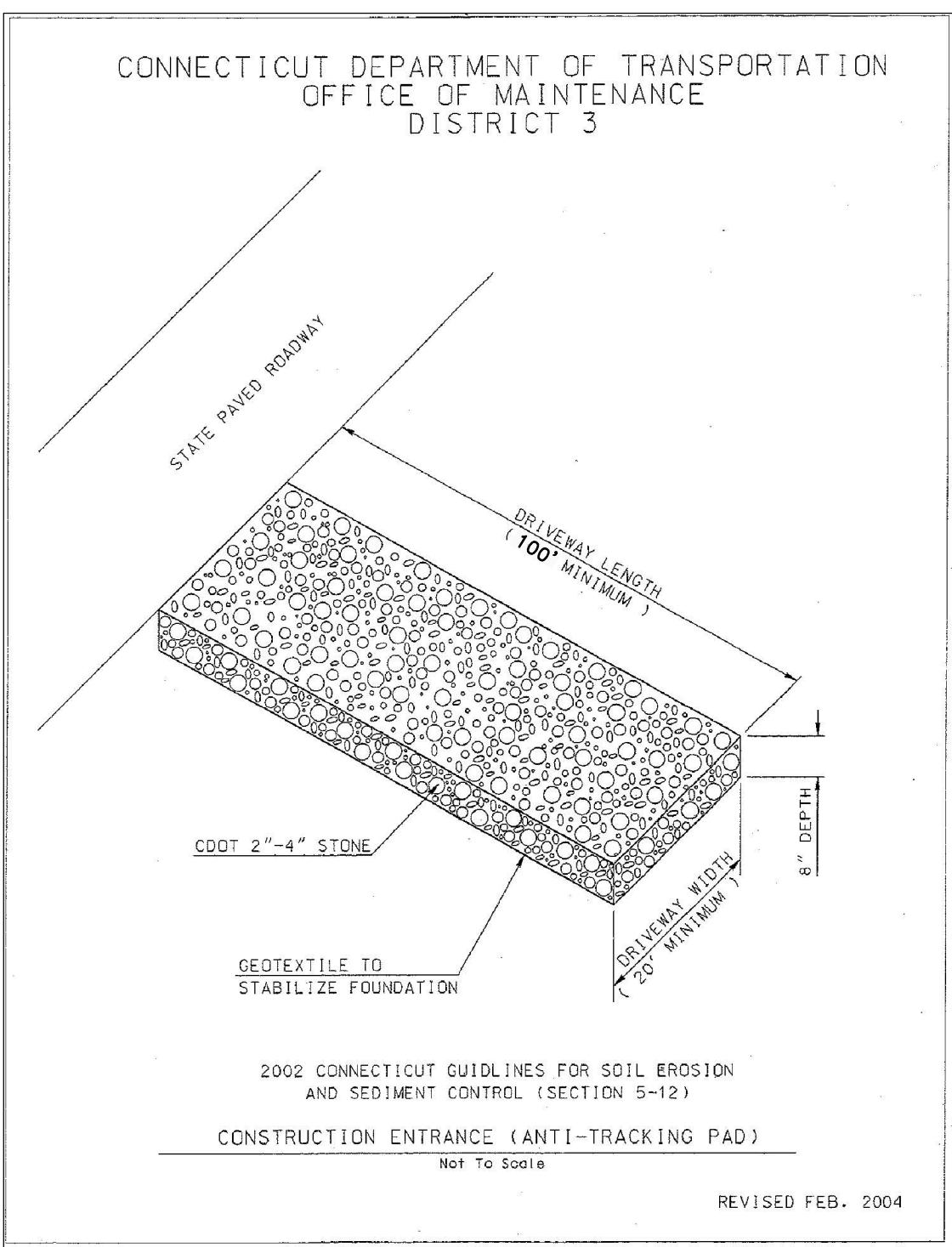
2002 Connecticut Guidelines for Soil Erosion and Sediment Control

Figure SCD-2 Stone Check Dam Installation in Drainageways



Source: USDA-NRCS

2002 Connecticut Guidelines for Soil Erosion and Sediment Control



2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (SECTION 5-12)
CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)
Not To Scale
REVISED FEB. 2004

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812. FAX: (860)-721-7709

SITE DETAILS
PREPARED FOR:
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLCK/LOT #H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT





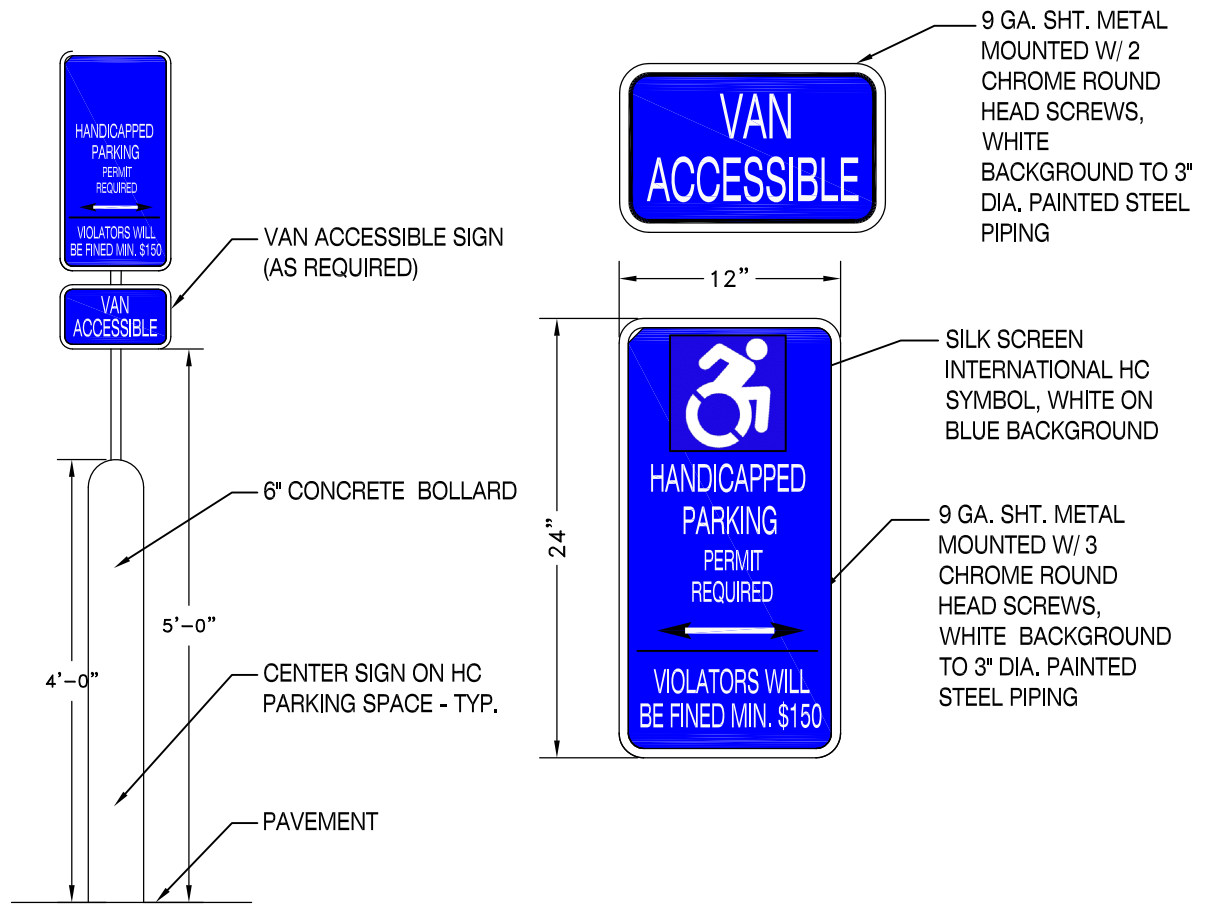
HANDICAPPED ACCESSIBLE PARKING SYMBOL
NO SCALE



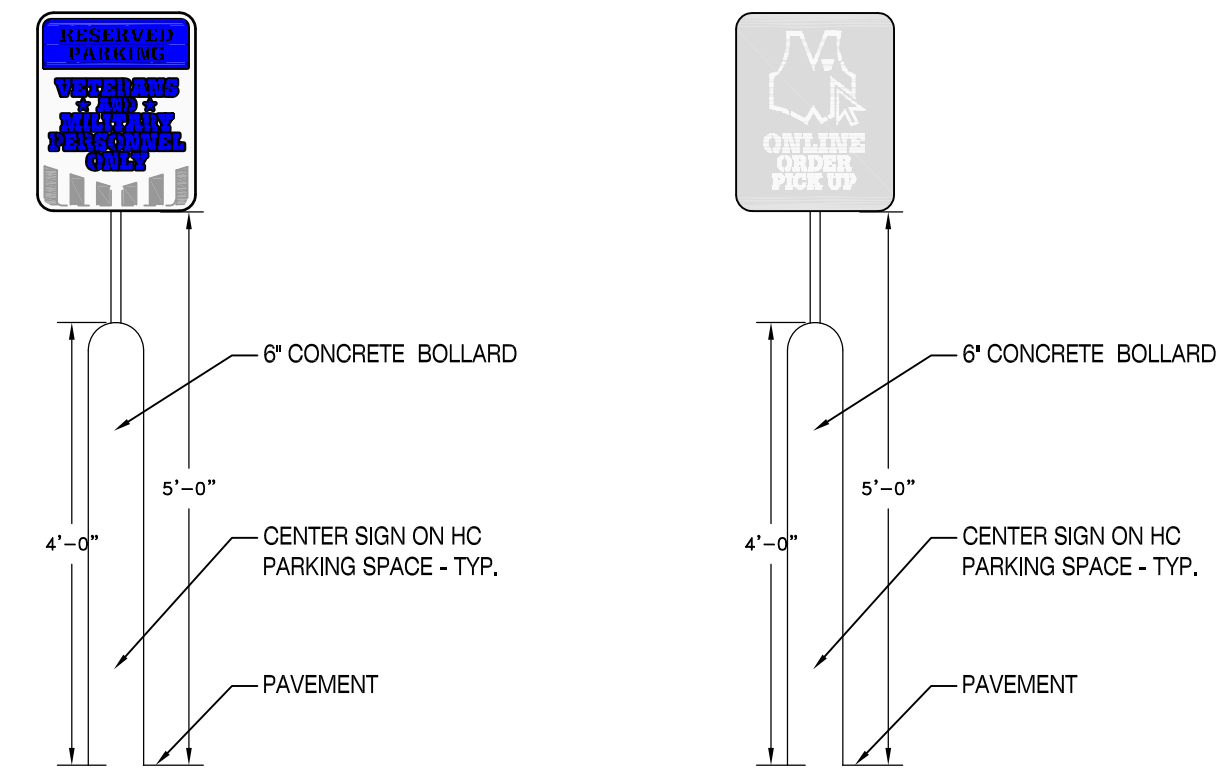
RESERVED PARKING -VETERANS
AND MILITARY PERSONAL ONLY
SYMBOL



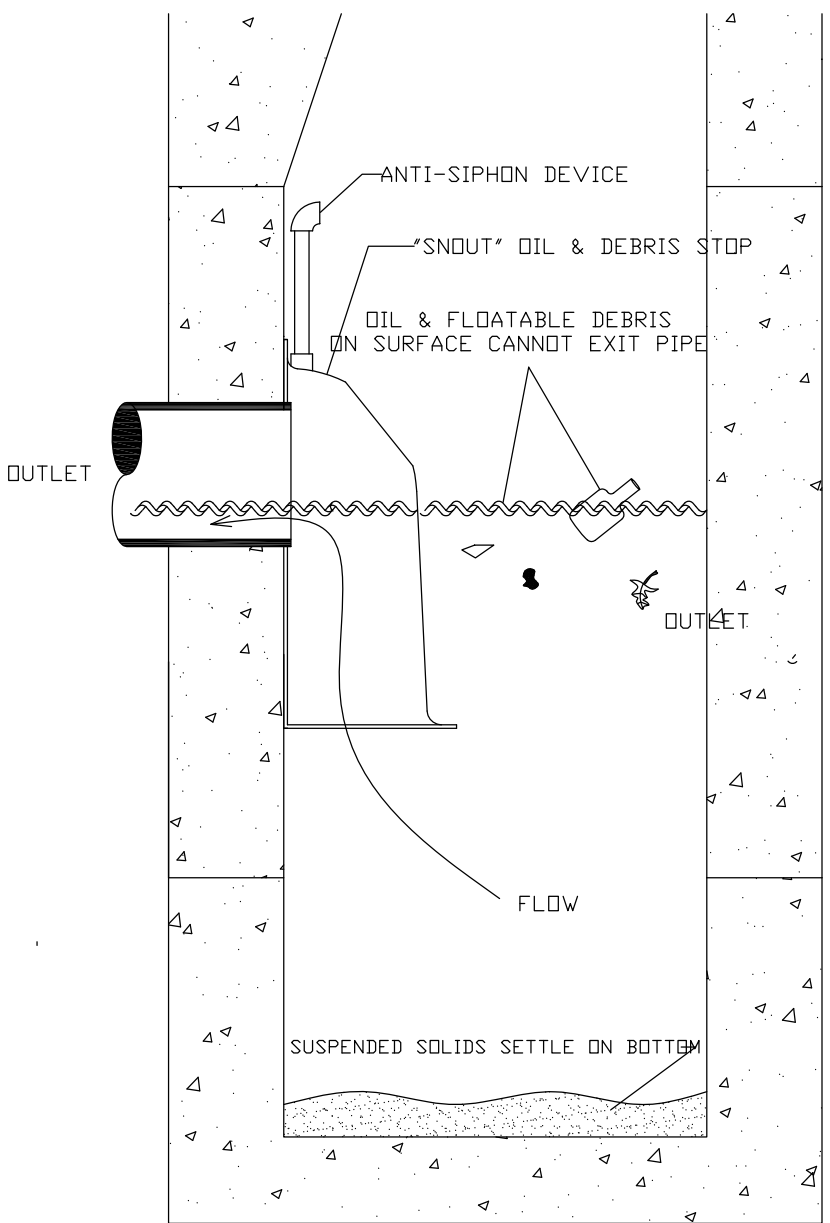
ONLINE ORDER PICKUP
SYMBOL



HANDICAPPED PARKING SIGN DETAIL
NO SCALE



REGULATORY PARKING SIGN DETAIL
NO SCALE

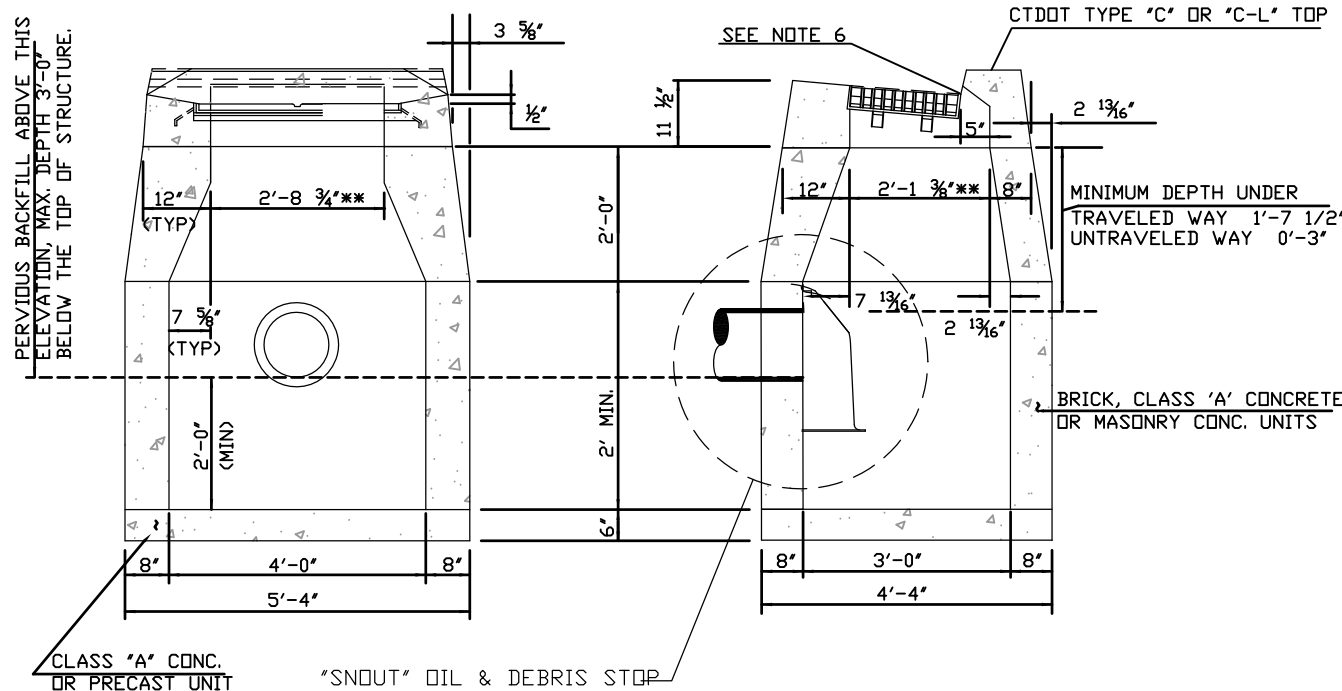


SNOUT CATCH
BASIN
INSTALLATION
(TYPICAL)

POST CONSTRUCTION STORM WATER POLLUTION MAINTENANCE

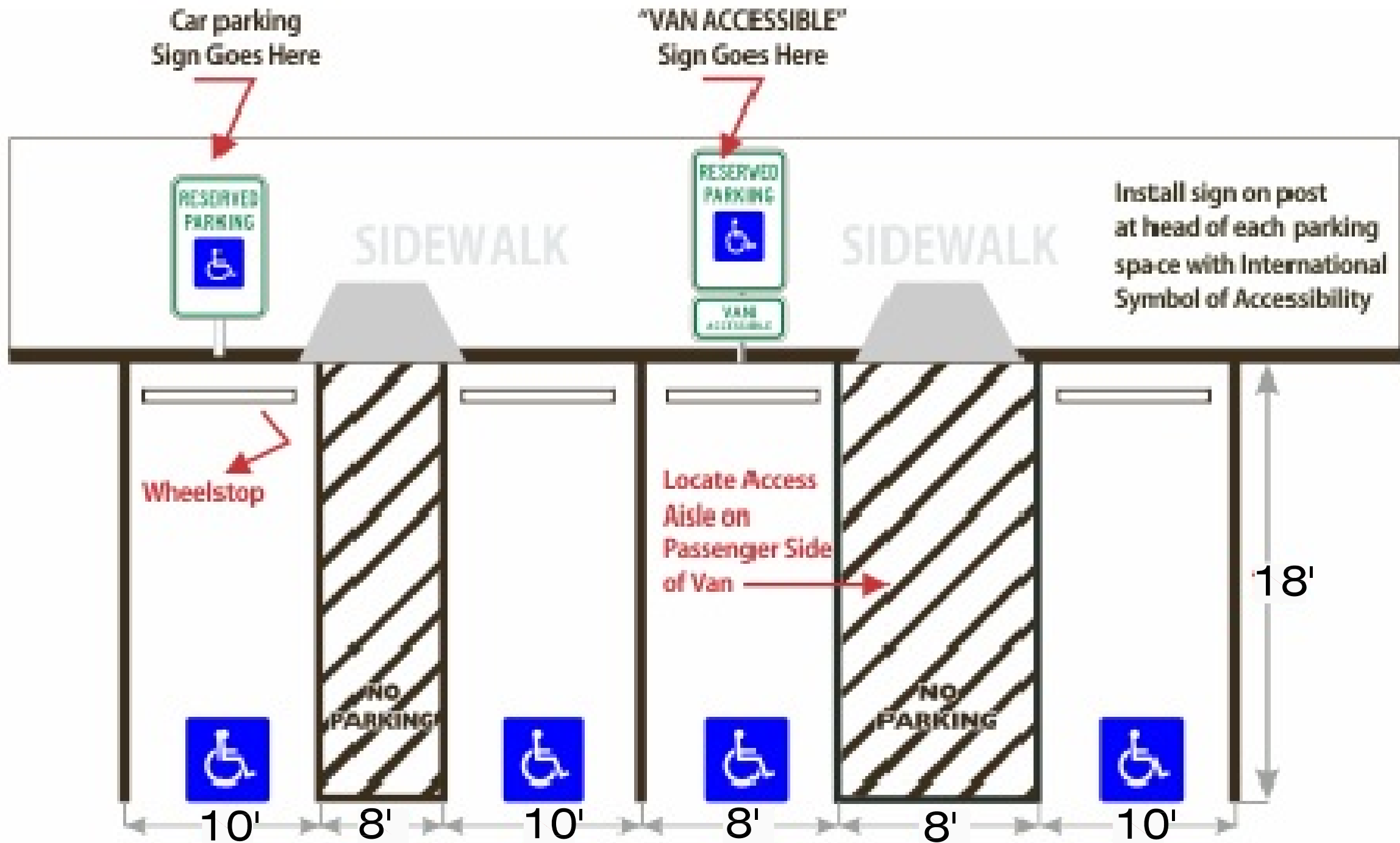
RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER:
NERP HOLDING AND ACQUISITIONS COMPANY, LLC
150 HARTFORD AVE.
WETHERSFIELD, CT 06109
PHONE: 860-529-9000

CATCH BASINS: CATCH BASINS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND ANY SEDIMENT, OILS & FLOATABLES WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)

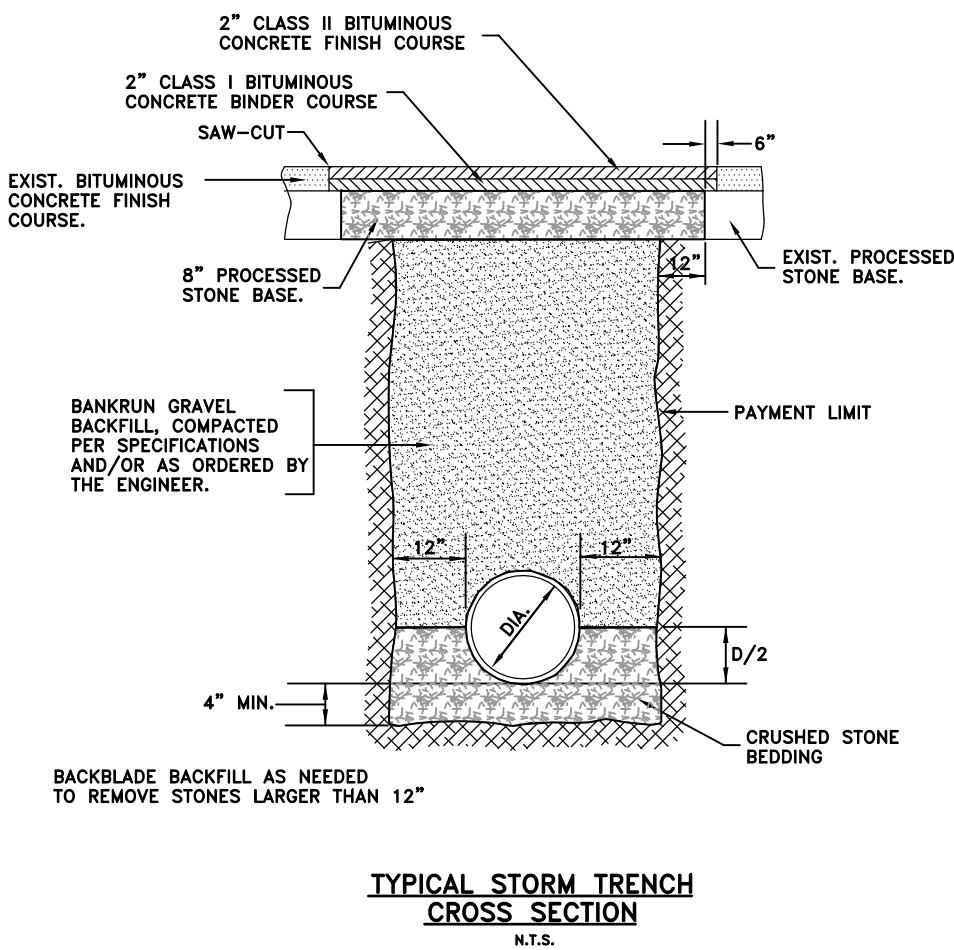


- NOTES:
- 1) WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP SHALL BE INCREASED TO 12\"/>
 - 2) PROVIDE DRAINAGE OPENING IN EACH WALL AT LOWEST INVERT ELEVATION.
 - 3) WHERE BRICK OR MASONRY CONCRETE UNITS ARE USED, CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL SHALL BE 3\"/>
 - 4) PRECAST CONCRETE CATCH BASIN UNITS MAY BE USED, AS DESCRIBED IN THE STANDARD SPECIFICATIONS.
 - 5) WHERE PRECAST CONCRETE UNIT IS USED FOR THE SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6\"/>
 - 6) TOP OF FRAME ELEVATION SHALL BE DEPRESSSED 1\"/>
 - 7) PROVIDE 6\"(MIN) GRANULAR FILL UNDER STRUCTURE TO REPLACE UNSUITABLE MATERIAL.

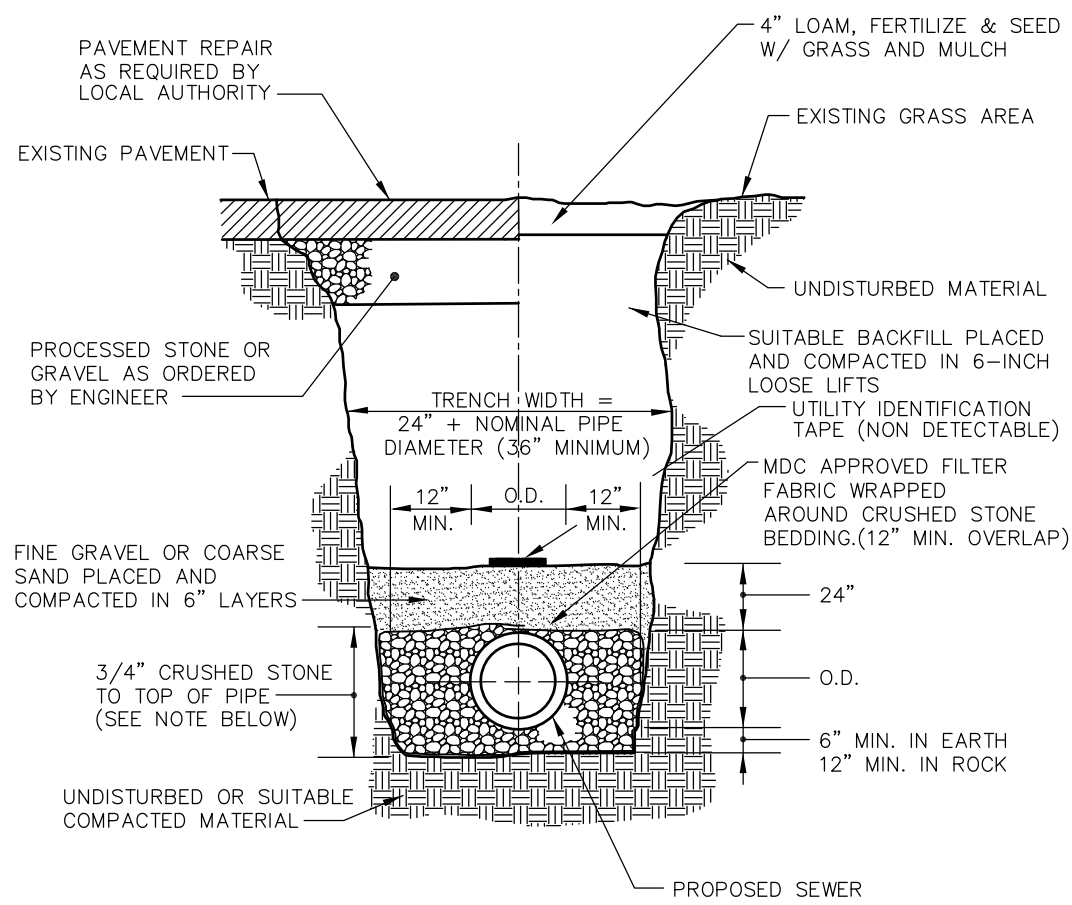
TYPICAL CATCH BASIN
NOT TO SCALE



TYPICAL ACCESSIBLE PARKING SPACES
NO SCALE



TYPICAL STORM TRENCH
CROSS SECTION
N.T.S.

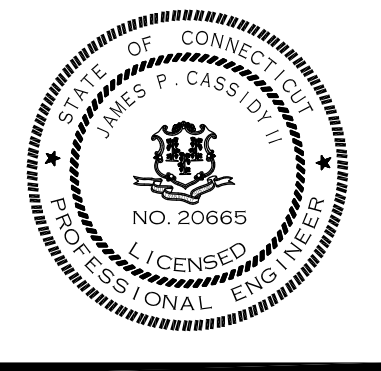


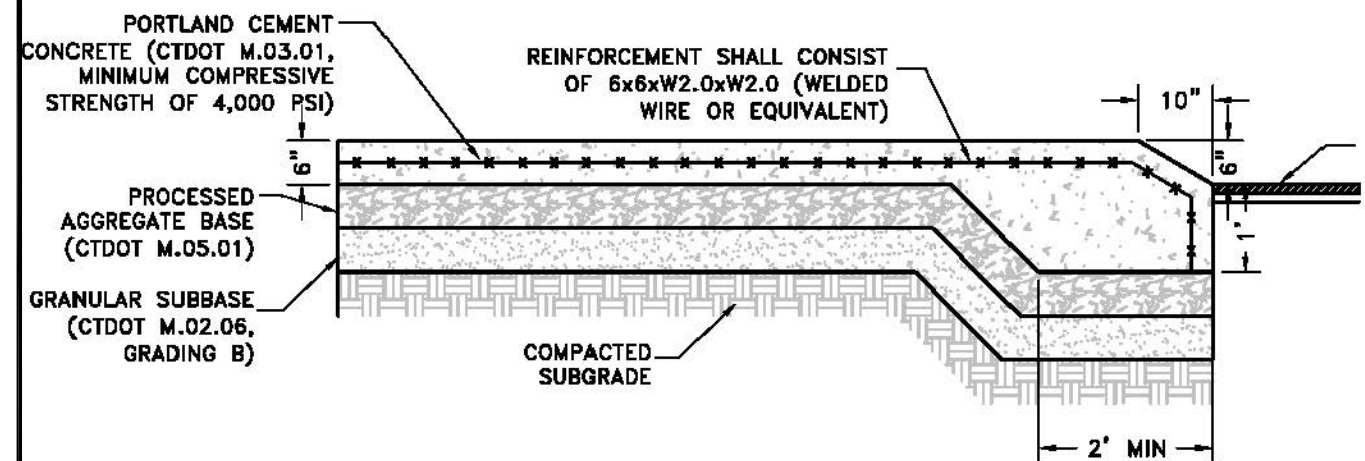
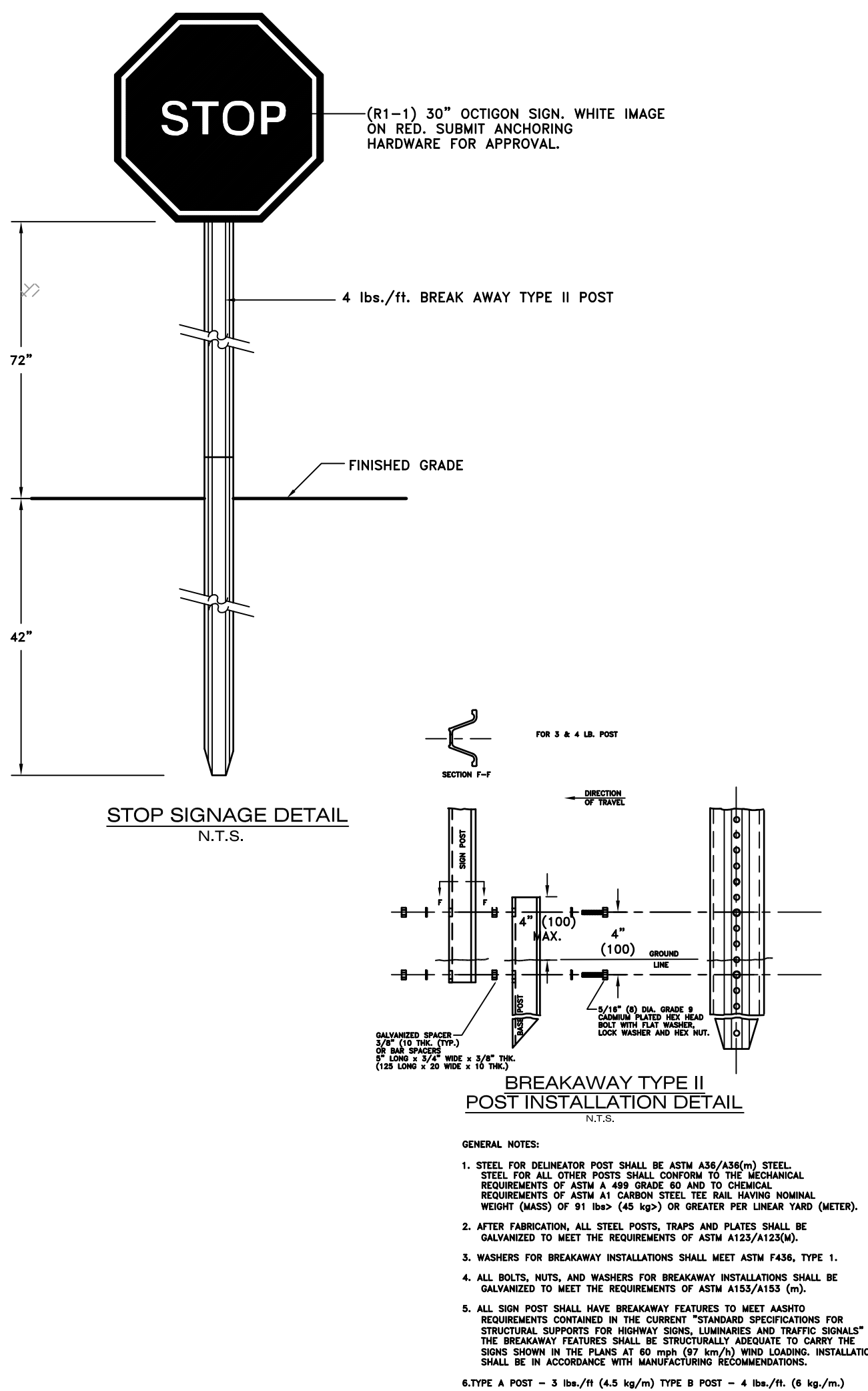
SEWER TRENCH DETAIL
FIGURE-6

SCALE: N.T.S.	CHECKED BY: J.P.C.
DATE: APRIL 28, 2021	DRAWN BY: J.M.P.
JOB No.: 3205	ACAD FILE: 3205-DET
SHEET: 11	OF: 15
REVISIONS:	

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
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PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE DETAILS
PREPARED FOR:
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT #H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT





- NOTES:**
- 1. SIZE OF PAD TO BE INDICATED ON PLANS**
 - 2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 10-12 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.**
 - 3. DOWELS SHALL BE PLACED ACROSS SLAB EXPANSION JOINTS TO LIMIT DIFFERENTIAL SETTLEMENT.**
 - 4. COMPONENTS SHALL MEET THE CONNECTICUT DEPARTMENT OF TRANSPORTATION (CTDOT) STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION FORM #16.**

MOUNTABLE CONCRETE ISLAND DETAIL

NO SCALE

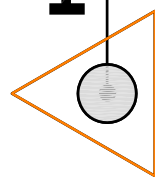
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DATE: MAY 05, 2020	DRAWN BY: J.M.P.
JOB No.: 2919	ACAD FILE: 3083-ES-D
SHEET: 12 OF: 15	
REVISIONS:	

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

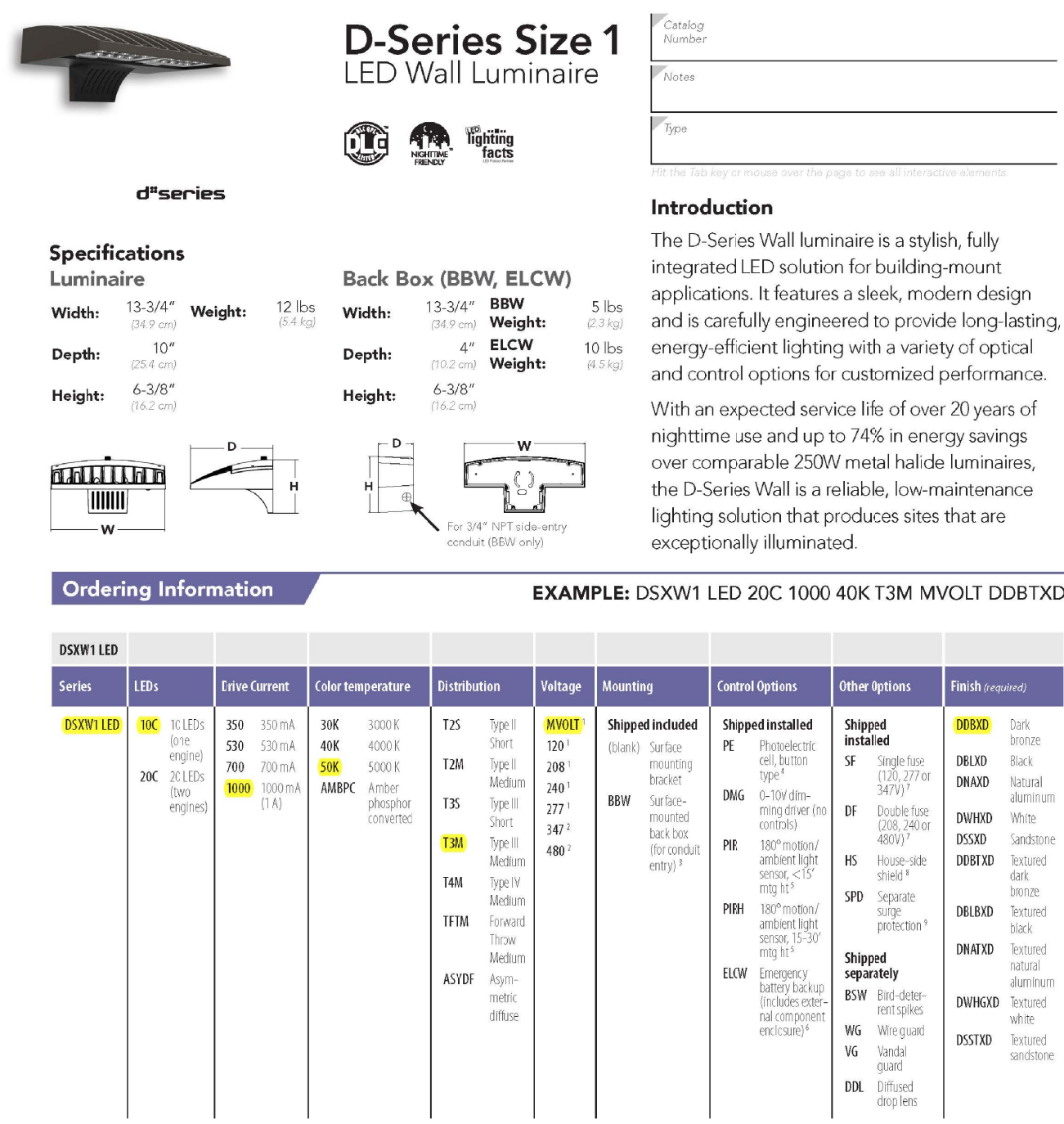
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709



SITE DETAILS

PREPARED FOR:
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT #H02-403-002B
1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT

[illegible]

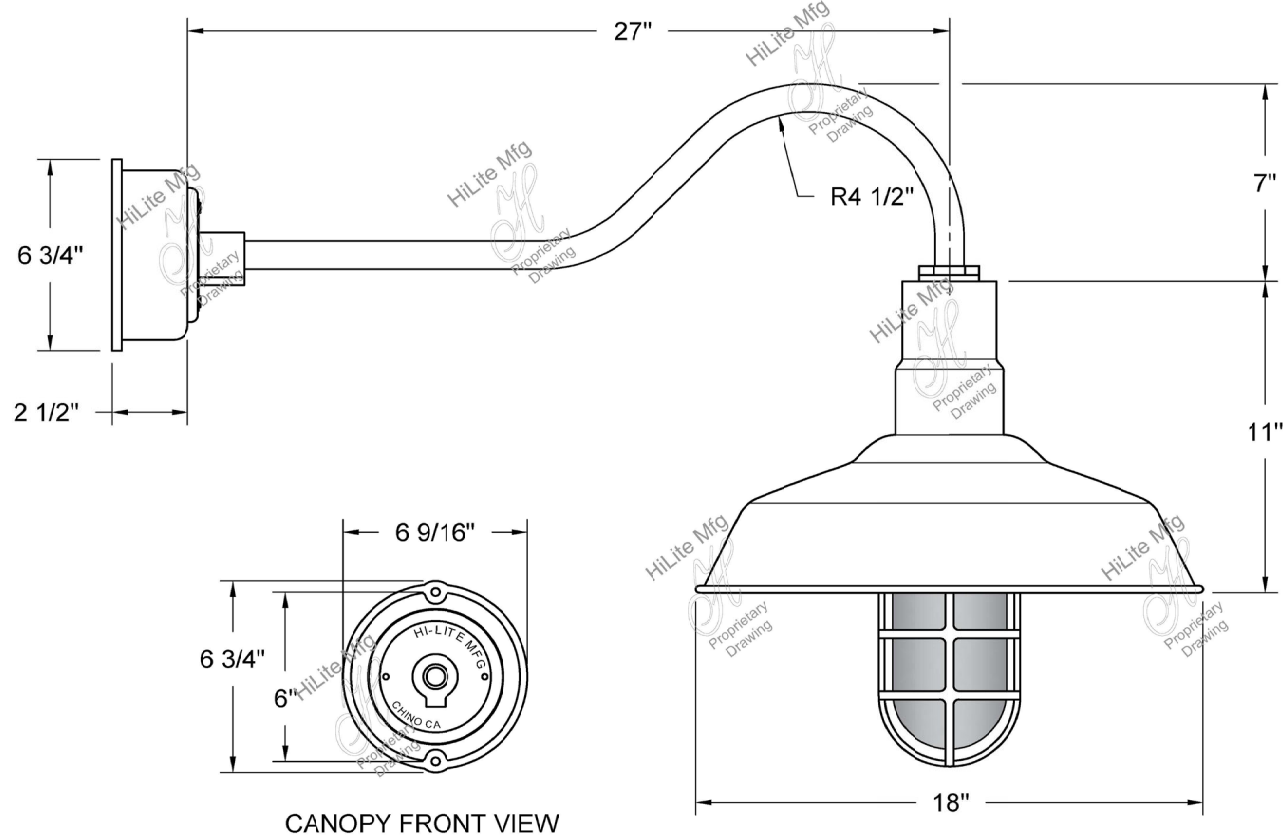
HI-LITE MFG. CO., INC.

13450 Morte Vista Avenue
 Chino, California 91710
 Telephone: (909) 465-1999
 Toll Free: (800) 465-0211
 Fax: (909) 465-0907
www.hiliteamg.com

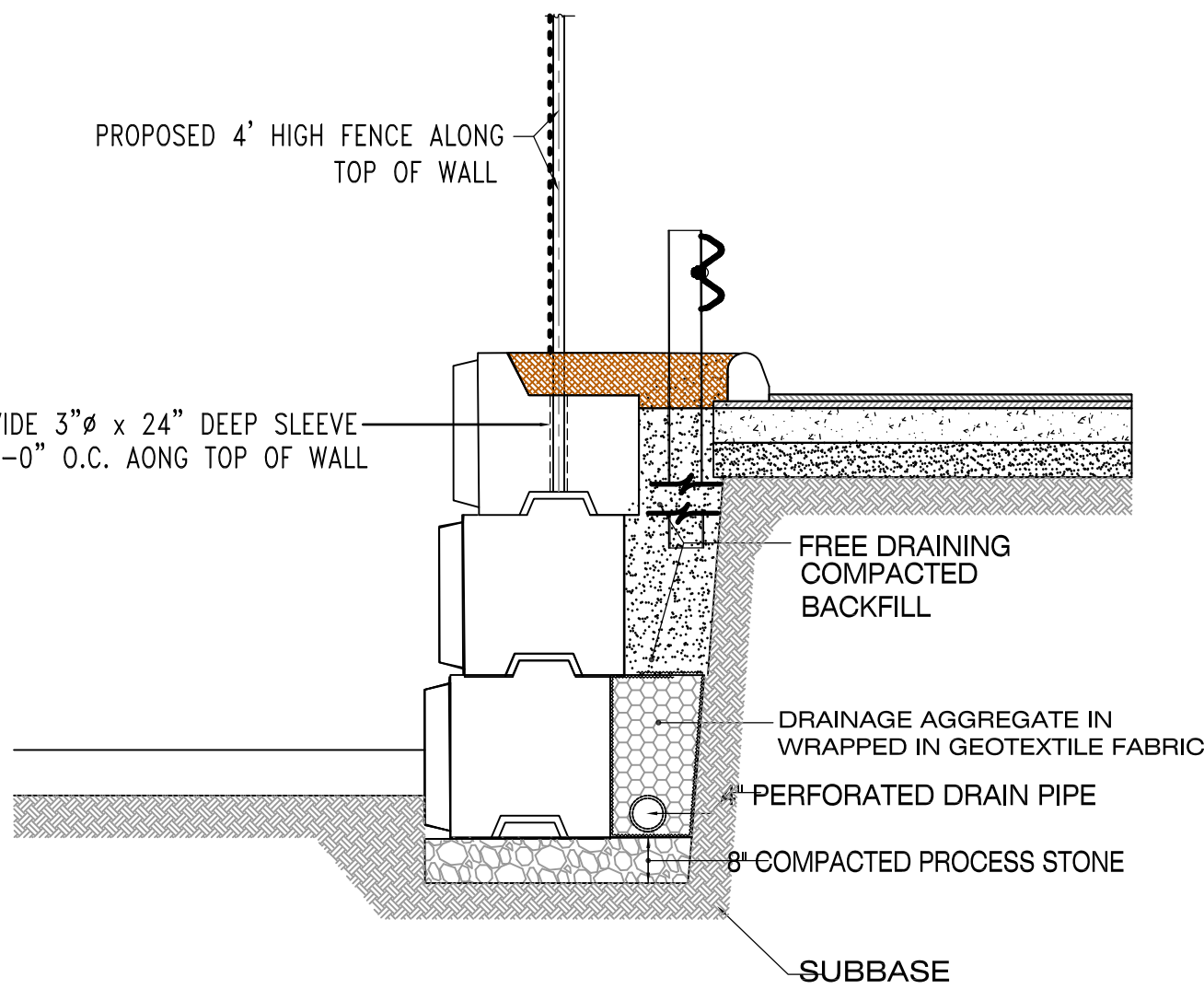
ORDER NO.	DATE	TYPE
PROJECT BY	03/07/2016	
REV.		

CANOPY FRONT VIEW

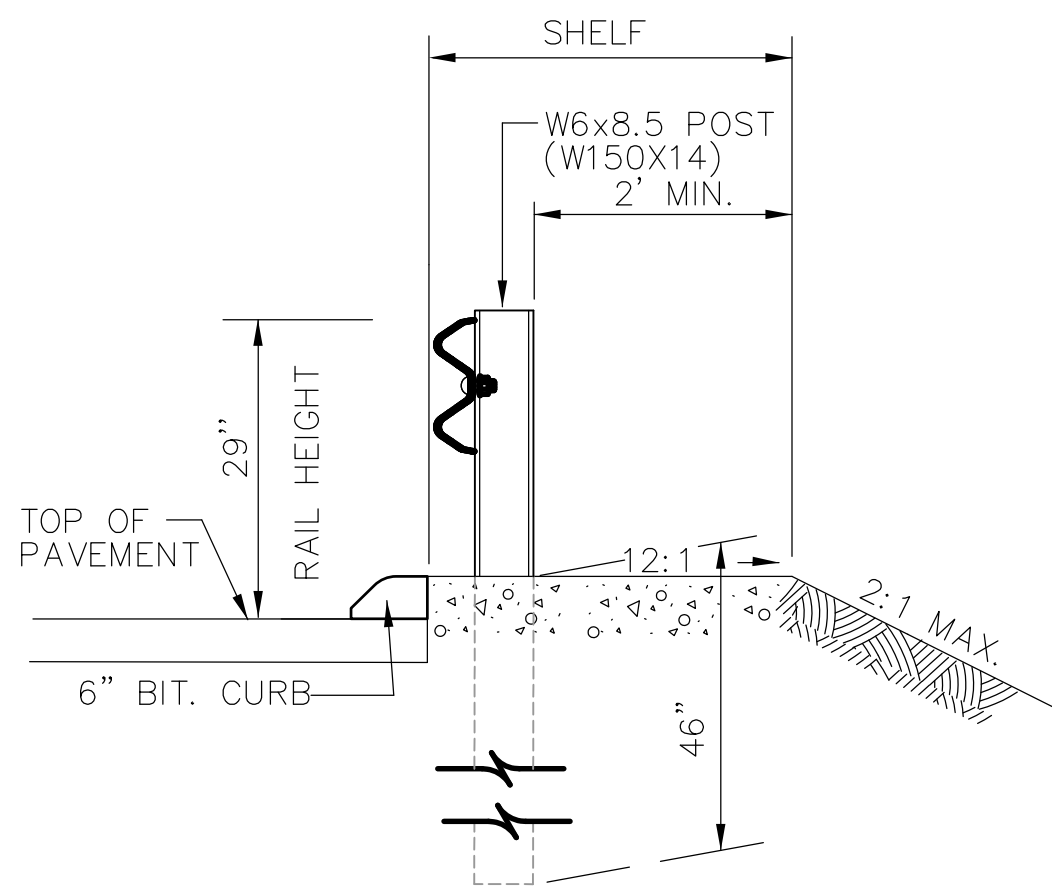
Item Number	Wattage	Voltage
H-15118-97/HL-AHD-27-97/LCGU-FR/18/LED3/40/ECM-M	18W	120/277V
Finish 97-Red (Fixture & Arm) Frosted (Glass)	Mounting Wall Mount	Lamp/Socket 18W LED3, 4000K



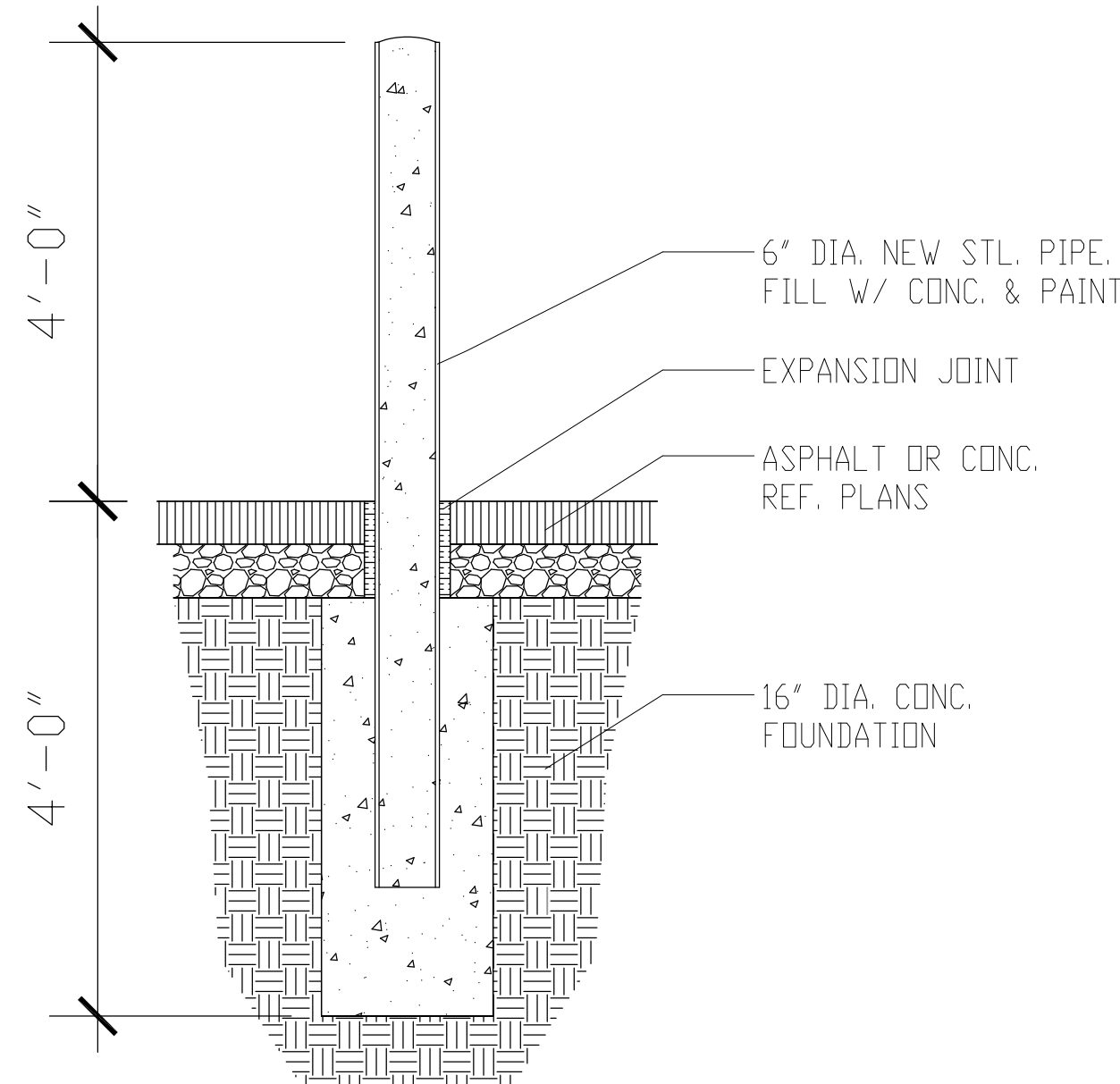
Item Number		Wattage	Voltage
H-15118-97/HL-AHD-27"-97/LCGU-FR/18LED3/40/BCM-M		18W	120/277V
Finish 97-Red (Fixture & Arm)	Mounting Wall Mount	Lamp/Socket 18W LED3, 4000K	



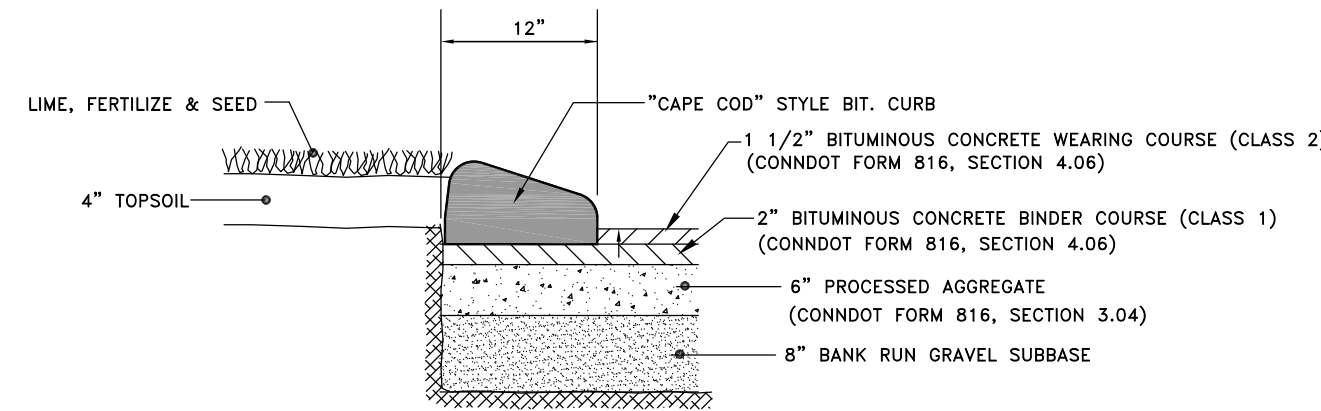
RETAINING WALL DETAIL
NOT TO SCALE



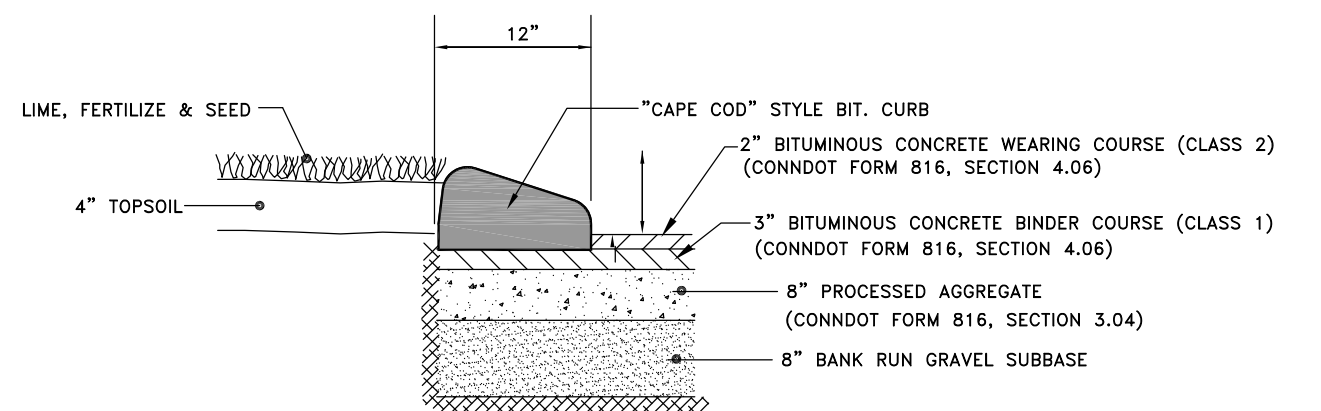
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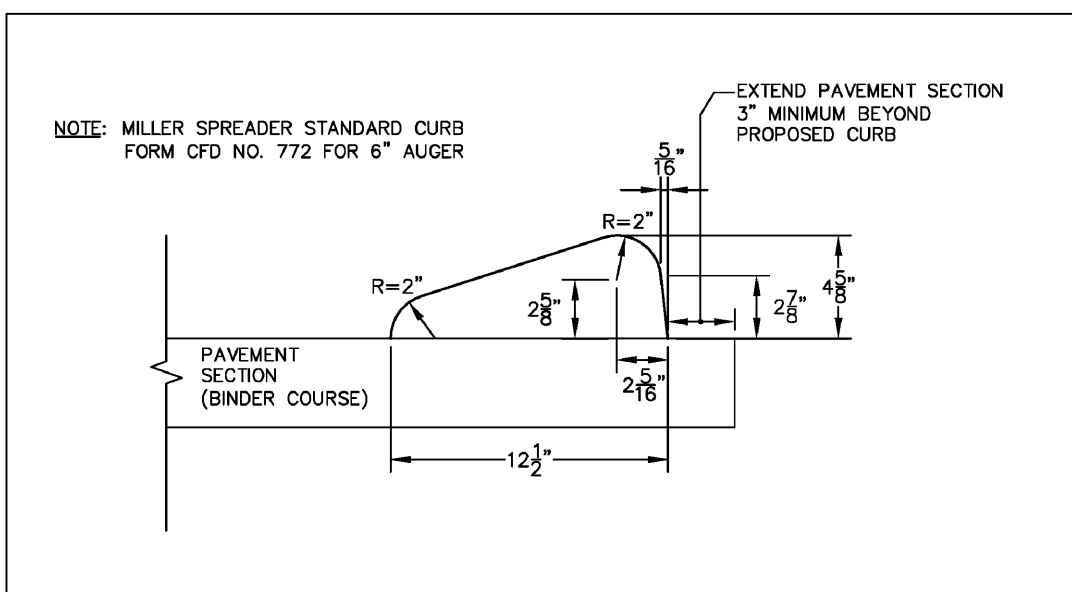
TYPICAL BOLLARD
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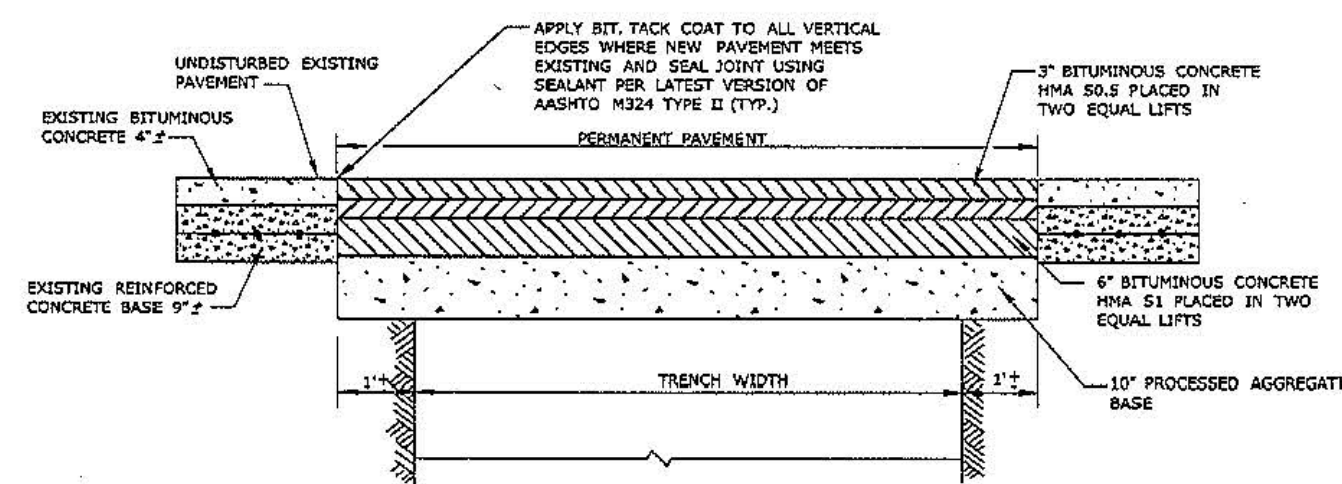
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PARKING AREA SPACES
(STANDARD DUTY)
N.T.S.



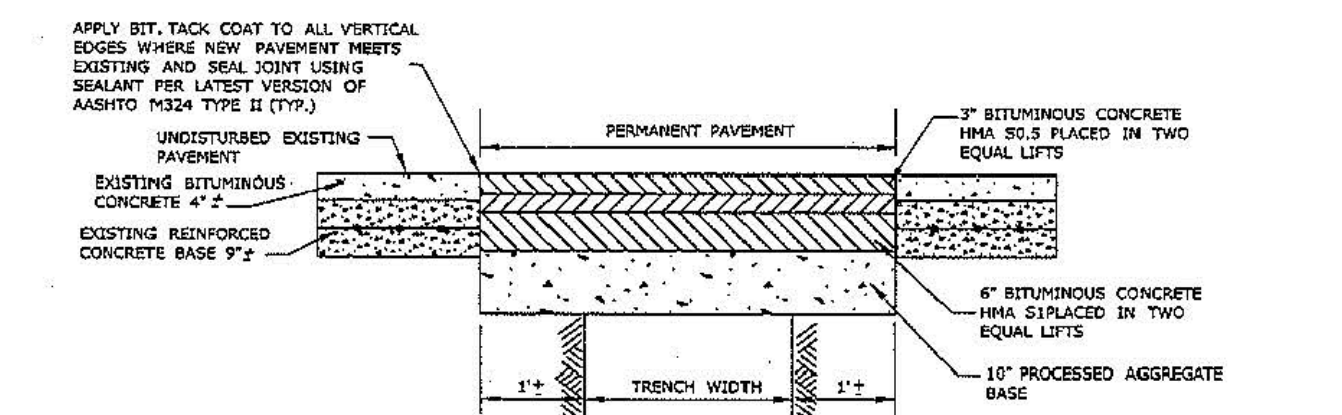
BITUMINOUS CONCRETE PAVEMENT
DRIVEWAYS AND ACCESS LANES
(HEAVY DUTY)
N.T.S.



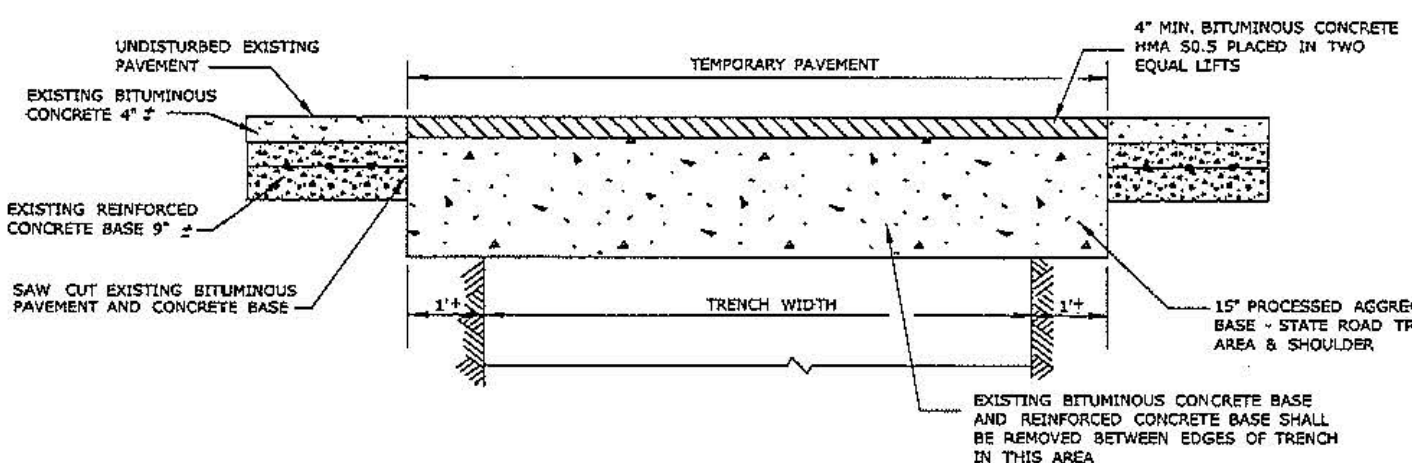
CAPE COD STYLE BITUMINOUS CURBING
N.T.S.



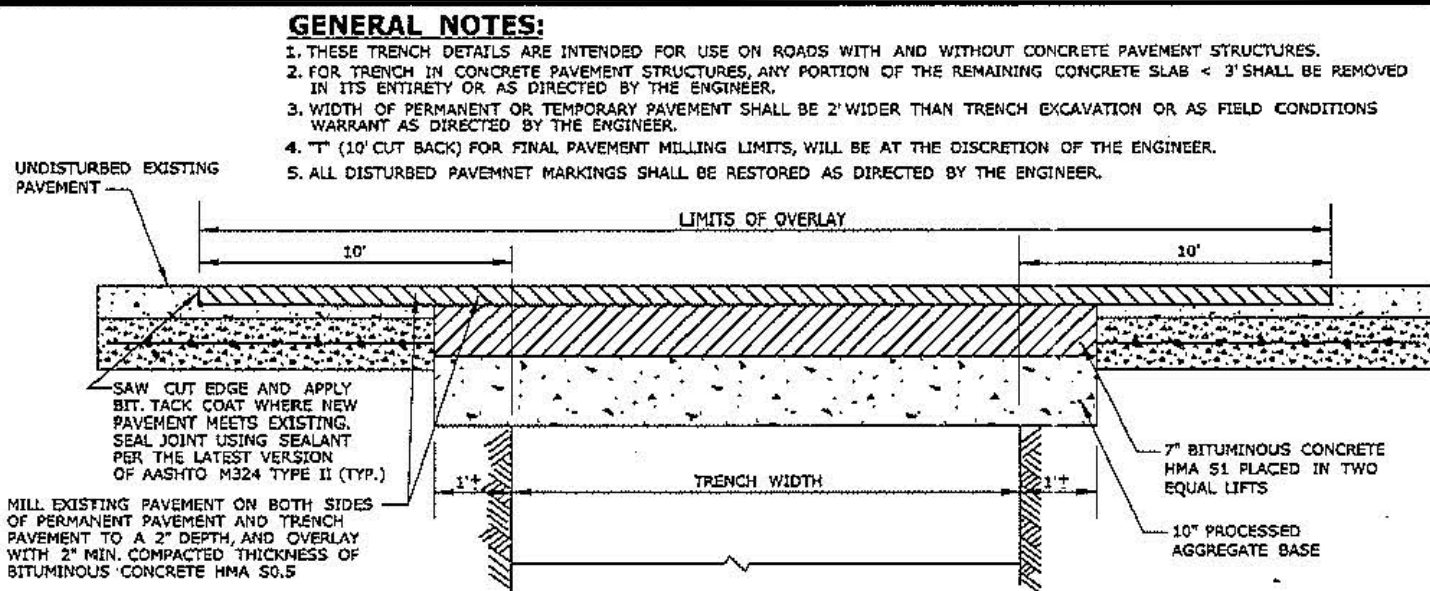
PERMANENT PAVEMENT TRENCH DETAIL
TRENCHES PERPENDICULAR TO EDGE OF PAVEMENT



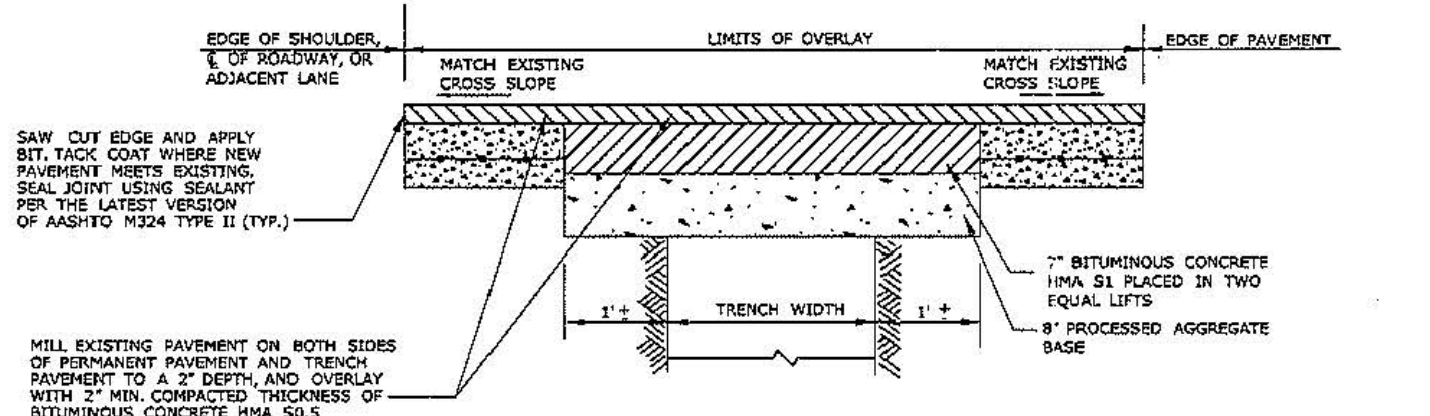
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TRENCH PARALLEL TO EDGE OF PAVEMENT



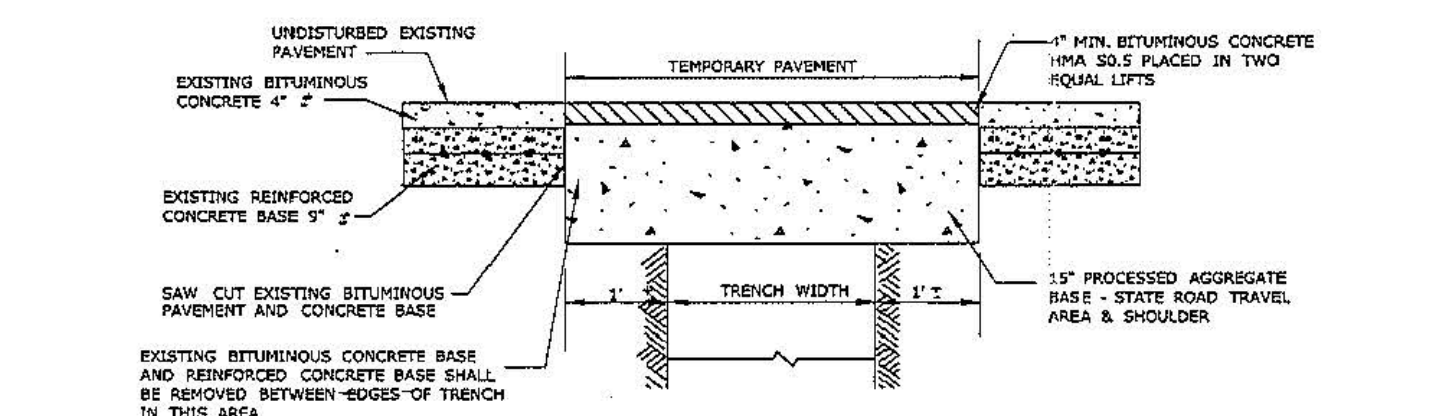
TEMPORARY PAVEMENT DETAIL
TRENCHES PERPENDICULAR TO EDGE OF PAVEMENT



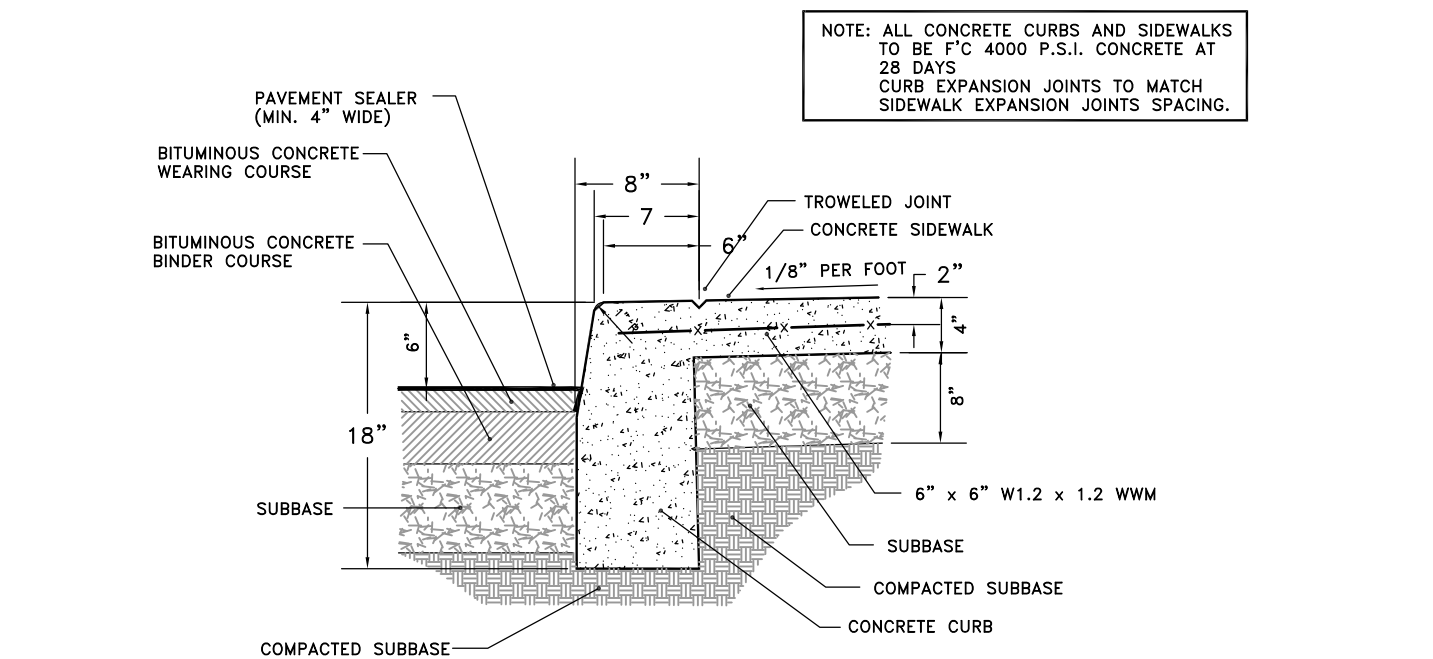
MILLING AND OVERLAY
TRENCHES PERPENDICULAR TO EDGE OF PAVEMENT



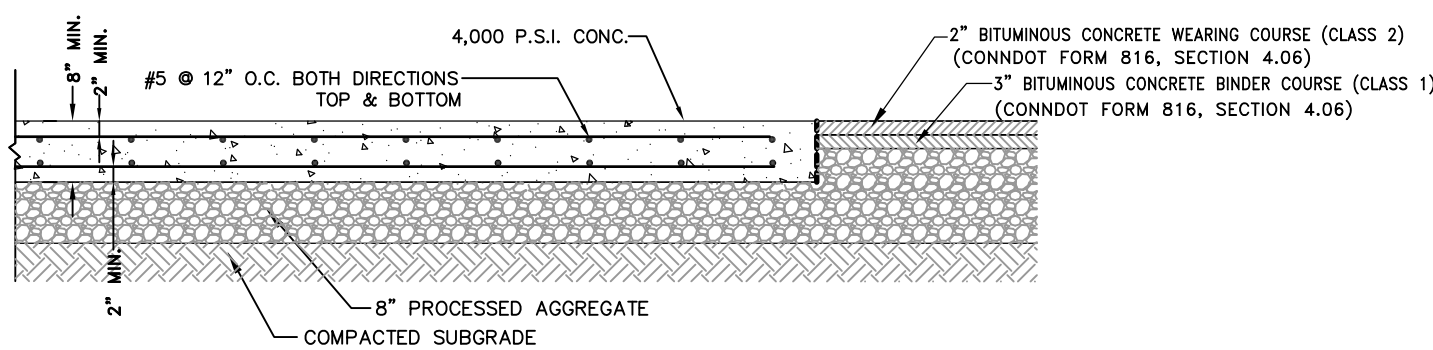
MILLING AND OVERLAY
TRENCH PARALLEL TO EDGE OF PAVEMENT



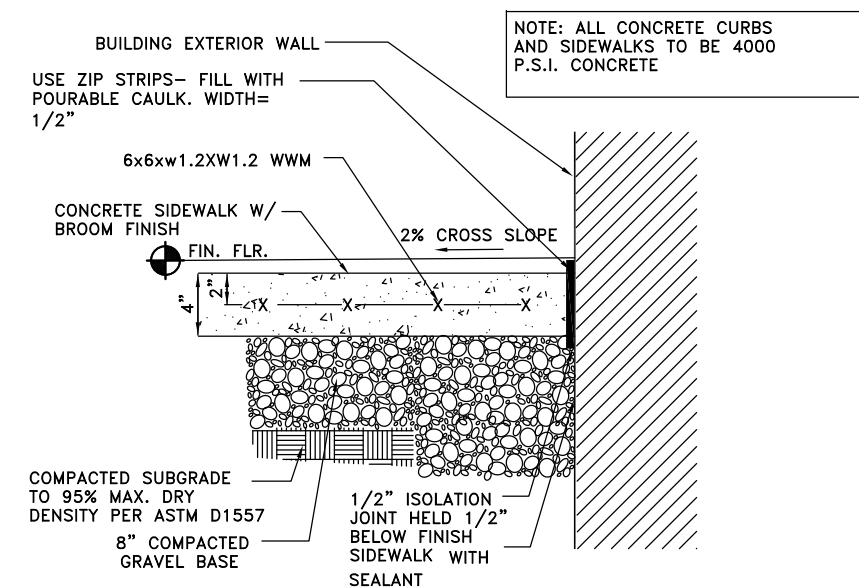
TEMPORARY PAVEMENT DETAIL
TRENCH PARALLEL TO EDGE OF PAVEMENT



CONCRETE CURB DETAIL
WITH MONOLITHIC SIDEWALK ONSITE
N.T.S.



TYPICAL SECTION OF CONCRETE PAD
HEAVY DUTY CONCRETE
FOR LOADING AREA
NO SCALE



SIDEWALK DETAIL
N.T.S.

SCALE: N.T.S.	CHECKED BY: J.P.C.	SHEET: 13 OF 15
DATE: APRIL 28, 2021	DRAWN BY: J.M.P.	
JOB NO.: 3205	ACAD FILE: 3205-DET	
REVISIONS:		

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812 FAX: (860)-721-7709

SITE DETAILS
PREPARED FOR:
MACK V. DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLCK/LOT #H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT

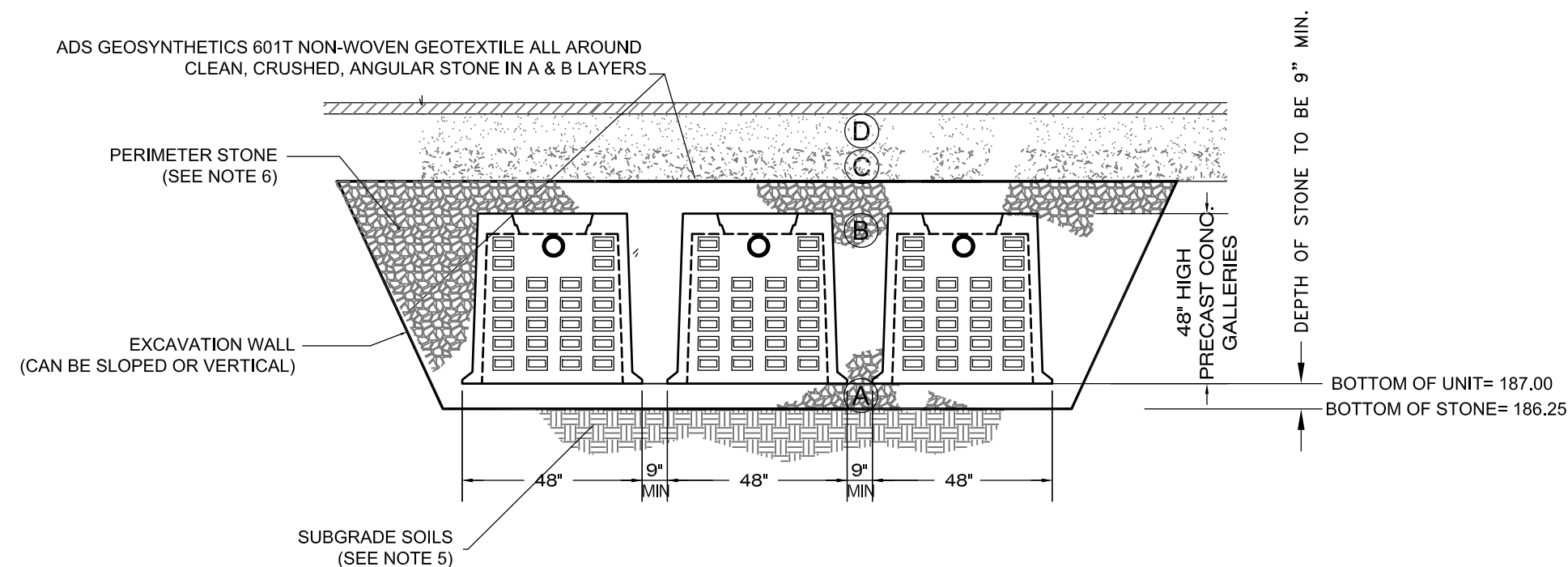


ACCEPTABLE FILL MATERIALS: STORMTECH MC-4500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2, 3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



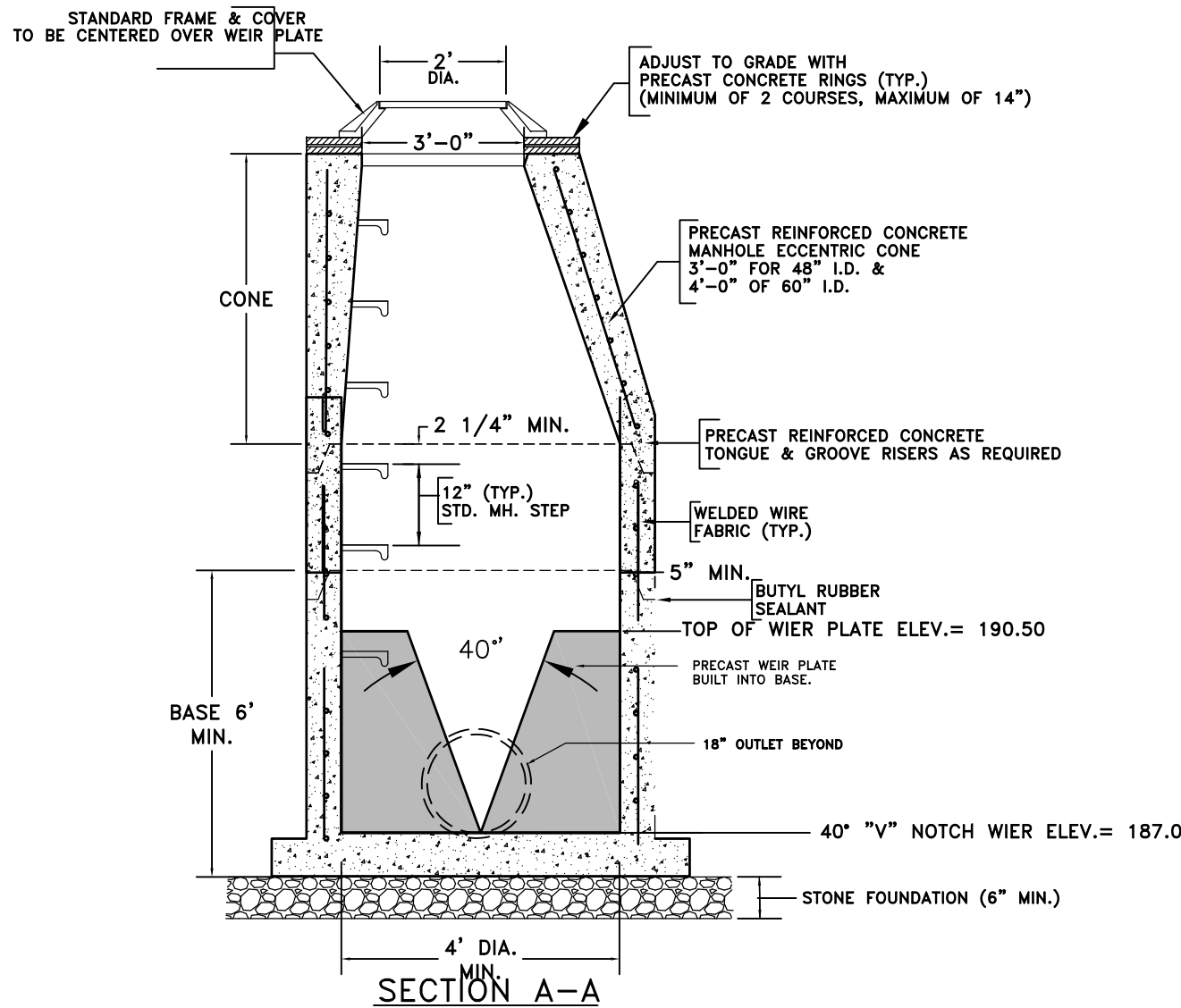
UNDERGROUND DETENTION SYSTEM

SECTION A-A

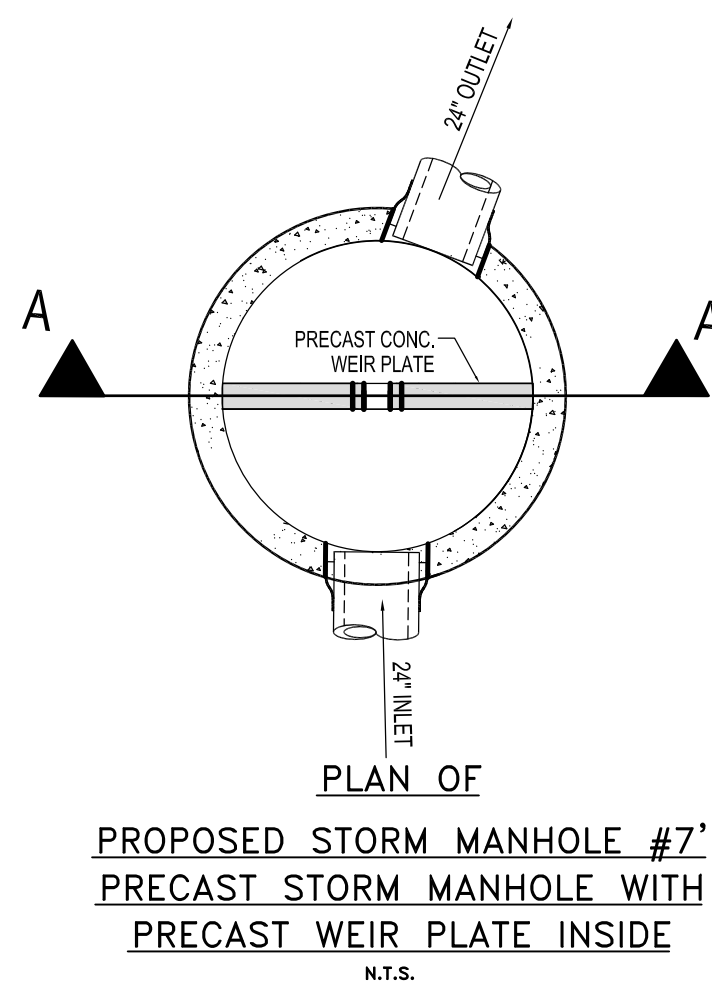
N.T.S.

NOTES:

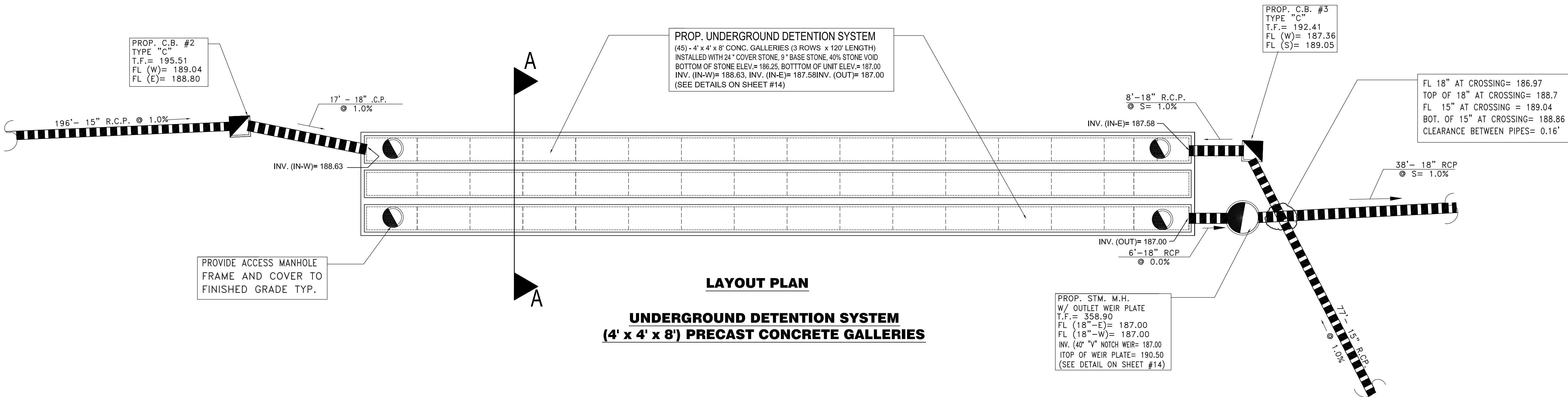
- MC-4500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".¹J
- MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".¹J
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.¹J
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.¹J
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.¹J
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



PROPOSED STORM MANHOLE #1
PRECAST STORM MANHOLE WITH
PRECAST WEIR PLATE INSIDE
N.T.S.



PROPOSED STORM MANHOLE #7
PRECAST STORM MANHOLE WITH
PRECAST WEIR PLATE INSIDE
N.T.S.



UNDERGROUND DETENTION SYSTEM
(4' x 4' x 8') PRECAST CONCRETE GALLERIES

SITE DETAILS

PREPARED FOR:
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT #H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT



HALLISEY, PEARSON & CASSIDY

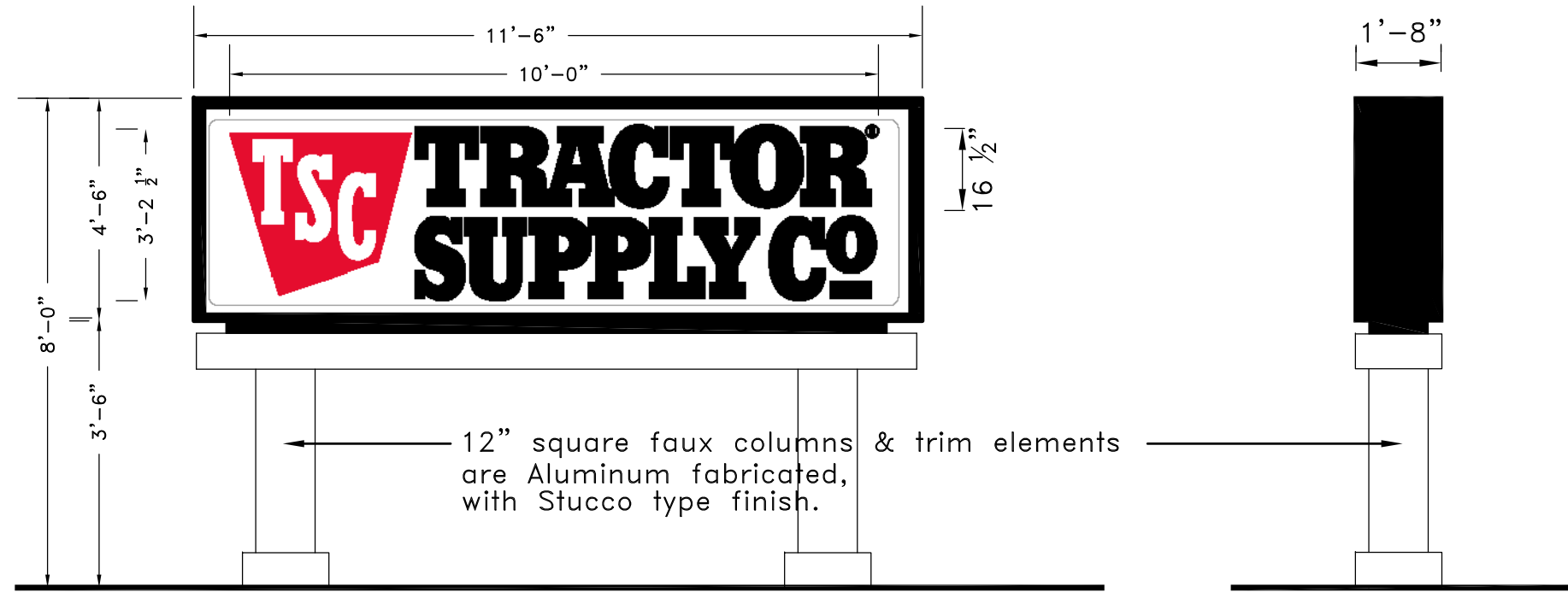
CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A

CROMWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

CHECKED BY: J.P.C.	SCALE: N.T.S.
DRAWN BY: J.M.P.	DATE: APRIL 28, 2021
ACAD FILE: 3205-DET	JOB No.: 3205
SHEET: 14 OF: 15	
REVISIONS:	



Elevation: Double Sided Monument Sign TSC AREA=32.0 sq. ft.

End Elevation

General Notes:

Doubled Faced Internally Illuminated, Panned Polycarbonate Face Sign
Copy: "TSC — Red Vinyl Logo w/ Negative-Cut Letters to Show White
"TRACTOR SUPPLY CO." Black Perforated Vinyl
Background: White Panned Polycarbonate w/ White Opaque Vinyl on Backside
Cabinet: Painted High Glass Black

PROPOSED MONUMENT SIGN DETAIL
N.T.S.



Elevation: Wall Mounted Sign TSC AREA= 82.7 sq. ft.

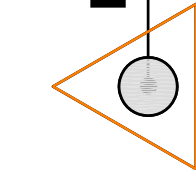
General Notes:

Doubled Faced Internally Illuminated, Panned Polycarbonate Face Sign
Copy: "TSC — Red Vinyl Logo w/ Negative-Cut Letters to Show White
"TRACTOR SUPPLY CO." Black Perforated Vinyl
Background: White Panned Polycarbonate w/ White Opaque Vinyl on Backside
Cabinet: Painted High Glass Black

PROPOSED TSC WALL MOUNTED SIGN DETAIL
N.T.S.

SITE DETAILS

PREPARED FOR:
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT #H02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT



HALLISEY, PEARSON & CASSIDY

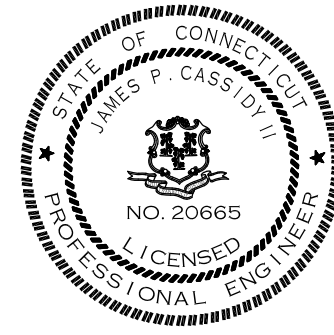
CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A

CROMWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

SCALE: N.T.S.	CHECKED BY: J.P.C.
DATE: APRIL 28, 2021	DRAWN BY: J.M.P.
JOB No.: 3205	ACAD FILE: 3205-DET
SHEET: 15	OF: 15
REVISIONS:	



Snow Removal Plan

There are many variables to take into consideration when developing a snow removal plan. These factors include the amount of snow or ice, the time of the snow or ice, outdoor temperatures, wind conditions, traffic conditions, equipment operation, staffing, and final result desired.

The following list outlines the priorities for snow and ice removal.

- Parking lots
- Main entrance sidewalks
- Pedestrian and secondary entrance sidewalks

Below is a general list of winter weather conditions listed from lightest to worst.

- Light glazing of ice or snow (less than 1 inch)
- Light Slush (less than 1 inch)
- Light Snow (1 - 2 inches)
- Slush (more than 1 inch)
- Medium Snow (3 - 4 inches)
- Heavy Snow (more than 4 inches)
- Blizzard

Within each of the above categories there are different factors that affect the response necessary for the removal of the unsafe condition. Below is a general list of those conditions to be aware of:

- Time of the arrival of the weather condition (minimal warning, during rush hour, during the middle of the day, middle of the night, etc.)
- Wind
- Temperature
- Amount of available equipment
- Amount of available labor

To handle the snow and ice removal necessary for your facility to operate, the snow manager is the paid person who has the following responsibilities and the authority to develop and implement plans specific to the conditions that need to be dealt with.

- Must study the weather conditions on a daily basis (utilizing a weather service, the Internet, news and personal observations).
- Must know the availability of staff or snow removal contractor on a 24 hour 7 day a week basis during the winter season.

Snow Removal Plan Process

Since there is no definitive plan that will work for all occasions, snow removal plans should be thought of as a process. This process is always in flux depending on the weather conditions, equipment availability, staffing and timing. There is no single solution, but there is a process.

- In October set up a meeting with the snow removal contractor that will be hired for snow. The topics of the meeting should cover: hours of availability, type of equipment qualified to operate, ways to reach team members to call into work (this can include house numbers, cell numbers, pager etc.) From the meeting develop a schedule of availability along with assignments (snow truck operators, tractor operators, salt truck operators, etc.)
- Now it is time to monitor the weather and develop daily plans. As mentioned earlier the plan is going to vary depending on the weather situation, staffing and equipment. So the paid person needs to remain flexible during all times of the day to assign the staff necessary to handle the needs of your facility. When possible the paid person should line up the team for snow removal prior to the end of their work shift. This allows them to adjust their schedules at home to get some extra sleep in order to prepare for the weather conditions ahead.

Developing the Plan

The plans that are initiated at the beginning of the season should always be more cautious. This is because the people on the team may be new to a certain calling or snow. They haven't done it about a year yet could have forgotten the nuances with individual sites, equipment failures are common at the beginning of the season, or any other issues with a new situation. As the season progresses the time elements can be figured out and staffing can be re-evaluated. After each time the snow team goes out, fill out a report on the work, what went right and what went wrong, the time amount of snow or if it was too long and who was involved in the process. At the end of the season put the information from the report into a single spreadsheet for reference in the future.

First Snowfall at 1" or Less

At the beginning of the season on the first snow fall of 1 inch or more send out the full crew. For this snow the amount of time should be what it would normally take for a 2 - 3 inch snow fall. This allows for a safe learning curve.

For example, on a 2-3 inch snow fall it takes approximately 1 1/2 to 1 3/4 hours to clear a site. So if the crew consists of 9 team members and we have 12 sites, the team should start the process 3 hours prior to the desired completion time. On a typical work day that time is 6:30 AM.

Salina Only

Any snow that is less than 1 1/2 inches is to be salted. If there are only 1 hour prior to the desired completion time send out 2 trucks. If there is ample time, then the paid person can make the decision to send out a single truck.

Rest of the Season

Based on the information from the first snow fall of 1" or less a decision can be made by the paid person on the amount of labor necessary for subsequent snowfalls. Some base time lines to set for snowfall clean up are:

PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
TREES				
LS	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	2	2.5"-3" CALIP.
NS	NYSSA SYLVATICA	BLACK TUPELO	1	2.5"-3" CALIP.
PS	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	6	6"-7' HEIGHT.
SHRUBS				
IC	ILEX GRENATA "STEEDS"	STEEDS JAPANESE HOLLY	43	5 GAL.
IG	ILEX GLABRA "SHAMROCK"	SHAMROCK HOLLERY	27	3 GAL.
RO	ROSA "OSO EASY" MANEO SALSA	OSO EASY LANDSCAPE ROSE	20	2 GAL.
SJ	SPIREA JAPONICA "GOLDMOUND"	GOLDMOUND SPIREA	6	3 GAL.
PERENNIALS / GRASSES / GROUND COVERS				
MS	MISCANTHUS SINENSIS "GRACILLUMS"	MAIDEN GRASS	12	3 GAL.

PLANT NOTES:

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK TO AAN STANDARDS
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWING, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT OR THE CIVIL ENGINEER AND WHICH ARE SUBSEQUENTLY REQUIRED TO BE MOVED WILL BE DONE AT THE CONTRACTORS EXPENSE
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON AND PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS IN THE PREVIOUS NOTE.
- ALL SHRUB MASSING AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL. AT HIS OWN EXPENSE THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 411 PRIOR TO CONSTRUCTION.
- ALL SHRUBS AND GROUND COVER PLANTING AREAS SHALL BE HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL LAWN AREAS SHOULD HAVE A MINIMUM TOPSOIL BED OF 6".
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER TO COORDINATE THEIR INSTALLATION.
- FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
- ALL EXISTING RILL, GULL OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
- ADJUSTMENTS IN THE LOCATIONS OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTORS EXPENSE, UNLESS DIRECTED BY THE OWNER.
- UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
- CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO CLEARING OPERATIONS.
- CONTRACTOR TO RESEED ALL DISTURBED AREAS.

INSTALLATION SCHEDULE and MAINTENANCE PLAN:

- PLANTING ONLY UNDER FAVORABLE WEATHER CONDITIONS PLANTING WILL NOT BE PERMITTED WHEN GROUND IS FROZEN OR EXCESSIVELY MOIST.
DECIDUOUS MATERIAL:
SPRING: MARCH 21 TO JUNE 01
FALL: SEPT. 01 TO NOV. 01
- IF PLANTING DURING PEAK SUMMER MONTHS OF JULY AND AUGUST, CONTRACTOR SHALL AGGRESSIVELY IRRIGATE PLANTS TO ENSURE ESTABLISHMENT AND SURVIVAL.
- DO NOT PLANT WHEN GROUND IS FROZEN, SNOW COVERED, OR MUDDY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT PERIOD OF ONE FULL YEAR FROM COMMENCEMENT OF PLANT INSTALLATION.

SEEDING AND MULCHING SPECIFICATIONS:

SEEDING MAY BE OF A PERMANENT OR TEMPORARY TYPE DEPENDING ON THE TIME OF YEAR IT IS DONE. PERMANENT SEEDING SHOULD BE DONE DURING THE PERIODS OF APRIL 1 THROUGH JUNE 1 OR AUGUST 15 THROUGH SEPTEMBER 1.

DISTURBED AREA THAT ARE TO BE RESEEDED SHALL BE TOPSOILED, LIMED & FERTILIZED PRIOR TO RESEEDING. LABORATORY TESTING OF THE TOPSOIL IS RECOMMENDED TO DETERMINE RATES OF APPLICATION FOR THE LIME AND FERTILIZER. LACKING SUCH TESTING THE FOLLOWING ARE RECOMMENDED:

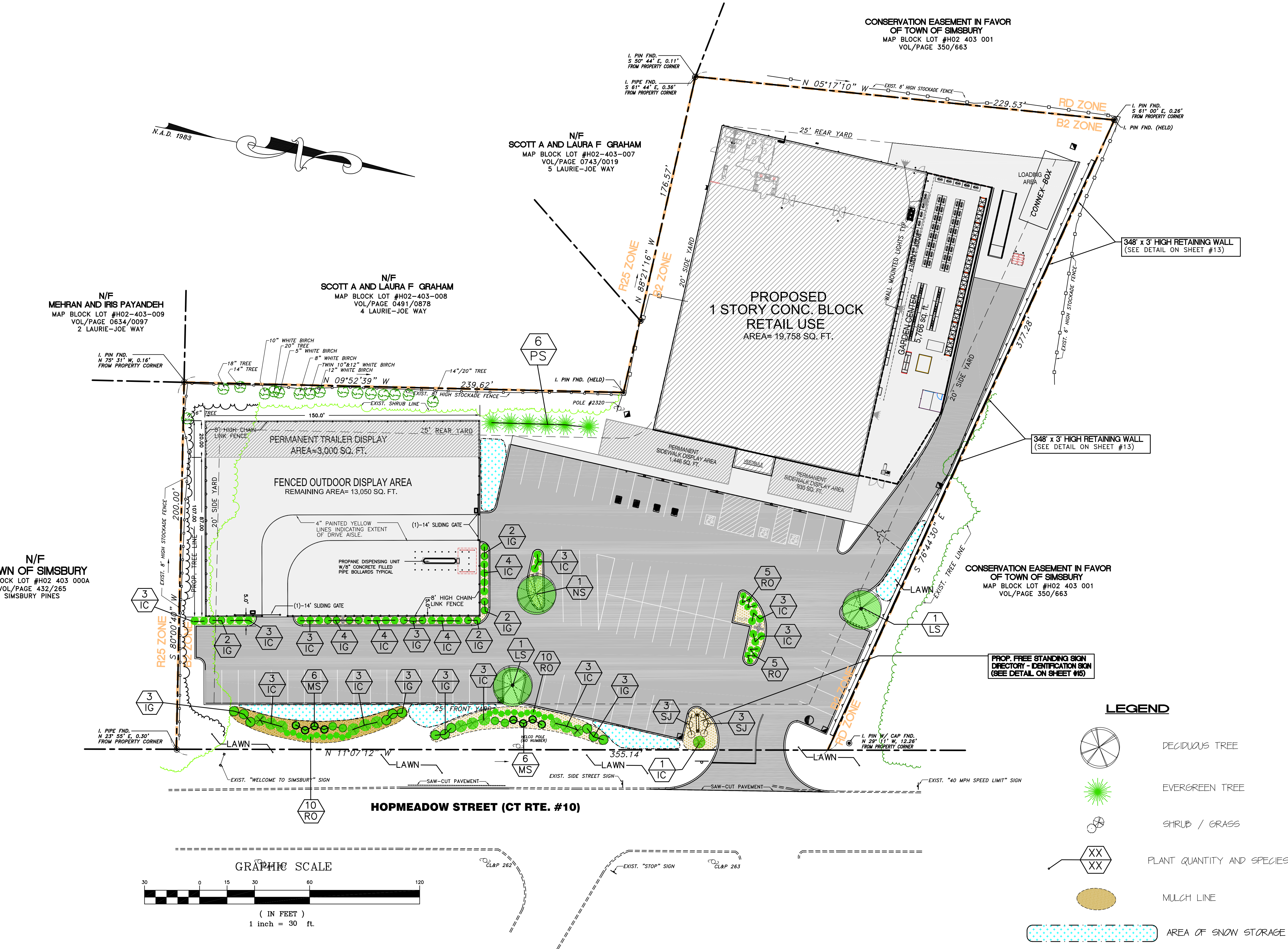
LIME 2 TONS/ACRE (90 lbs./1000 sq ft.)
FERTILIZER (10-10-10) (15 lbs./1000 sq ft.)

SEEDING RECOMMENDATIONS ARE AS FOLLOWS:

TEMPORARY -ANNUAL RYEGRASS	@2LBS./ACRE
PERMANENT -KENTUCKY BLUE GRASS	@1LBS./ACRE
CREeping RED FESCUE	@1LBS./ACRE
PERENNIAL RYEGRASS	@1LBS./ACRE
TOTAL	4LBS./ACRE

-MULCHING SHALL BE OF A TEMPORARY TYPE, TO PROTECT THE SOIL & SEED FROM EROSION AND TO ALSO PROMOTE PLANT GROWTH. MULCHING SHALL BE DONE AFTER FINAL GRADING AND SEEDING.

-MULCHING RECOMMENDATION ARE AS FOLLOWS:
-STRAW OR HAY (FREE FROM WEEDS AND COARSE MATTER)
SPREAD WITH MULCH BLOWER OR BY HAND
APPLY @ RATE OR 10 - 30 LBS/100 SQ. FT.



HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE LANDSCAPING PLAN

PREPARED FOR
MACK V DEVELOPMENT, LLC
FOR PROPERTY LOCATED AT:
ASSESSOR'S MAP/BLOCK/LOT#02-403-002B
#1603 HOPMEADOW STREET (CT RTE. #202)
SIMSBURY, CONNECTICUT



Architectural elevation drawing of the front of a building, labeled "1 ELEVATION". The drawing shows a single-story structure with a gabled roof, a central entrance with a sign that reads "TSC TRACTOR SUPPLY CO.", and a large window. The building is surrounded by landscaping including trees and a lawn. Dimensions and material specifications are provided for various parts of the building.

Labels and Dimensions:

- SMOOTH FACE C.M.U. PAINTED SAFETY RED
- ROOF LADDER BEYOND
- OUTDOOR SPEAKER FURNISHED & INSTALLED BY OTHERS @ 13'-0" A.F.F. BEYOND
- CORRUGATED GALVANIZED METAL PANEL
- BOTTOM OF FIXTURE @ 21'-8" A.F.F.
- PROVIDE SMOOTH FACE C.M.U. @ WALL AREA HIDDEN BY ENTRY CONSTRUCTION SEE ELEVATION 1a THIS SHEET
- SIGNAGE F.B.O., I.B.O.
- 24'-0"
- 12'-0"
- WALL-PACK FIXTURES (4 TYPICAL) MOUNTED @ 18'-0" A.F.F., TYP.
- GALVANIZED CORRUGATED METAL AWNING WITH PAINTED STEEL SUPPORT STRUCTURE.
- TOP OF MASONRY 20'-8"
- 5'-0"
- 9'-4"
- 4'-0"
- 8" SMOOTH FACE C.M.U. TAILORED FOAM FILLED, PAINT SW7532 URBAN PUTTY ABOVE 4'-0" A.F.F.
- 24" DIA. CORRUGATED GALVANIZED PIPE - ANCHORED TO STRUCTURAL PIPE COLUMN TEMP. GLASS TO DOOR HEIGHT, TYPICAL
- DOOR OPENER
- PROVIDE 4" TALL BLOCK STYLE NUMBERS FOR ADDRESS IN CONTRASTING COLOR
- 8" SPLIT-FACE C.M.U. TAILORED FOAM FILLED, PAINT SW7513 SANDLERLY TO 4'-0" A.F.F.
- CLEAR ANODIZED ALUMINUM STOREFRONT ENTRY SYSTEM (M/I 11" T&B, INS/12" GREN/12" T&B, G1 ASS)
- DUMPSTER LOCATION
- STEEL DOCK / RAMP
- FIN. FLR 0'-0" A.F.F.

1 ELEVATION
SCALE: 1/8"=1'-0"

Architectural elevation drawing of the left side of a building. The drawing shows a cross-section of the building with various materials and components labeled. The roof is gabled with a standing seam metal galvanized roofing system. The walls are made of corrugated galvanized metal panels. The base of the building is finished with a clear anodized aluminum storefront system. The drawing includes labels for various components such as the roof slope, rooftop mechanical unit, wall pack light fixtures, and the saw cut last smooth face course. It also shows the location of the man doors and the gutter and downspout. The drawing is oriented with the left side of the building on the left and the right side on the right. The drawing is labeled '2 ELEVATION' and 'LEFT SIDE'.

Labels and components shown in the drawing:

- MTL. GUTTER & DOWNSPOUT BEYOND
- JOIST BEARING SEE STRUCTURAL
- FIN. FLR. 0'-0" A.F.F.
- 3 X 7 HOLLOW METAL MAN DOOR
- 8" SMOOTH FACE C.M.U. TAILORED FOAM FILLED, PAINT SAFETY RED FROM 10'-0" A.F.F. - 10'-8" A.F.F.
- ROOFTOP MECHANICAL UNIT, SEE MECHANICAL, STRUCTURAL
- ROOF SLOPE
- WALL PACK LIGHT FIXTURES, SEE ELECTRICAL, TYP. MOUNT @ 14'-0" A.F.F.
- SAW CUT LAST SMOOTH FACE COURSE SLOPE TO MATCH ROOF SLOPE
- TOP OF GABLE 30'-0" A.F.F.
- STANDING SEAM METAL GALVANIZED ROOFING SYSTEM
- GOOSENECK FIXTURES (3 TYPICAL) MOUNTED @ 21'-8" A.F.F., TYP.
- TOP OF MASONRY 20'-8" A.F.F.
- CORRUGATED GALVANIZED METAL PANEL
- GALVANIZED CORRUGATED METAL AWNING WITH PAINTED STEEL SUPPORT STRUCTURE.
- POP SOLUTIONS RED STRIPE FROM 10'-0" TO 10'-8" A.F.F.
- 24" DIA. CORRUGATED GALVANIZED PIPE ANCHORED TO STRUCTURAL PIPE COLUMN
- FIN. FLR. 0'-0" A.F.F.
- 3 X 7 HOLLOW METAL MAN DOOR
- 8" SMOOTH FACE C.M.U. TAILORED FOAM FILLED, PAINT SW7513 SANDERLING TO 4'-0" A.F.F.
- 8" SMOOTH FACE C.M.U. TAILORED FOAM FILLED, PAINT SW7532 URBAN PUTTY ABOVE 4'-0" A.F.F.
- CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM (W/ 1" TEMP. INSULATED GREY TINTED GLASS)

2 ELEVATION
SCALE: 1/8"=1'-0"

LEFT SIDE

Architectural elevation drawing of the right side of a building. The drawing shows a multi-story structure with a gabled roof on the left and a flat roof on the right. The left side features a standing seam metal roof, gooseneck fixtures, and a corrugated metal panel. The right side has a wall pack light fixture and a dumpster location. The drawing includes various annotations for materials, fixtures, and structural elements.

Annotations and Callouts:

- TOP OF GABLE 30'-0" A.F.F.
- STANDING SEAM METAL GALVANIZED ROOFING SYSTEM
- GOOSENECK FIXTURES (3 TYPICAL) MOUNTED @ 21'-6" A.F.F., TYP.
- TOP OF MASONRY 20'-8" A.F.F.
- CORRUGATED GALVANIZED METAL PANEL
- GALVANIZED CORRUGATED METAL AWNING WITH PAINTED STEEL SUPPORT STRUCTURE.
- TSC SIGNAGE FBO, IBC
- POP SOLUTIONS RED STRIPE FROM 10'-0" TO 10'-8" A.F.F.
- 24" DIA. CORRUGATED GALVANIZED PIPE ANCHORED TO STRUCTURAL PIPE COLUMN
- FIN. FLR. 0'-0" A.F.F.
- CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM (W/ 1" TEMP. INSULATED GREY TINTED GLASS)
- WALL PACK LIGHT FIXTURES, SEE ELECTRICAL, TYP. MOUNT @ 14'-0" A.F.F.
- MTL. GUTTER & DOWNSPOUT BEYOND
- JOIST BEARING SEE STRUCTURAL
- FIN. FLR. 0'-0" A.F.F.
- DUMPSTER LOCATION
- STEEL DOCK / RAMP

3 ELEVATION SCALE: 1/8"=1'-0" RIGHT SIDE

2934 Sidco Drive
Suite 120
Nashville, TN 37204

Architecture
Planning
Interior Architecture



Town of Simsbury

Office of Community Planning and Development - Zoning Commission Application

DATE: 5/24/2021 FEE: \$ 25 CK #: PD 21-13 APP #: 21-13

PROPERTY ADDRESS: DRAKE HILL MALL, 712 HOPMEADOW STREET, SIMSBURY CT 06070

NAME OF OWNER: GROVE PROPERTY FUND, STEVE WALKER

MAILING ADDRESS: 36 WELLES ST, GLASTONBURY, CT 06033

EMAIL ADDRESS: SWALKER@GROVEPROPERTYFUND.COM TELEPHONE # (413) 567-0098

NAME OF AGENT: CHRISTOPHER T. MILLIARD

MAILING ADDRESS: 8 WILCOX STREET, SIMSBURY CT 06070

EMAIL ADDRESS: CMILLIARD@PHASEZERODESIGN.COM TELEPHONE # (860) 264-1624

ZONING DISTRICT: SC-1

LOT AREA: _____ SQ FT/ACRES

Does this site have wetlands? ☐ YES

☒ NO

Have you applied for a wetlands permit? ☐ YES

☐ NO

REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):

- ☐ **ZONE CHANGE:** The applicant hereby requests that said premises be changed from zone _____ to zone _____.
- ☐ **TEXT AMENDMENT:** Please attach proposed changes, including Articles and Sections, and purposes.
- ☐ **SPECIAL EXCEPTION:** The applicant hereby requests a public hearing pursuant to Article _____, Section _____.
- ☒ **SITE PLAN APPROVAL:** The applicant hereby requests
- ☐ PRELIMINARY ☐ FINAL ☒ **SITE PLAN AMENDMENT** pursuant to Article 5, Section J
- ☐ **SIGN PERMIT**
- ☐ **OTHER (PLEASE EXPLAIN):** _____

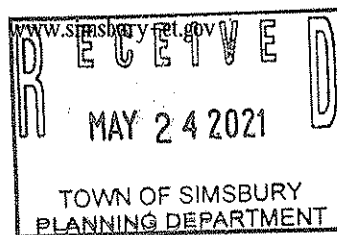
NOTE: Each application must fully comply with the requirements of the Zoning Regulations prior to receipt by the Commission. Each application for zone change and/or special exception shall include a list of names and addresses of abutting property owners and all property owners within 100 feet of the subject site.

A check payable to the Town of Simsbury must accompany this **original signed and dated** application. **Six (6) complete (folded) sets of plans and eleven (11) copies of the completed application and correspondence** must also be included. If you have a PDF of your plans, we would appreciate a copy of that sent to lbarkowski@simsbury-ct.gov, as well.

St P. Walk 5/24/21
Signature of Owner Date

[Signature] 5/19/2021
Signature of Agent Date

Telephone (860) 658-3245
Facsimile (860) 658-3206



933 Hopmeadow Street
Simsbury, CT 06070

EXISTING IMAGES



TENANT LOCATION @ DRAKE HILL MALL



EXISTING TENANT FACADE

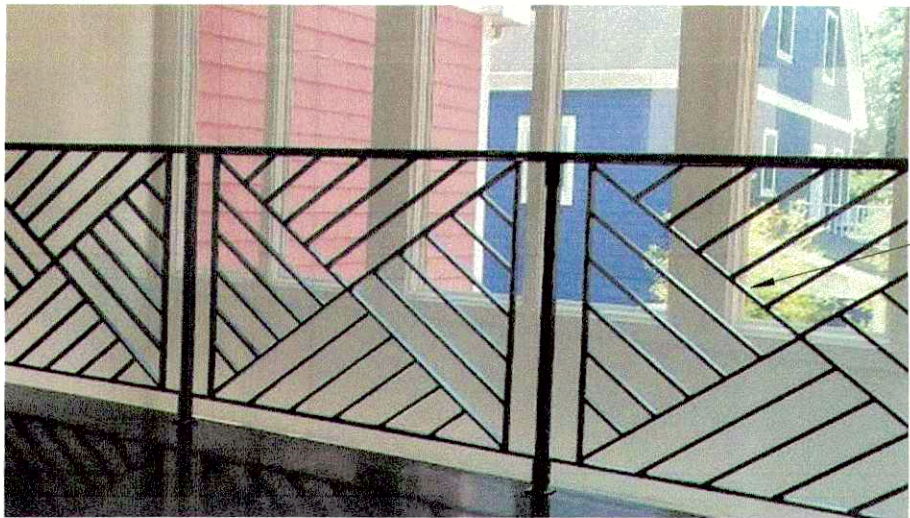
EXTERIOR PAINT COLORS

- 1) PAINTED PVC TRIM & RAILING
- 2) PAINTED ALUMINUM PANEL
- 3) ALUMINUM STOREFRONT

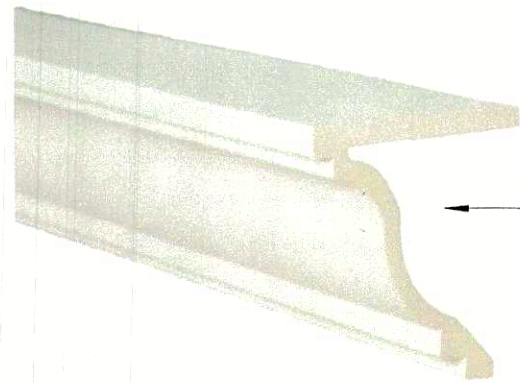
EXTERIOR MATERIALS & PRODUCTS



1) PORTAL WINDOW SYSTEM
<https://portalincorporated.com>



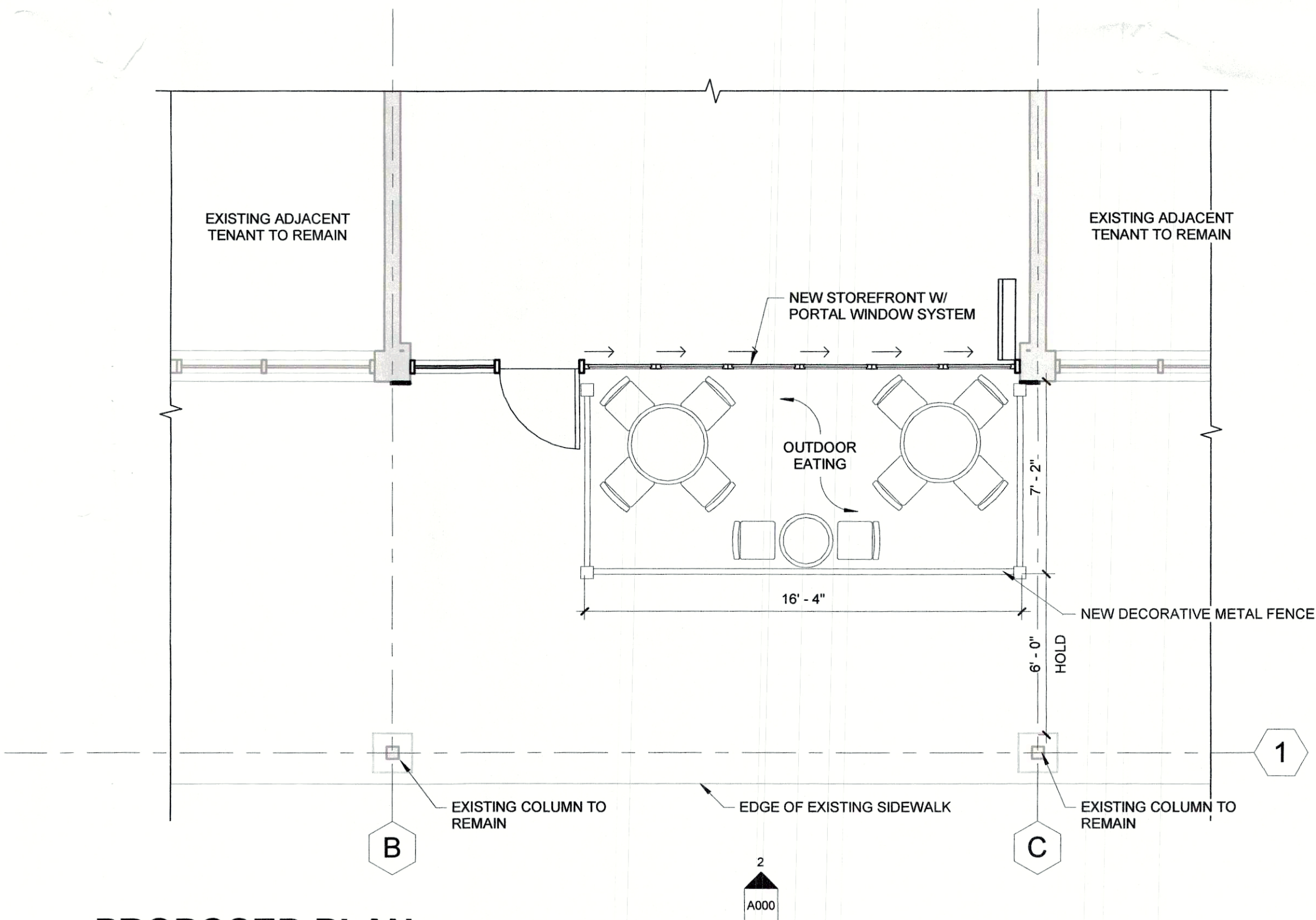
3) DECORATIVE METAL FENCE
"CHIPPENDALE" PATTERN



2) PAINTED PVC
FYPSON PROFILE MLD511-12



2 PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED PLAN
SCALE: 1/4" = 1'-0"



ANA'S KITCHEN FACADE RENOVATION

712 HOPMEADOW STREET, SIMSBURY, CT 06070

EXISTING BUILDING IMAGES | 5.19.2021



EXISTING IMAGES



TENANT LOCATION @ DRAKE HILL MALL



EXISTING TENANT FACADE

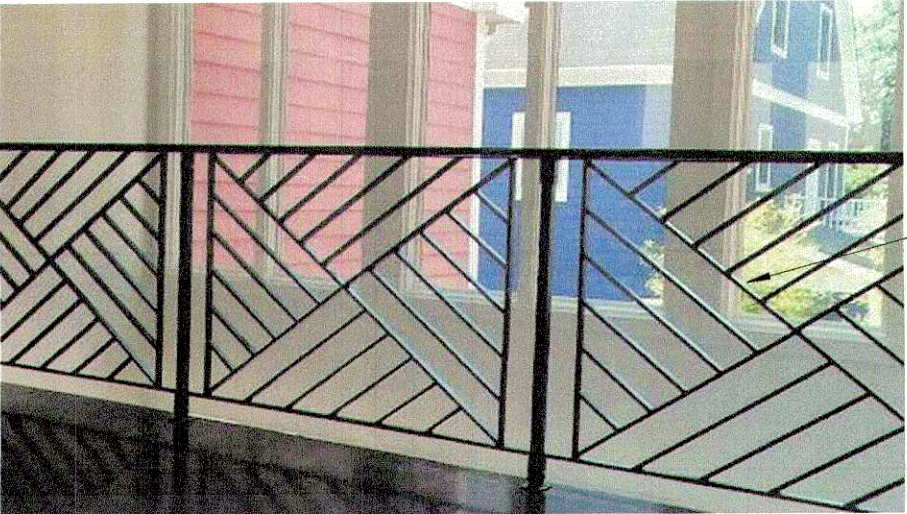
EXTERIOR PAINT COLORS

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- 3) ALUMINUM STOREFRONT

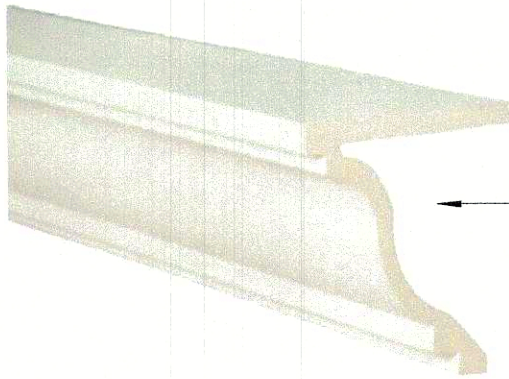
EXTERIOR MATERIALS & PRODUCTS



1) PORTAL WINDOW SYSTEM
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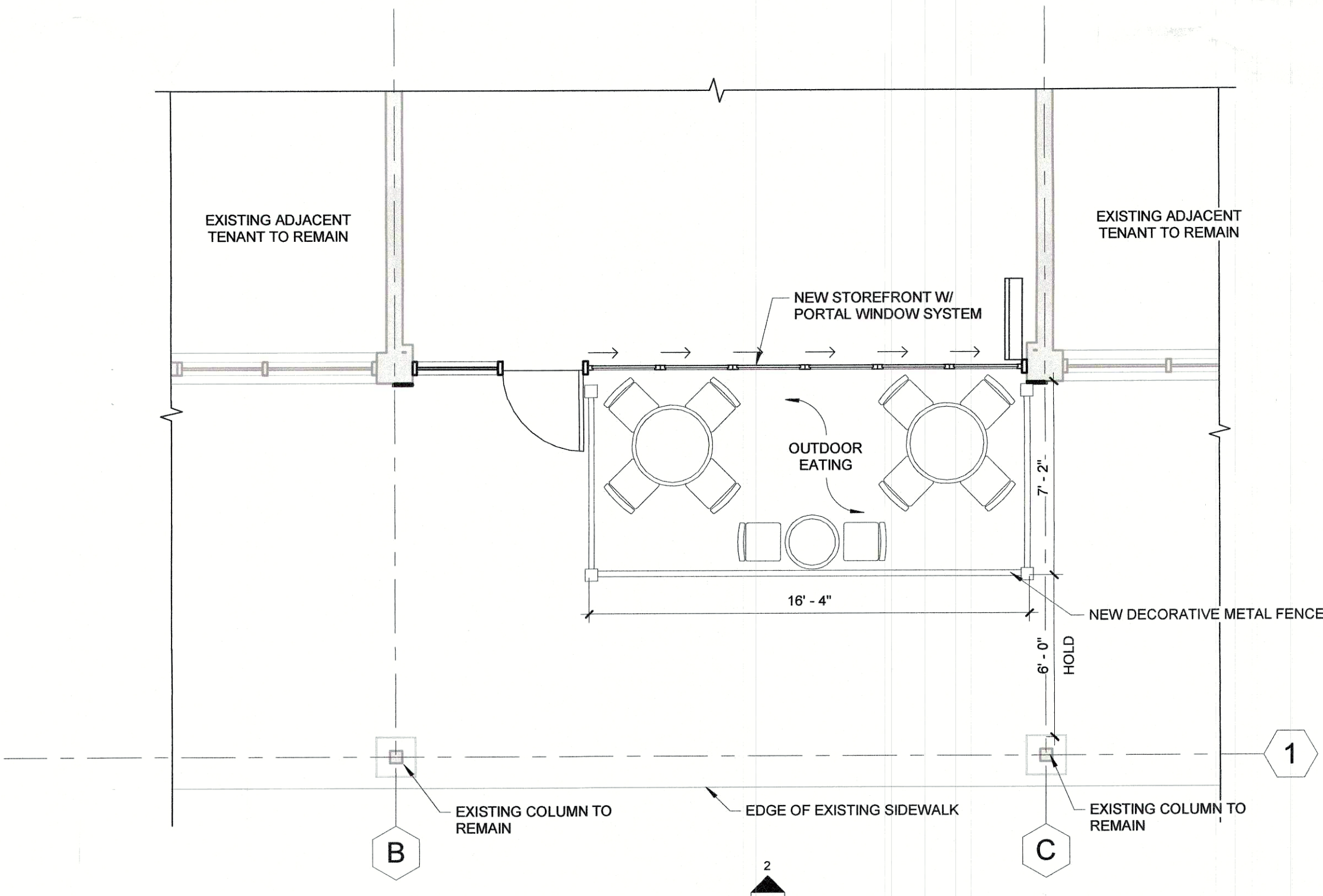
3) DECORATIVE METAL FENCE
"CHIPPENDALE" PATTERN



2) PAINTED PVC
FYPON PROFILE MLD511-12



2 PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED PLAN
SCALE: 1/4" = 1'-0"

