



Town of Simsbury

66 TOWN FOREST ROAD, WEST SIMSBURY, CONNECTICUT 06092
Phone (860) 658-3222 Fax (860) 408-5416 E-mail troy@simsbury-ct.gov

~ Thomas J. Roy, P.E. – Director of Public Works ~

ADDENDUM No. 1

August 8, 2023

TOWN OF SIMSBURY

Invitation to Bid

Town Bid Project No.

WPCA/DPW 2023-01

FOR

PINE HILL AREA SEWER REPLACEMENT PROJECT

The information provided in this Addendum is intended to supplement and clarify the existing information in the ITB and is not to replace any part of the specification unless clearly indicated as such.

This Addendum No. 1 has been issued to provide engineered stamped drawings . Bidders will only be considered if their bid is based on these addendum documents.

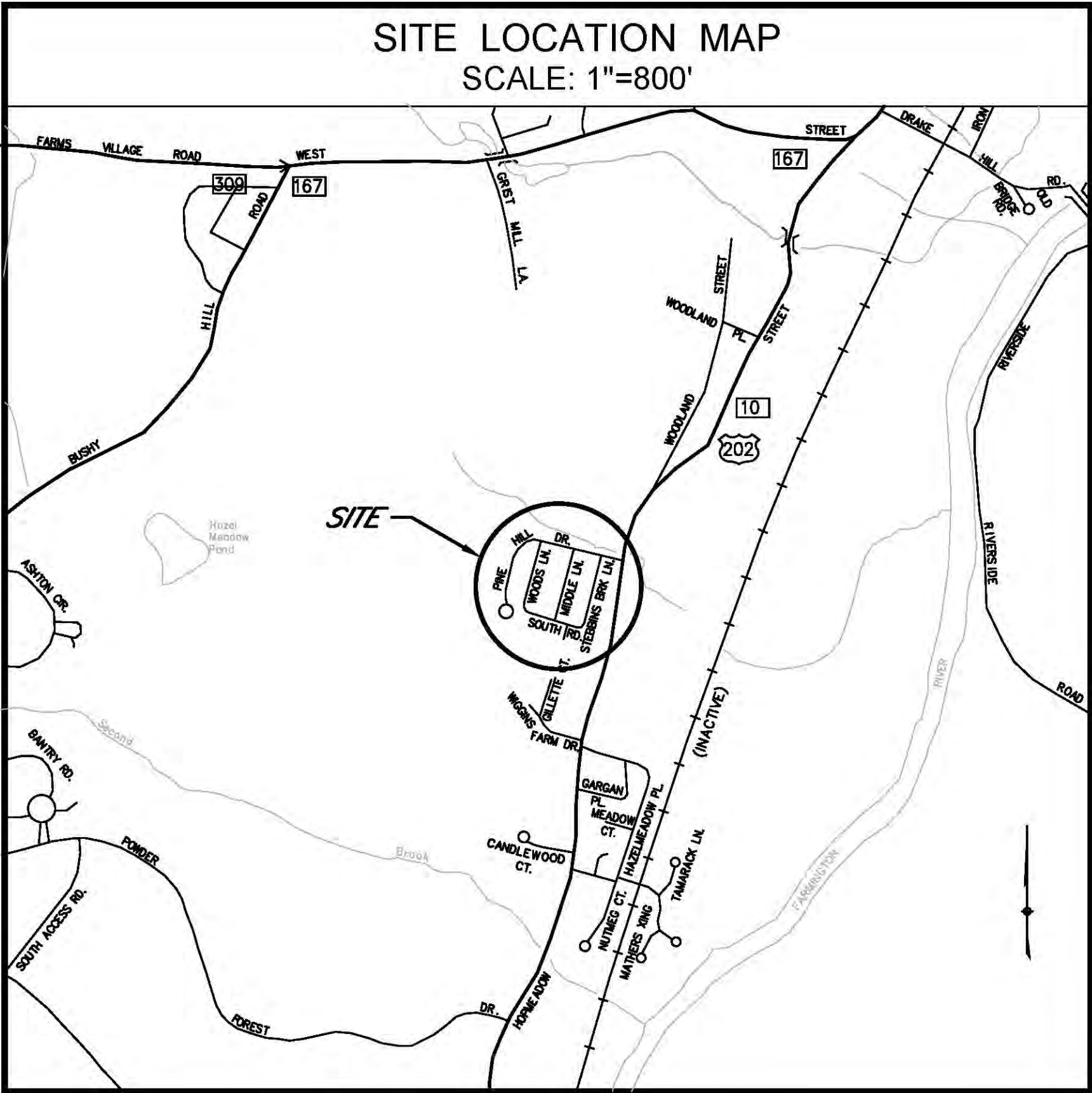
PROPOSED SANITARY SEWER SYSTEM

PINE HILL DRIVE, WOODS LANE, MIDDLE LANE, STEBBINS BROOK LANE, & SOUTH ROAD
SIMSBURY, CT

PREPARED FOR

SIMSBURY WATER POLLUTION CONTROL AUTHORITY

36 DRAKE HILL ROAD, SIMSBURY, CT



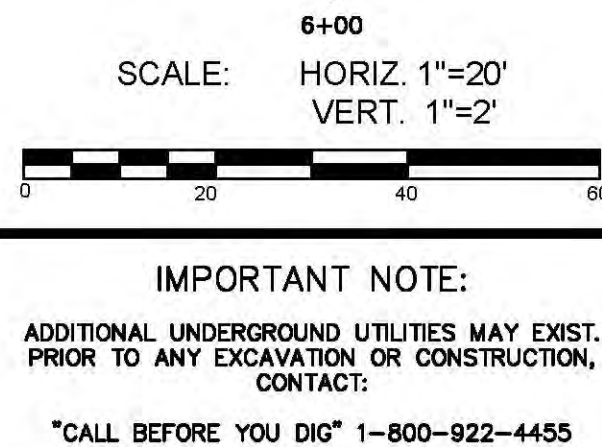
DATE: MARCH 23, 2023

GHA PROJECT # 23-025



PROFESSIONAL LAND SURVEYORS & CIVIL ENGINEERS
26 BROADWAY NORTH HAVEN, CT 06473; TEL: 203.239.4217 - WWW.GODFREYHOFFMAN.COM
1783 FARMINGTON AVENUE, UNIONVILLE, CT 06085; TEL: 860.673.0444 - WWW.HODGELLCC.COM

PROPERTY LINE AND EXISTING CONDITIONS INFORMATION OBTAINED FROM MAP
PREPARED BY DENNO LAND SURVEYING & CONSULTING, LLC; 2 TUNXIS RD. STE. 214,
TARIFFVILLE, CT, ENTITLED: "EXISTING CONDITIONS, MAP PREPARED FOR TOWN OF
SIMSBURY WPCA, PINE HILL DRIVE NEIGHBORHOOD, SIMSBURY, CONNECTICUT; DATE:
OCTOBER 13, 2022, SHEETS 1 & 2.



THE WORD "CARRY" OR "TOLerate" IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE LAND SURVEYOR. IT DOES NOT IMPLY THAT THE SURVEYOR HAS ANY PERSONAL KNOWLEDGE, INFORMATION AND BELIEF AS TO SUCH FACTS OR CONDITIONS. IT DOES NOT CONSTITUTE EITHER A GUARANTEE OR WARRANTY.

THE INFORMATION CONTAINED HEREIN IS THE PROPRIETARY AND CONFIDENTIAL PROPERTY OF COFFEE-HOFFMAN HOOGE, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF COFFEE-HOFFMAN HOOGE, LLC. THIS AGREEMENT SHALL BE GOVERNED BY THE LAWS OF THE STATE OF CALIFORNIA. THE LAND SURVEYOR AND LAND OWNER SHALL SIGN AND SEAL OF THE ASSOCIATED LICENSED PROFESSIONAL SURVEYOR.

© COPYRIGHT 2002. ALL RIGHTS RESERVED

[illegible]

PROJECT:

PROPOSED
SANITARY
SEWER SYSTEM

PINE HILL DRIVE,
WOODS LANE,
MIDDLE LANE,
STEBBINS BROOK
LANE, & SOUTH ROAD

PREPARED FOR:

SIMSBURY
WPCA

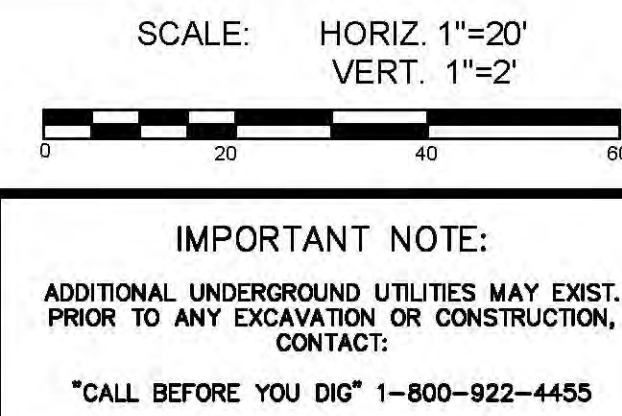
16 DRAKE HILL ROAD
SIMSBURY, CT 06070

PLAN & PROFILE PINE HILL DRIVE

OWN BY:	MP/CB
CHECKED BY:	MP
FILE:	AS NOTED
SUBJECT:	23-025
DATE:	3/23/2023

C-1.0

PROPERTY LINE AND EXISTING CONDITIONS INFORMATION OBTAINED FROM MAP
PREPARED BY DENNO LAND SURVEYING & CONSULTING, LLC; 2 TUNXIS RD. STE. 214,
TARIFFVILLE, CT, ENTITLED: "EXISTING CONDITIONS, MAP PREPARED FOR TOWN OF
SIMSBURY WPCA, PINE HILL DRIVE NEIGHBORHOOD, SIMSBURY, CONNECTICUT; DATE:
OCTOBER 13, 2022, SHEETS 1 & 2.



WORK, LABOR AND MATERIALS TO BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS. THE CONTRACTOR SHALL TAKE PRECEDENCE OVER THESE DRAWINGS IN THE EVENT OF ERRORS AND/OR OMISSIONS HEREIN.

THE WORD "SHALL" OR "SUCH" IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE LAND SURVEYOR AND/OR ENGINEER, WHICH IS BASED ON THE INFORMATION FURNISHED TO THEM. IT DOES NOT CONSTITUTE NEITHER A GUARANTEE OR WARRANTY.

THE INFORMATION CONTAINED HEREIN IS THE PROPRIETARY AND CONFIDENTIAL PROPERTY OF GODFREY-HOFFMAN HOOKER, INC. REPRODUCTIONS, REPLICATION, DISTRIBUTION, OR ANY OTHER USE OF THIS INFORMATION WITHOUT THE PERMISSION OF GODFREY-HOFFMAN HOOKER, INC. THAT VIOLATES ANY APPLICABLE LAW OR VIOLATES ANY PATENT OR COPYRIGHT OR OTHER RIGHTS OF GODFREY-HOFFMAN HOOKER, INC. OR ANY OF ITS AFFILIATES OR SUBSIDIARIES OR ANY OF THEIR AFFILIATES OR SUBSIDIARIES IS PROHIBITED. ANY SUCH VIOLATION SHALL BE DEEMED TO BE AN INFRINGEMENT OF THE PATENT RIGHTS OF GODFREY-HOFFMAN HOOKER, INC. AND SHALL BE SUBJECT TO THE FULL REMEDY OF THE PATENT RIGHTS OF GODFREY-HOFFMAN HOOKER, INC. ANY SUCH VIOLATION SHALL BE DEEMED TO BE AN INFRINGEMENT OF THE PATENT RIGHTS OF GODFREY-HOFFMAN HOOKER, INC. AND SHALL BE SUBJECT TO THE FULL REMEDY OF THE PATENT RIGHTS OF GODFREY-HOFFMAN HOOKER, INC.

COPYRIGHT 2022, ALL RIGHTS RESERVED

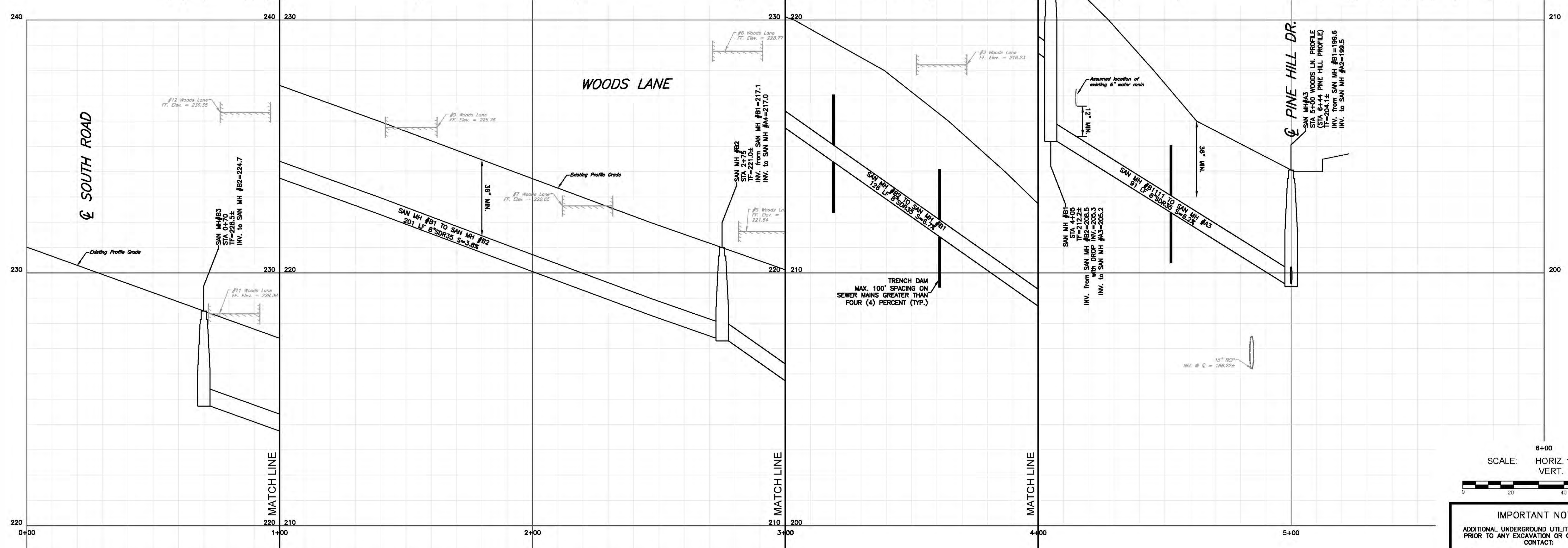
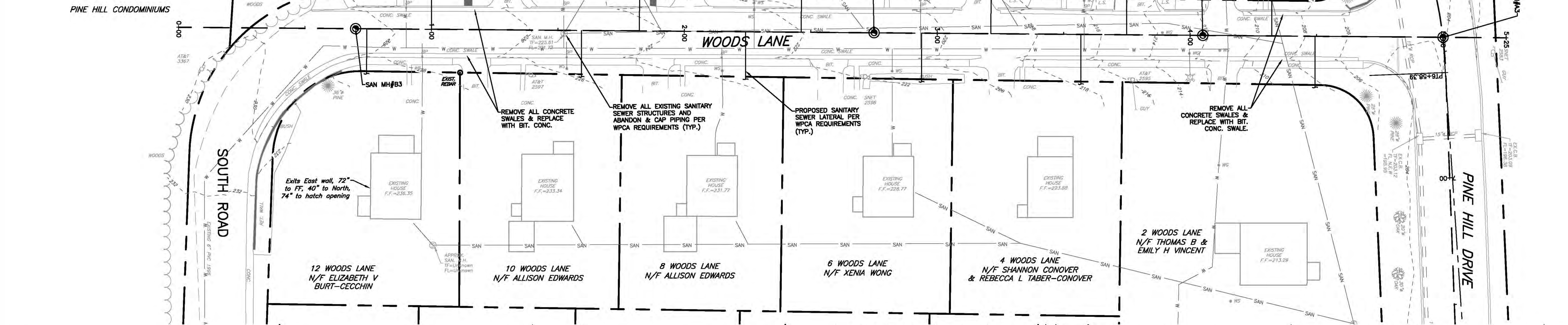
DRAWN BY:	MP/CB
CHECKED BY:	MP
SCALE:	AS NOTED
PROJECT:	23-025
DATE:	3/23/2023

C-2.0

MAP REFERENCE:

PROPERTY LINE AND EXISTING CONDITIONS INFORMATION OBTAINED FROM MAP PREPARED BY DENNO LAND SURVEYING & CONSULTING, LLC; 2 TUNNIS RD. STE. 214, TARIFFVILLE, CT. ENTITLED: "EXISTING CONDITIONS, MAP PREPARED FOR TOWN OF SIMSBURY WPCA, PINE HILL DRIVE NEIGHBORHOOD, SIMSBURY, CONNECTICUT; DATE: OCTOBER 13, 2022; SHEETS 1 & 2.

PINE HILL CONDOMINIUMS



SCALE: HORIZ. 1"=20'
VERT. 1"=2'

0 20 40 60

IMPORTANT NOTE:

ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
PRIOR TO ANY EXCAVATION OR CONSTRUCTION,
CONTACT:
"CALL BEFORE YOU DIG" 1-800-922-4455

GODFREY & HOFFMAN
HODGE, LLC
PROFESSIONAL LAND SURVEYORS
28 BROADWAY, NORTH AVENUE, CT 06473, TEL: 203.239.4371, WWW.GODFREYHOFFMAN.COM
1733 FARMINGTON AVENUE, UNIONVILLE, CT 06085; TEL: 860.673.0444 - WWW.HODSELLC.COM



ALL WORK, LABOR, AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THE PROPOSED SANITARY SEWER SYSTEM SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWER SYSTEMS, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE TOWN OF SIMSBURY, CONNECTICUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF SIMSBURY, CONNECTICUT, AND THE STATE OF CONNECTICUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF SIMSBURY, CONNECTICUT, AND THE STATE OF CONNECTICUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF SIMSBURY, CONNECTICUT, AND THE STATE OF CONNECTICUT.

NO.	DATE	DESCRIPTION

PROJECT:
**PROPOSED
SANITARY
SEWER SYSTEM**
PINE HILL DRIVE,
WOODS LANE,
MIDDLE LANE,
STEBBINS BROOK
LANE, & SOUTH ROAD

PREPARED FOR:
**SIMSBURY
WPCA**
36 DRAKE HILL ROAD
SIMSBURY, CT 06070

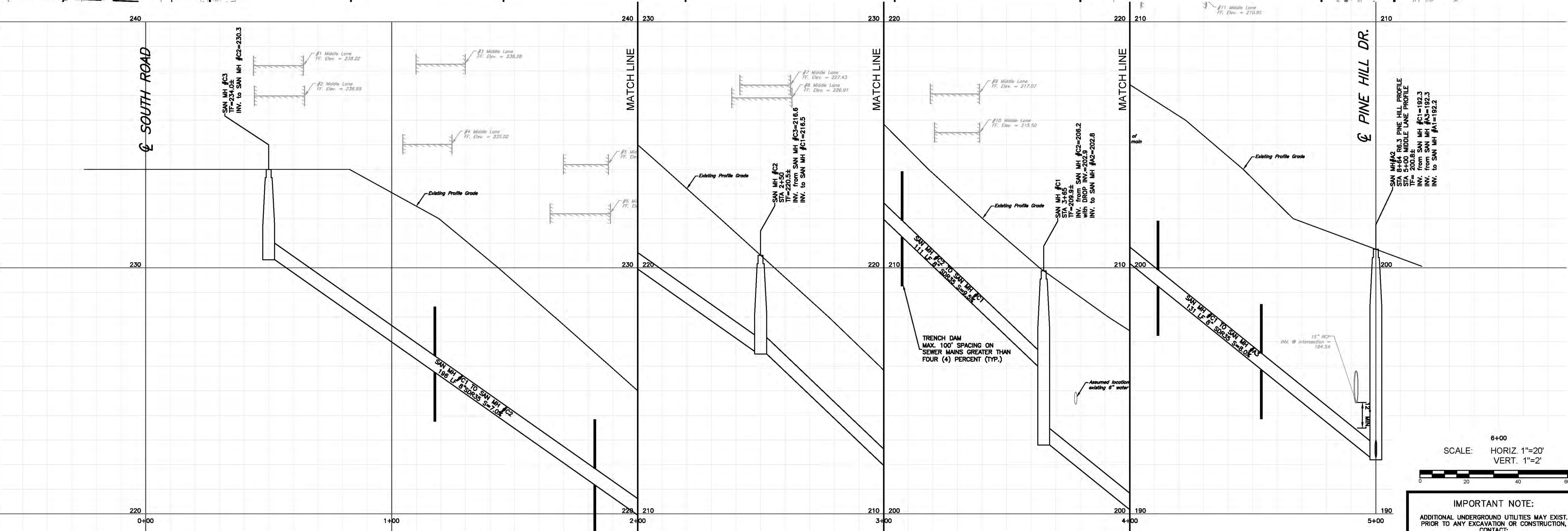
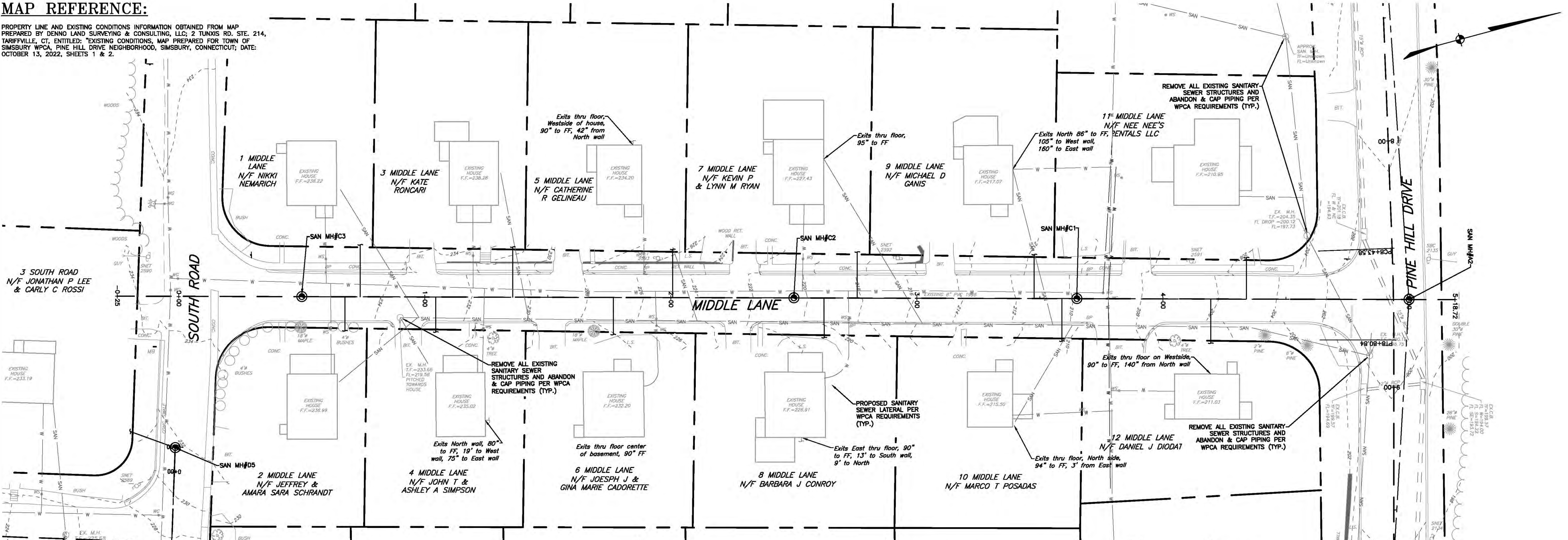
PLAN & PROFILE
WOODS LANE

DRAWN BY: MP/CB
CHECKED BY: MP
SCALE: AS NOTED
PROJECT: 23-025
DATE: 3/23/2023

C-3.0

MAP REFERENCE:

PROPERTY LINE AND EXISTING CONDITIONS INFORMATION OBTAINED FROM MAP PREPARED BY DENNO LAND SURVEYING & CONSULTING, LLC; 2 TUNNIS RD. STE. 214, TARTFVILLE, CT, ENTITLED: EXISTING CONDITIONS, MAP PREPARED FOR TOWN OF SIMSBURY WPCA, PINE HILL DRIVE NEIGHBORHOOD, SIMSBURY, CONNECTICUT; DATE: OCTOBER 13, 2022, SHEETS 1 & 2.



6+00
SCALE: HORIZ. 1"=20'
VERT. 1"=2'

0 20 40 60

IMPORTANT NOTE:
ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
PRIOR TO ANY EXCAVATION OR CONSTRUCTION,
CONTACT:
"CALL BEFORE YOU DIG" 1-800-922-4455

GODFREY & HOFFMAN
HODGE, LLC
CITY ENGINEERS
28 BROADWAY, NORTH HAVEN, CT 06473 TEL: 203.298.4371 WWW.GODFREYHOFFMAN.COM
1733 FARMINGTON AVENUE, UNIONVILLE, CT 06885 TEL: 860.673.0444 WWW.HODGELLIC.COM



ALL WORK, LABOR, AND MATERIALS TO BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE OF THE HIGHEST QUALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF SIMSBURY. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF GODFREY & HOFFMAN HODGE, LLC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GODFREY & HOFFMAN HODGE, LLC. © COPYRIGHT 2022. ALL RIGHTS RESERVED.

REVISION SCHEDULE	
NO.	DESCRIPTION

PROJECT:
**PROPOSED
SANITARY
SEWER SYSTEM**
PINE HILL DRIVE,
WOODS LANE,
MIDDLE LANE,
STEBBINS BROOK
LANE, & SOUTH ROAD

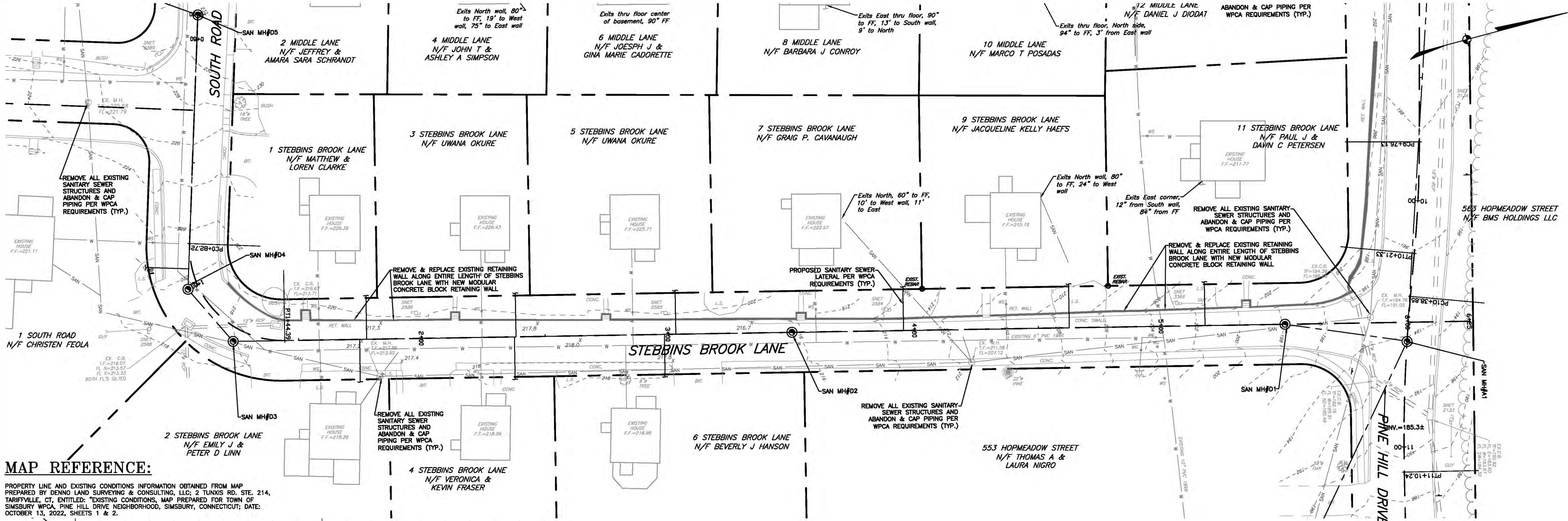
PREPARED FOR:
**SIMSBURY
WPCA**

36 DRAKE HILL ROAD
SIMSBURY, CT 06070

**PLAN & PROFILE
MIDDLE LANE**

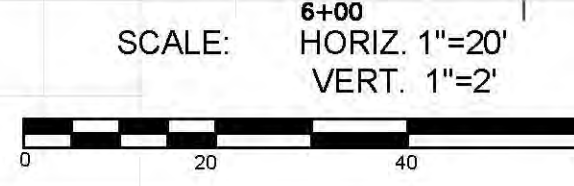
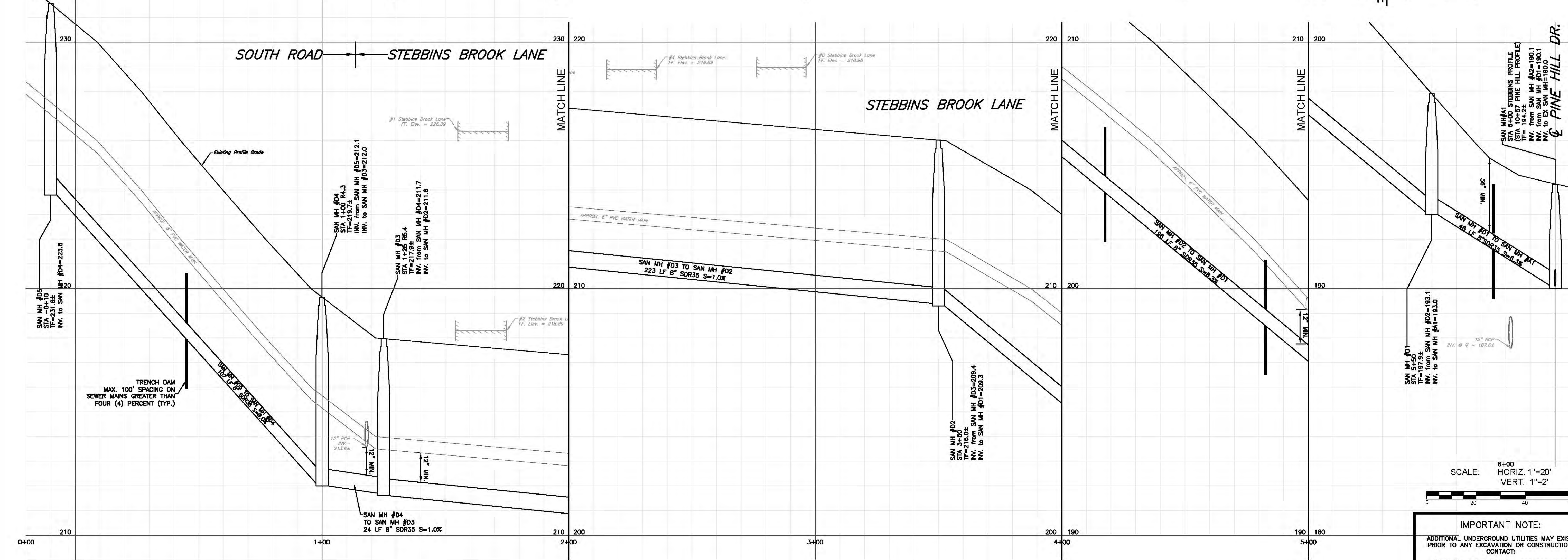
DRAWN BY:	MP/CB
CHECKED BY:	MP
SCALE:	AS NOTED
PROJECT:	23-025
DATE:	3/23/2023

C-4.0



MAP REFERENCE:

PROPERTY LINE AND EXISTING CONDITIONS INFORMATION OBTAINED FROM MAP PREPARED BY DENNO LAND SURVEYING & CONSULTING, LLC; 2 TUNXIS RD. STE. 214, TARIFFVILLE, CT, ENTITLED: "EXISTING CONDITIONS, MAP PREPARED FOR TOWN OF SIMSBURY WPCA, PINE HILL DRIVE NEIGHBORHOOD, SIMSBURY, CONNECTICUT; DATE: OCTOBER 13, 2022, SHEETS 1 & 2.



IMPORTANT NOTE:
ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
PRIOR TO ANY EXCAVATION OR CONSTRUCTION,
CONTACT:
"CALL BEFORE YOU DIG" 1-800-922-4455

GODFREY & HOFFMAN
HODGE, LLC
PROFESSIONAL ENGINEERS
28 BROADWAY NORTH HAVEN, CT 06473 TEL: 203.239.4371 WWW.GODFREYHOFFMAN.COM
1733 FARMINGTON AVENUE, UNIONVILLE, CT 06095 TEL: 860.673.0444 - WWW.HODGELLCC.COM



ALL WORK, LABOR, AND MATERIALS TO BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE CONNECTICUT DEPARTMENT OF TRANSPORTATION AND THE TOWN OF SIMSBURY. THE TOWN OF SIMSBURY IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF GODFREY & HOFFMAN HODGE, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF GODFREY & HOFFMAN HODGE, LLC IS PROHIBITED. © COPYRIGHT 2022. ALL RIGHTS RESERVED.

REVISION SCHEDULE	
NO.	DESCRIPTION

PROJECT:
**PROPOSED
SANITARY
SEWER SYSTEM**
PINE HILL DRIVE,
WOODS LANE,
MIDDLE LANE,
STEBBINS BROOK
LANE, & SOUTH ROAD

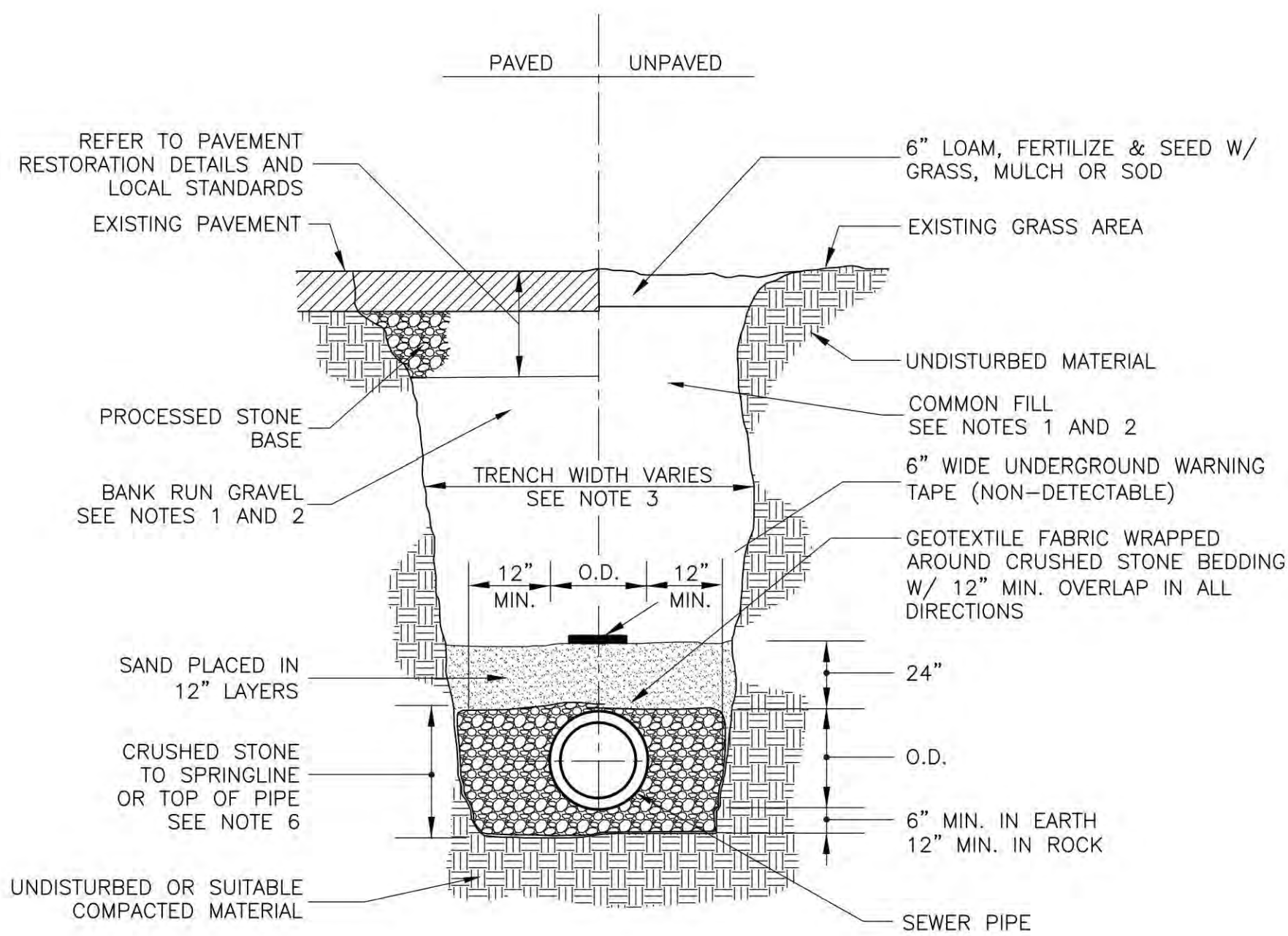
PREPARED FOR:
**SIMSBURY
WPCA**

36 DRAKE HILL ROAD
SIMSBURY, CT 06070

PLAN & PROFILE
SOUTH ROAD &
STEBBINS
BROOK LANE

DRAWN BY: MP/CB
CHECKED BY: MP
SCALE: AS NOTED
PROJECT: 23-025
DATE: 3/23/2023

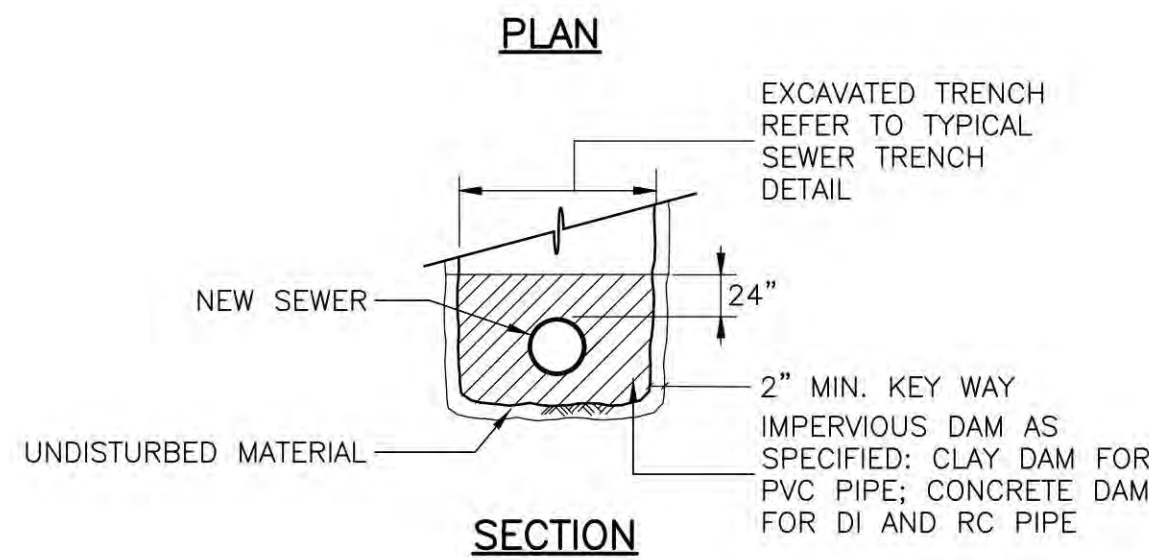
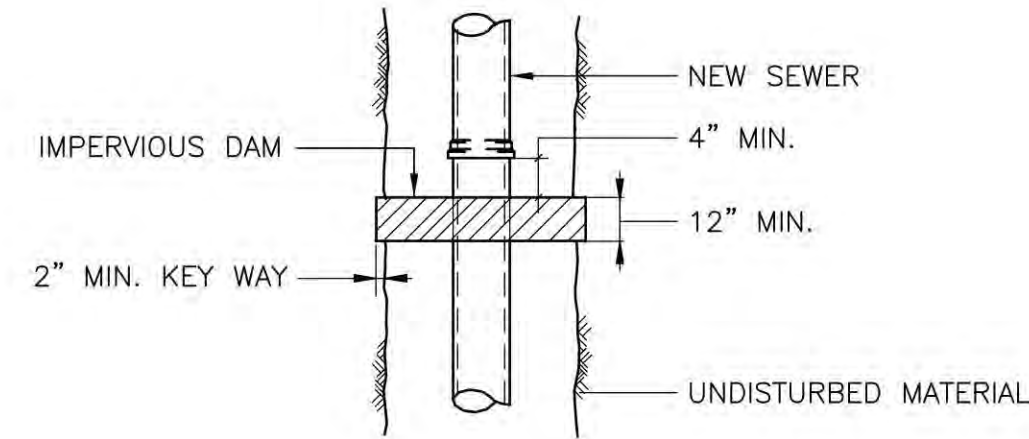
C-5.0



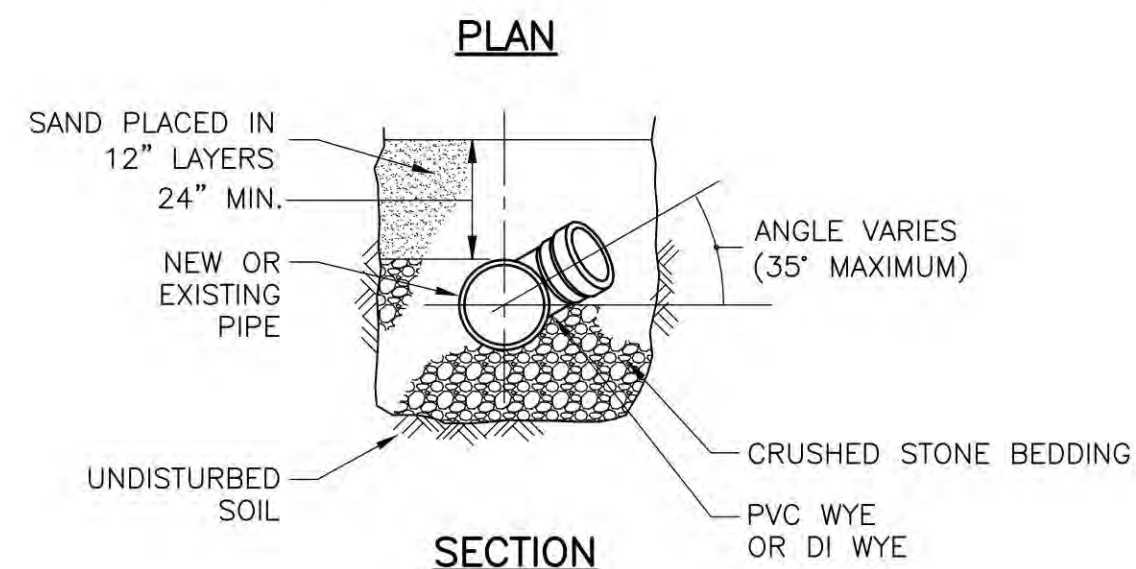
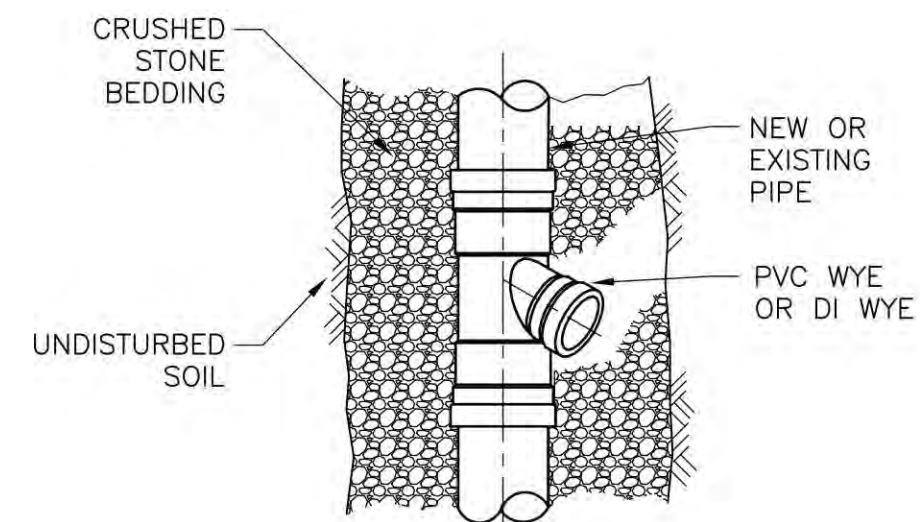
SEWER TRENCH
DETAIL S
2
NTS

NOTES:

1. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED.
2. BACKFILL MATERIAL SHALL BE APPROVED BANK RUN GRAVEL IN PAVED AREAS (INCLUDING DRIVEWAYS AND SIDEWALKS) OR COMMON FILL IN UNPAVED AREAS.
3. TRENCH WIDTH VARIES BASED ON PIPE SIZE AND DEPTH.
4. TRENCHES LOCATED IN THE ROAD SHOULDER SHALL BE TREATED THE SAME AS TRENCHES IN THE PAVED ROADWAY EXCEPT FOR PAVEMENT AND SURFACE RESTORATION WORK.
5. PROVIDE IMPERVIOUS TRENCH DAM(S) IN STONE BEDDING AS DIRECTED BY THE ENGINEER. SEE PIPE TRENCH DAM DETAIL.
6. CRUSHED STONE SHALL BE INSTALLED TO TOP OF PIPE FOR PVC AND DI PIPE AND TO SPRINGLINE FOR RC PIPE.



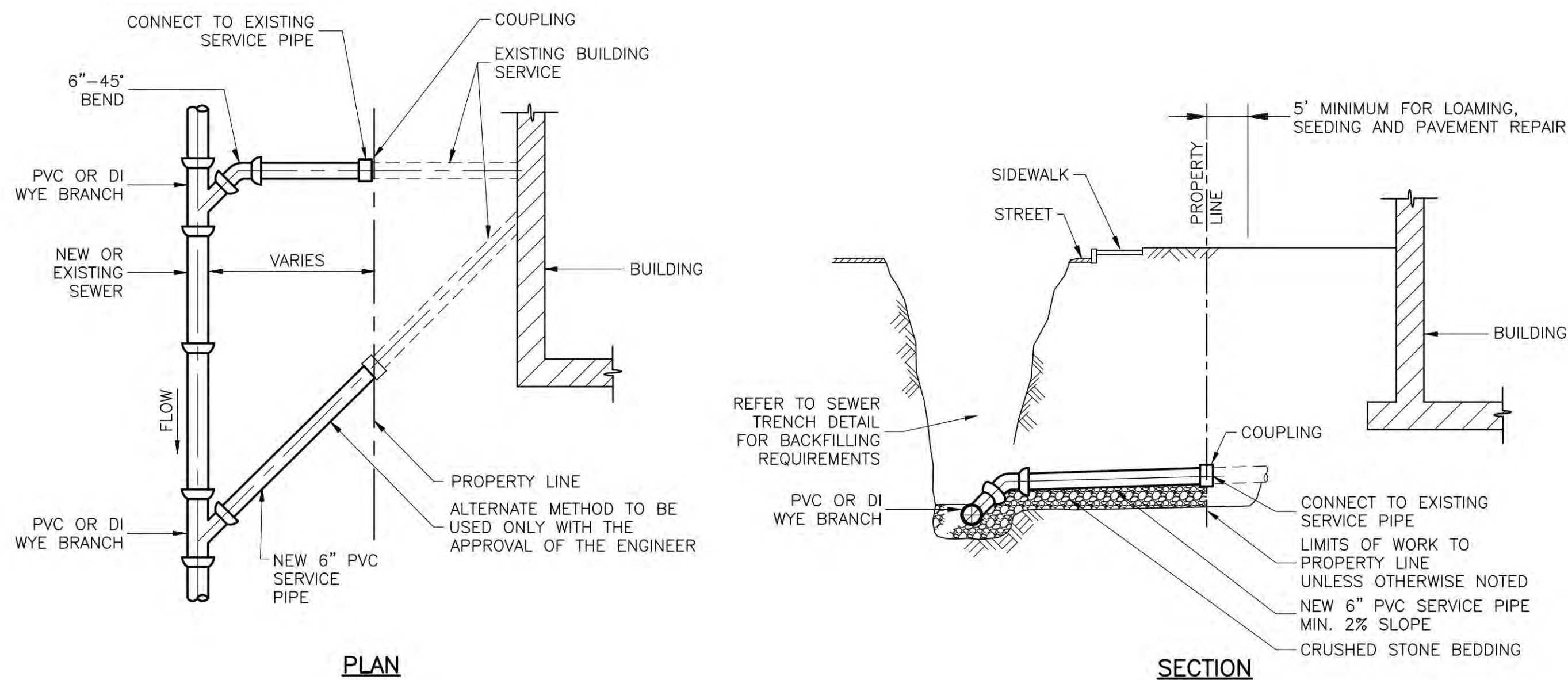
PIPE TRENCH DAM
DETAIL S
5
NTS



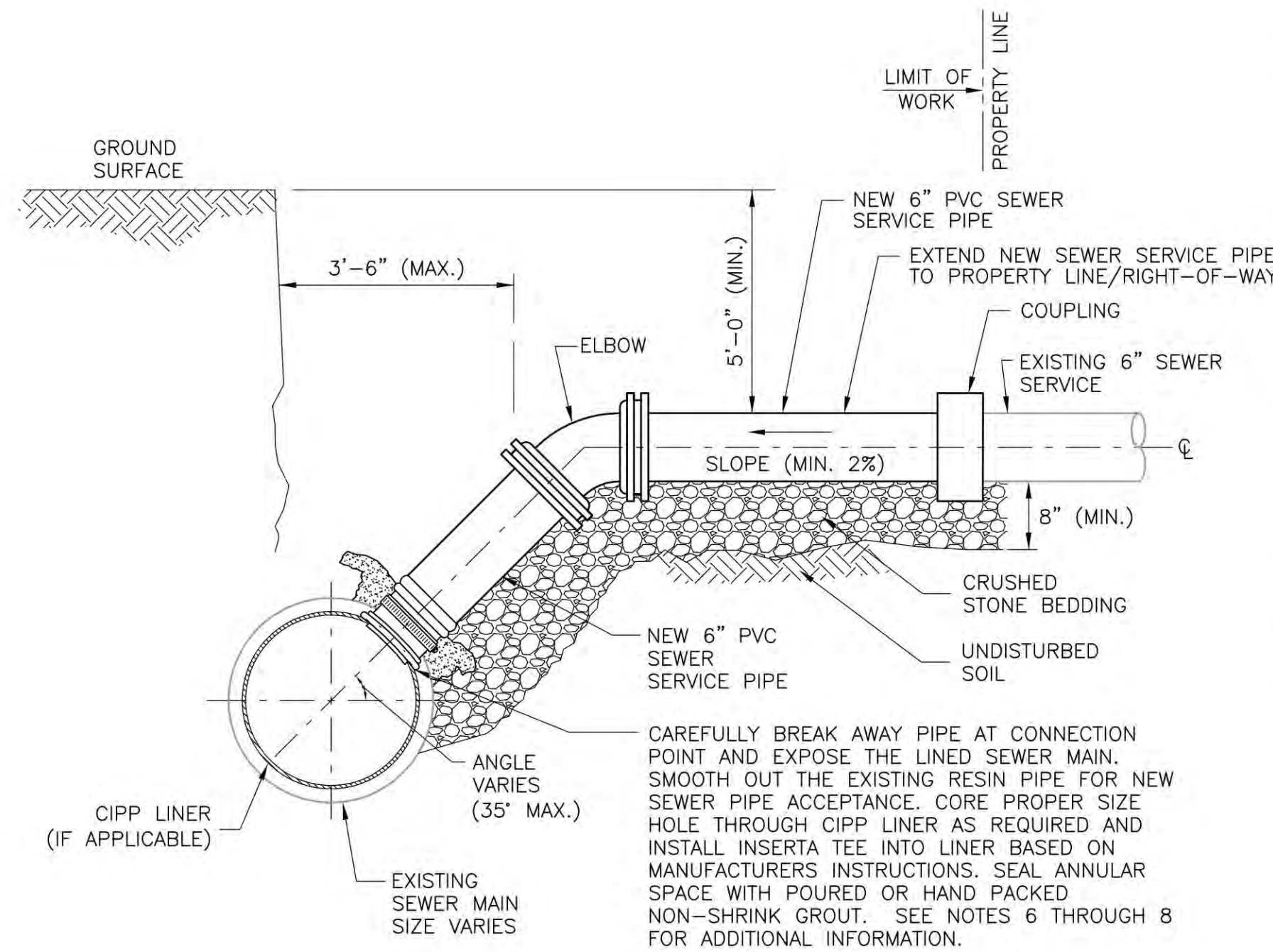
NOTE:

1. REFER TO SEWER TRENCH DETAIL FOR BEDDING, BACKFILLING AND RESTORATION REQUIREMENTS.

PVC OR DI WYE BRANCH
DETAIL S
8
NTS



SEWER SERVICE REPLACEMENT
DETAIL S
9
NTS



SERVICE LATERAL INSERTA TEE CONNECTION
DETAIL S
10
NTS

NOTES:

1. THIS DETAIL SHALL APPLY TO EXISTING OR NEW SERVICE LATERALS THAT WILL BE CONNECTED TO A CIPP LINED SEWER MAIN AT THE EXISTING WYE OR AT A RELOCATED LOCATION AS SHOWN ON THE DRAWINGS. MAINLINE SEWER CIPP LINING WORK SHALL BE COMPLETED PRIOR TO SERVICE LATERAL REPLACEMENT.
2. CONNECTIONS FOR SERVICES THAT ARE SCHEDULED FOR RELOCATION SHALL BE MADE AT A 5' MIN. DISTANCE AWAY FROM THE EXISTING SERVICE CONNECTION. THE EXISTING SERVICE PIPE THAT REMAINS SHALL BE FILLED AND ABANDONED USING GROUT, SAND OR FLOWABLE FILL, OR ABANDONED IN PLACE AS DIRECTED BY THE ENGINEER. THE EXISTING CONNECTION TO THE MAIN SHALL BE PLUGGED, SEALED AND ABANDONED AS REQUIRED.
3. CONNECT NEW PVC SERVICE LATERAL PIPE DIRECTLY TO THE EXISTING SERVICE LATERAL PIPE AT THE PROPERTY LINE AS SHOWN ON THE PLANS.
4. WHEN BREAKING AWAY EXISTING PIPE, DO NOT ALLOW DEBRIS TO ENTER SEWER.
5. REFER TO SEWER TRENCH DETAIL FOR BACKFILLING AND RESTORATION REQUIREMENTS.
6. CONTRACTOR TO PROVIDE ALL FITTINGS FOR NEW SERVICE CONNECTIONS AS REQUIRED.
7. FOR CURED-IN-PLACE LINER, VERIFY THAT THE LINER IS COMPLETELY CURED AND ALLOW THE LINER TO NORMALIZE TO AMBIENT TEMPERATURE AND RECOVER FROM IMPOSED STRETCH PRIOR TO NEW SERVICE LATERAL CONNECTION WORK.
8. IMMEDIATELY FOLLOWING LINER INSTALLATION AND CURING, THE CONTRACTOR SHALL CUT A RELIEF HOLE AT EACH SERVICE LATERAL. THE RELIEF HOLE SHALL BE CUT AS REQUIRED TO ALLOW FOR A 6-INCH INSERTA TEE PER MANUFACTURER'S RECOMMENDATIONS.
9. THE CONTRACTOR SHALL PROVIDE SUFFICIENT WORKING SPACE TO INSTALL A 6-INCH INSERTA TEE PER MANUFACTURER'S RECOMMENDATIONS.
10. NOT TO BE USED FOR HOUSE CONNECTION PERMIT WORK.

GODFREY & HOFFMAN
HODGE, LLC
PROFESSIONAL LAND SURVEYORS & CIVIL ENGINEERS
25 BRASMAN AVENUE, SUITE 100, WESTPORT, CT 06894
TEL: 860.651.1444 FAX: 860.651.1445 WWW.GHLLC.COM



ALL WORK, LABOR, AND MATERIALS TO BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE STATE OF CONNECTICUT AND THE CITY OF WESTPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTS AND TREES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ROADS AND HIGHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FENCES AND BARRIERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SIGNAGE AND MARKINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SOIL AND WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AIR QUALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING NOISE LEVELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VIBRATION LEVELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CLIMATE CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WEATHER CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TIDE CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WIND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SUNLIGHT CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MOONLIGHT CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STARS AND PLANETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING GALAXIES AND COSMOS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNIVERSE CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING GODS AND GODDESSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SPIRITS AND ANGELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DEMONS AND DEVILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONSTERS AND BEASTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING GODS AND GODDESSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SPIRITS AND ANGELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DEMONS AND DEVILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONSTERS AND BEASTS.

REVISION SCHEDULE	
NO.	DATE

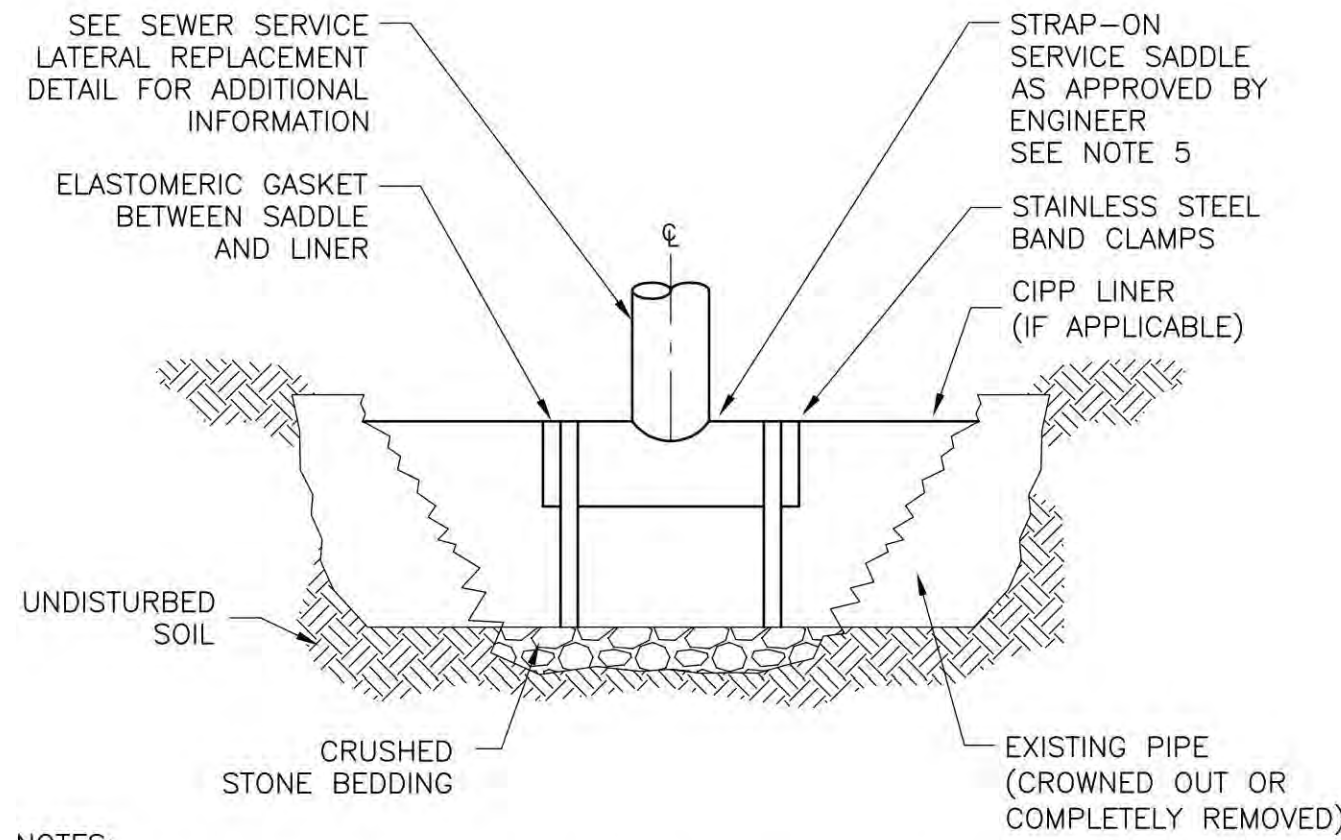
PROJECT: **PROPOSED SANITARY SEWER SYSTEM**
PINE HILL DRIVE, WOODS LANE, MIDDLE LANE, STEBBINS BROOK LANE, & SOUTH ROAD

PREPARED FOR: **SIMSBURY WPCA**

36 DRAKE HILL ROAD
SIMSBURY, CT 06070

DETAILS	
DRAWN BY:	MP/CB
CHECKED BY:	MP
SCALE:	AS NOTED
PROJECT:	23-025
DATE:	3/23/2023

C-6.0

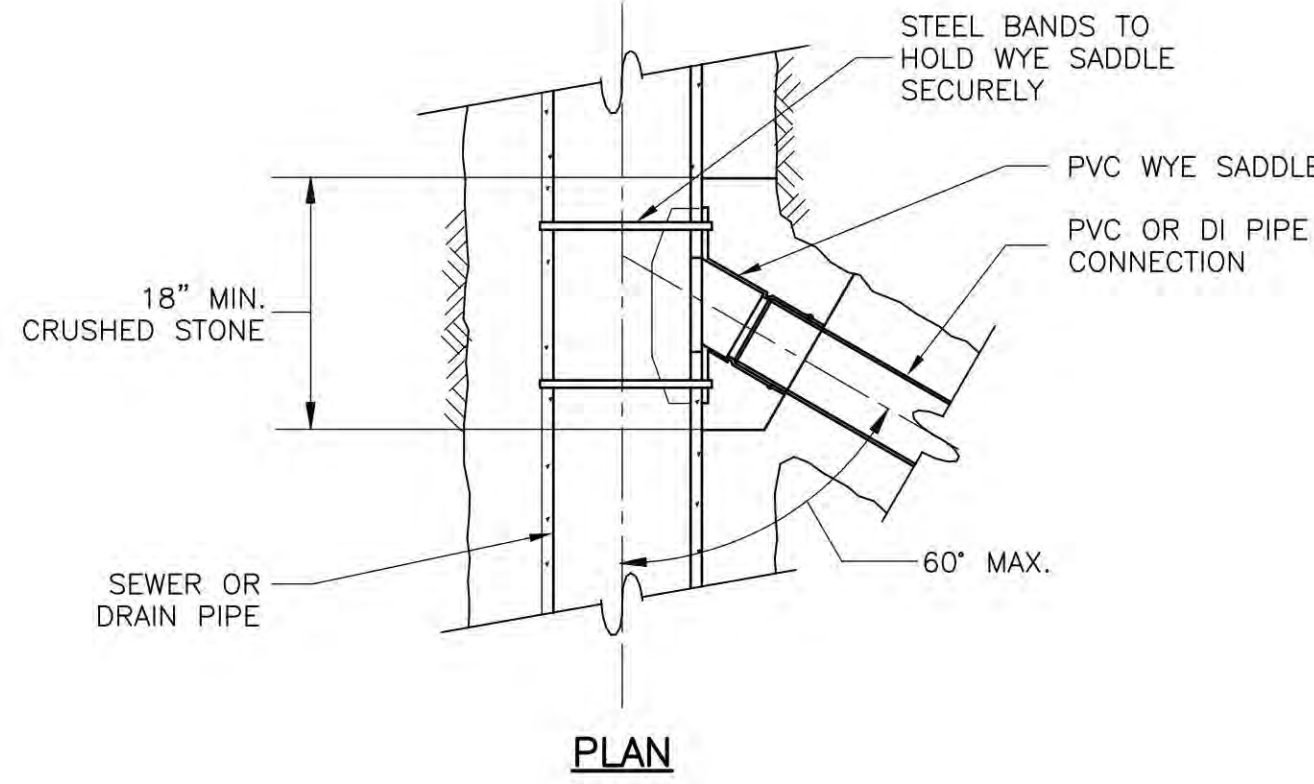


NOTES:

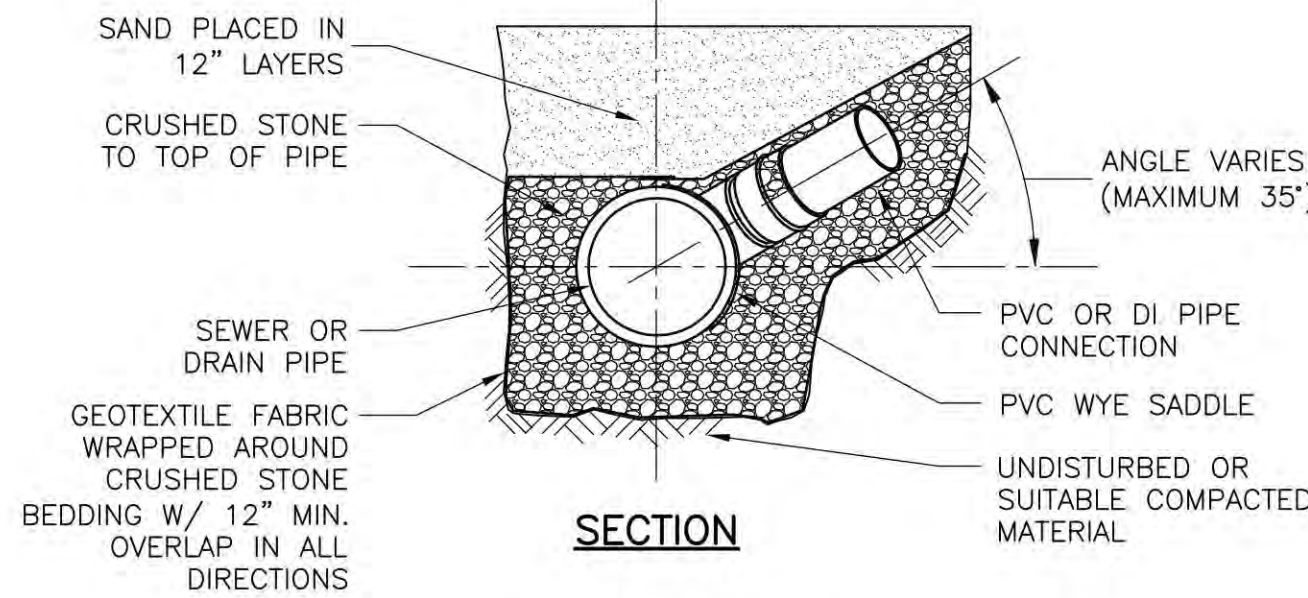
1. THIS DETAIL APPLIES WHENEVER AN EXISTING SERVICE LATERAL MUST BE CONNECTED TO A CIPP LINED SEWER MAIN AND SERVICE LATERAL INSERTA TEE CONNECTION CANNOT BE INSTALLED.
2. WHEN BREAKING OUT EXISTING PIPE CROWN, DO NOT ALLOW DEBRIS TO ENTER SEWER. INSTALL AND COMPACT CRUSHED STONE TO 1-FOOT ABOVE TOP OF PIPE AND/OR SERVICE.
3. REFER TO SEWER TRENCH DETAIL FOR BEDDING, BACKFILLING AND RESTORATION REQUIREMENTS.
4. INSTALL FITTINGS, ADAPTERS, AND RUBBER SLEEVE COUPLINGS AS NECESSARY, TO MAKE CONNECTION BETWEEN NEW AND EXISTING SERVICE LATERAL PIPING.
5. NOT ALL LATERAL SIZES ARE KNOWN. CONTRACTOR TO FIELD VERIFY THE SIZE AND TYPE OF THE EXISTING SERVICE LATERAL. EXISTING LATERALS ARE ASSUMED TO BE 6" DIAMETER.

SERVICE LATERAL SADDLE CONNECTION

DETAIL S
NTS 11



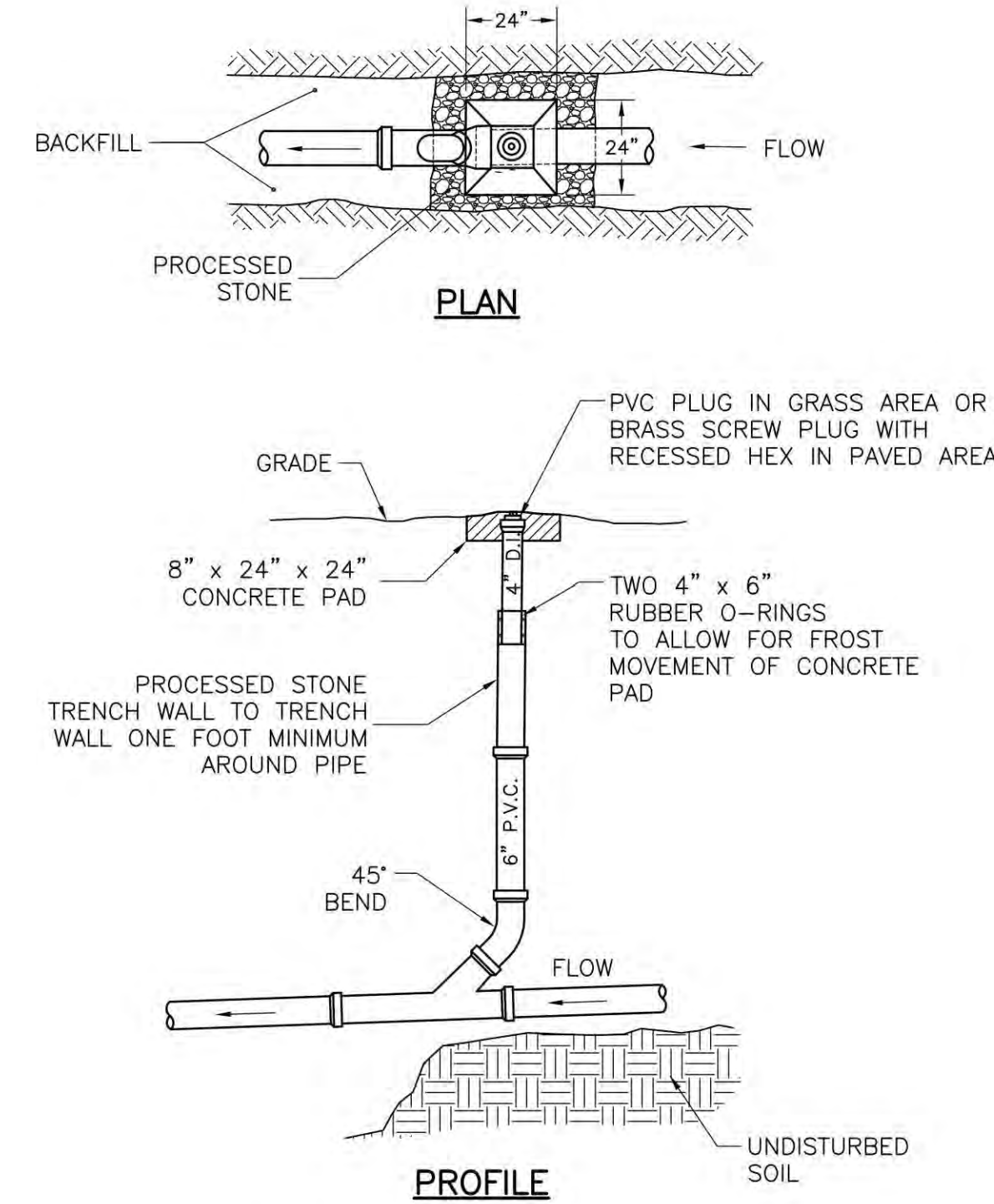
PLAN



SECTION

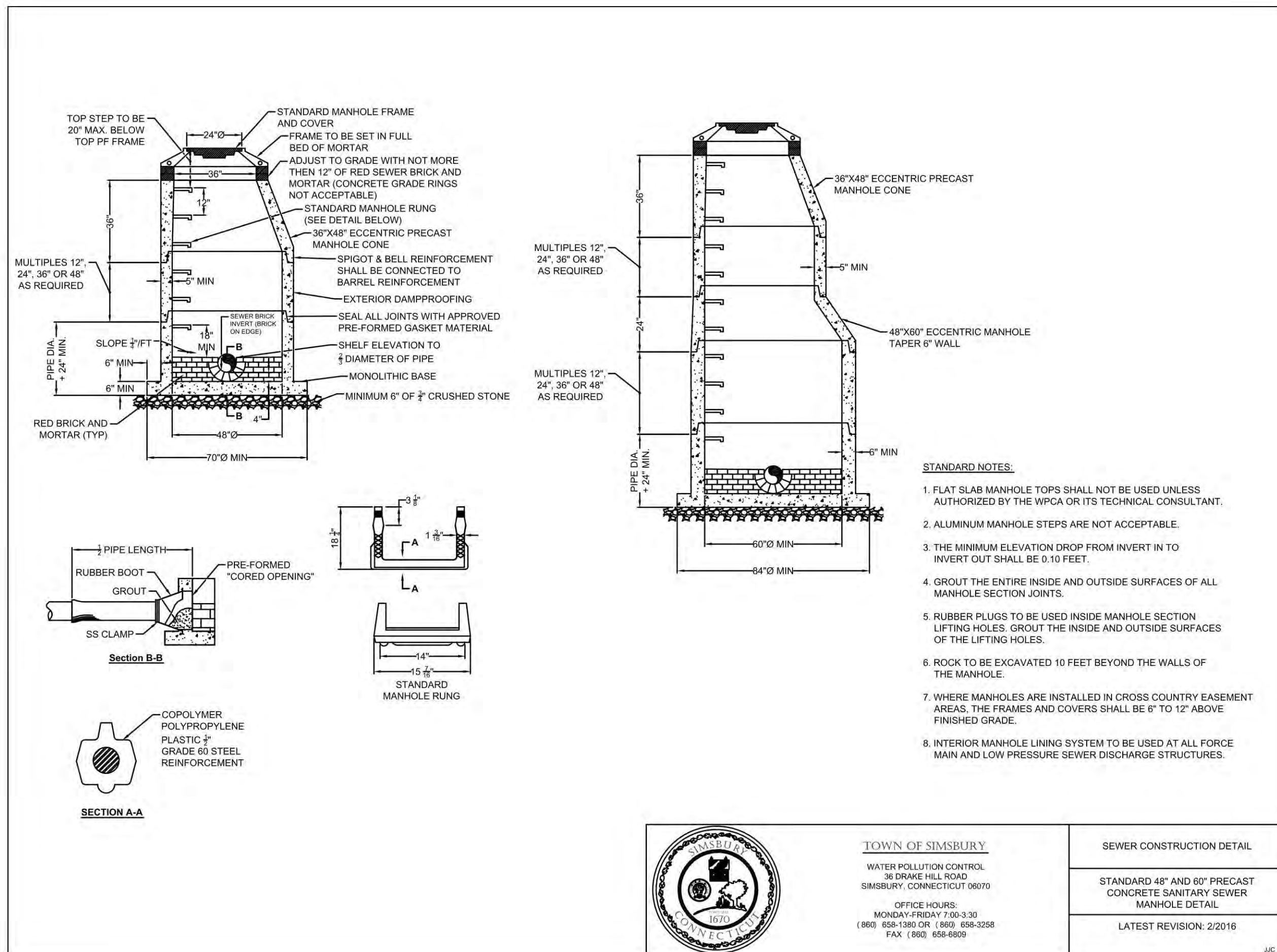
WYE SADDLE CONNECTION TO EXISTING PIPE

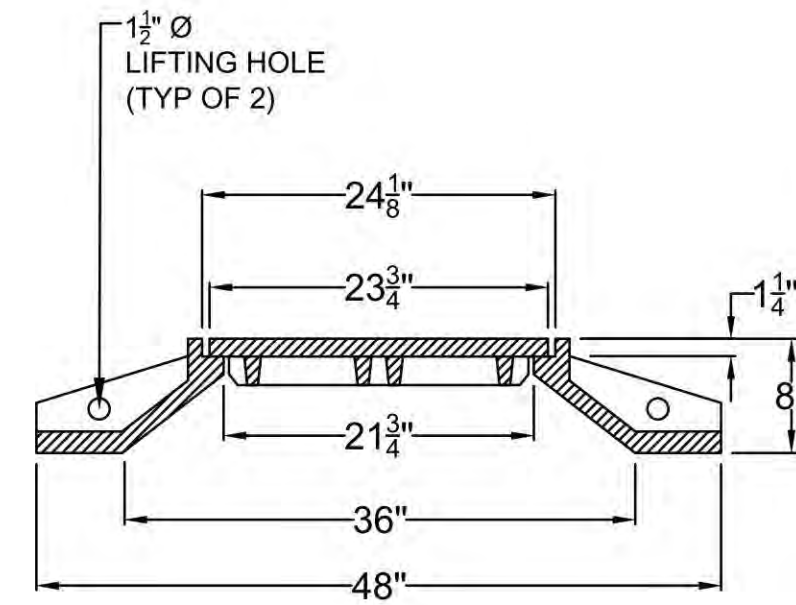
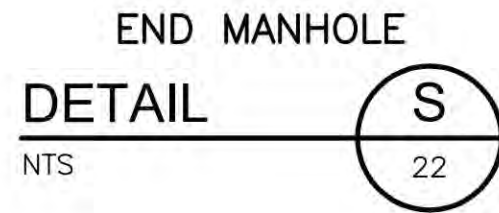
DETAIL S
NTS 16



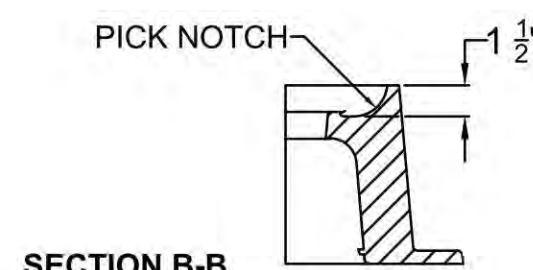
CLEANOUT AT GRADE

DETAIL S
NTS 17

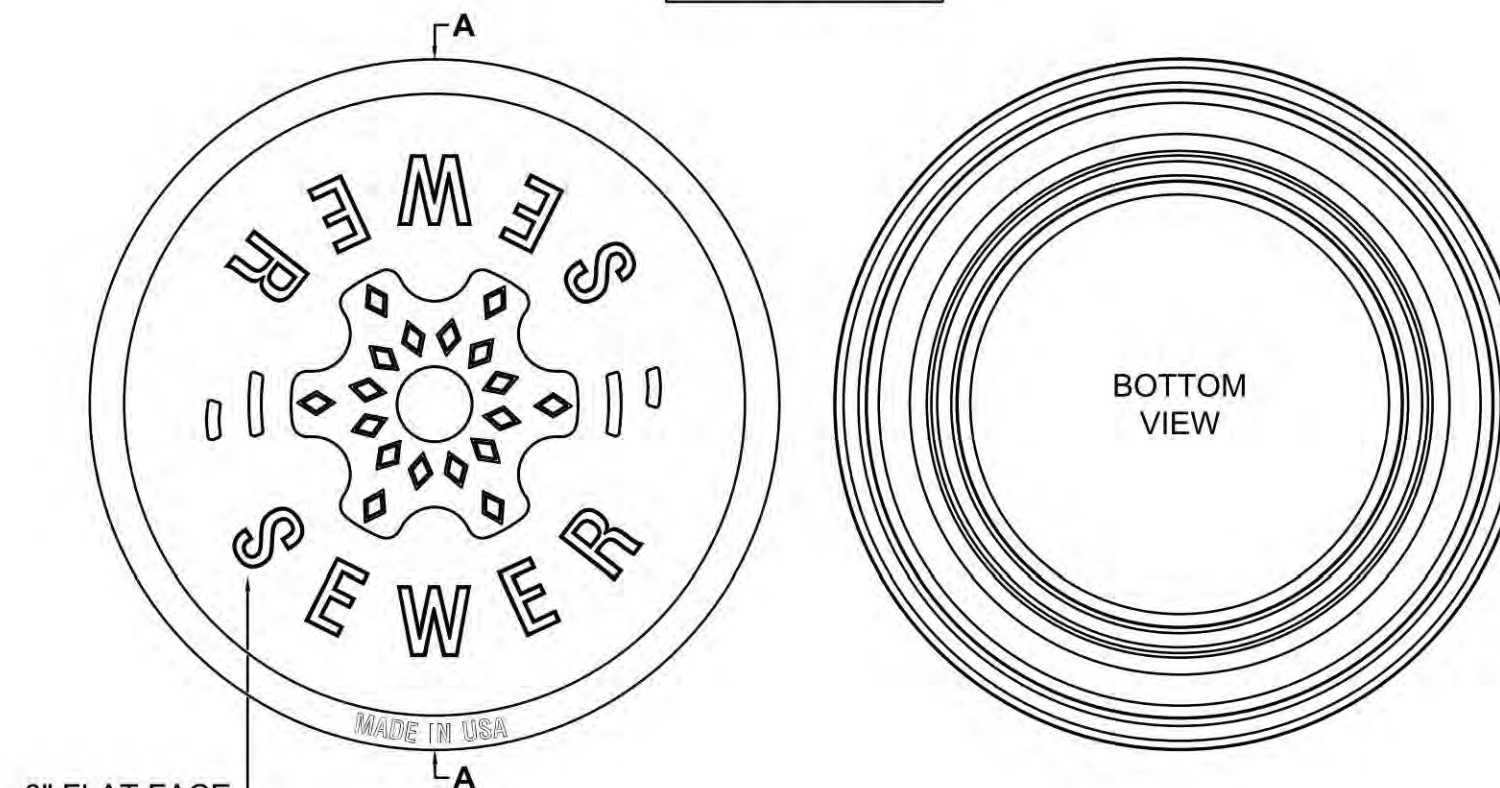




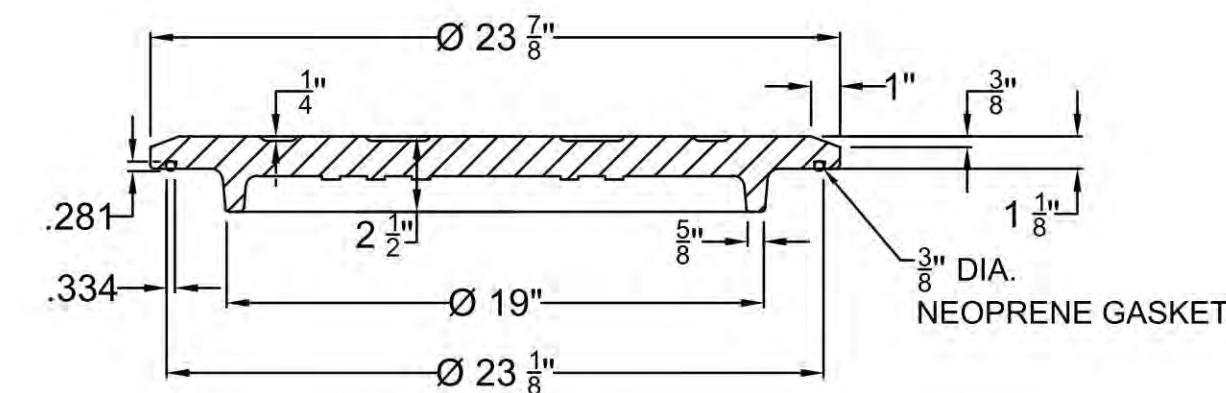
FRAME WEIGHT NOT LESS THEN
460 LBS.



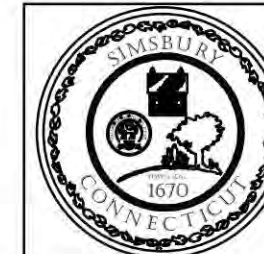
SECTION B-B



3" FLAT FACE
GOTHIC



SECTION A-A



TOWN OF SIMSBURY
WATER POLLUTION CONTROL
36 DRAKE HILL ROAD
SIMSBURY, CONNECTICUT 06070

OFFICE HOURS:
MONDAY-FRIDAY 7:00-3:30
(860) 658-1380 OR (860) 658-325
FAX (860) 658-6809

SEWER CONSTRUCTION DETAIL

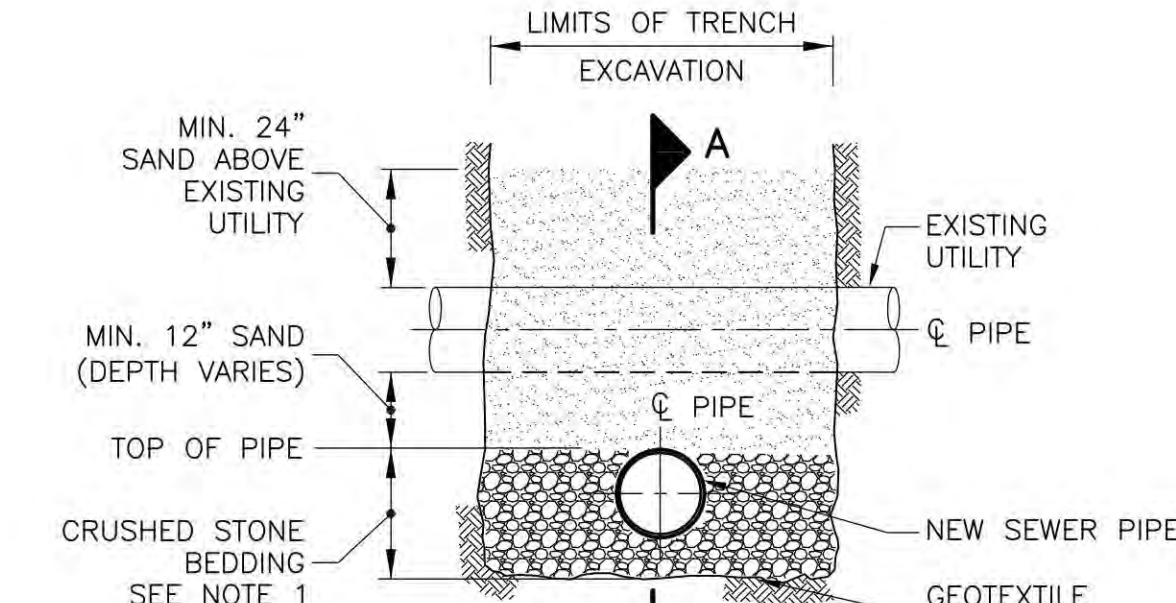
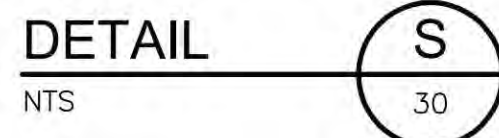
24" FRAME AND GASKETED COVER

LATEST REVISION: 2/2016



STAGGER FOR EACH
ADDITIONAL BRICK LAYER
(RUNNING BOND)

BRICK LEVELING COURSE FOR NEW MANHOLES



WHERE CLEARANCE IS LESS
THAN 12" USE CONTROLLED
— LOW-STRENGTH MATERIAL
WITH 6 MIL POLYETHYLENE
OR EQUAL WRAP FOR
EXISTING UTILITY

NOTES:

1. CRUSHED STONE SHALL BE INSTALLED TO TOP OF PIPE FOR PVC AND DI PIPE AND TO SPRINGLINE FOR RC PIPE.
2. REFER TO SEWER TRENCH DETAIL FOR BACKFILLING AND RESTORATION REQUIREMENTS.

EXISTING GAS OR WATER UTILITY CROSSING



ALL WORK, LABOR, AND MATERIALS TO BE IN STRICT COMPLIANCE WITH ALL CITY, STATE, AND FEDERAL LAWS. YOU SHALL TAKE THE PRECEDENCE OF ANY SUCH LAWS IN THE EVENT OF DISCREPANCY OR OTHER DISSENSING VIEW.

THE WORD "CONCRETE" OR "CONCRETE" IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE LAND SURVEYOR AND/OR ENGINEER. OPINION IS BASED ON THEIR BEST KNOWLEDGE AND BELIEF, AND NOT ON ANY OTHER CONSTITUTIONS WITHIN A GUARANTEE OR WARRANTY.

THE INFORMATION CONTAINED HEREIN IS THE PROPRIETARY AND CONFIDENTIAL PROPERTY OF CONCRETE-HOFFMAN HOLDING, LLC. REPRODUCTION, REPLICATION, DISTRIBUTION, OR ANY OTHER USE OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF CONCRETE-HOFFMAN HOLDING, LLC, IS STRICTLY PROHIBITED. ANY SUCH VIOLATION SHALL BE CAUSE FOR IMMEDIATE AND COMPLETE TERMINATION OF ANY AND ALL RIGHTS OF ANY USER OF THIS INFORMATION. ANY SUCH VIOLATION SHALL BE CAUSE FOR IMMEDIATE AND COMPLETE TERMINATION OF ANY AND ALL RIGHTS OF ANY USER OF THIS INFORMATION.

CONCRETE-HOFFMAN HOLDING, LLC
10000 W. 10TH AVE., SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.CONCRETE-HOFFMAN.COM

DISPATCHED 2002 41 PROFESSIONAL

[illegible]

PROJECT:

PROPOSED SANITARY SEWER SYSTEM

PINE HILL DRIVE,
WOODS LANE,
MIDDLE LANE,
STEBBINS BROOK
LANE, & SOUTH ROAD

PREPARED FOR:

SIMSBURY
WPCA

36 DRAKE HILL ROAD
SIMSBURY, CT 06070

DETAILS

DRAWN BY:	MP/CB
CHECKED BY:	MP
SCALE:	AS NOTED
PROJECT:	23-025
DATE:	3/23/2023

C-6.2

GENERAL NOTES

GENERAL NOTES:

1. SURVEY NOTES ARE PROVIDED ON THE SURVEY PLANS SHEETS C-1.0 THROUGH C-5.0, AS PREPARED BY GODFREY, HOFFMAN, HODGE, LLC.
2. ALL ENCROACHMENT PERMITS SHALL BE PULLED BY THE CONTRACTOR FROM THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION PRIOR TO COMMENCING WITH ANY ACTIVITIES WITHIN THE STATE RIGHT-OF-WAY.
3. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROJECT MANUAL AND TECHNICAL SPECIFICATIONS INCLUDED IN THE INVITATION TO BID. ANY REQUESTS FOR CHANGES SHALL BE SUBMITTED BY THE CONTRACTOR IN WRITING TO THE OWNER.

UNDERGROUND UTILITY NOTES:

1. THE CONTRACTOR IS TO CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455, 48 HOURS BEFORE EXCAVATING.
2. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND RECORD DOCUMENTS. UTILITY LOCATIONS MAY NOT BE EXACTLY LOCATED AND UTILITIES MAY EXIST THAT ARE NOT LOCATED ON THIS PLAN.
3. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTS DIFFERENTLY THAN SHOWN ON THE PLAN SUCH THAT THE WORK CANNOT BE COMPLETED AS DESIGNED, THE CONTRACTOR SHALL FURNISH INFORMATION IN WRITING TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
4. IN THE EVENT THE CONTRACTOR DAMAGES AN EXISTING UTILITY SERVICE CAUSING AN INTERRUPTION IN SAID SERVICE, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE AFFECTED UTILITY COMPANY AND PERFORM THE WORK AS DETAILED BY THE UTILITY COMPANY AS NEEDED TO RESTORE SERVICE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL NOT CONTINUE WORK OPERATIONS UNTIL THE SERVICE IS RESTORED.

DRAINAGE NOTES:

1. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTS DIFFERENTLY THAN SHOWN ON THE PLAN SUCH THAT THE WORK CANNOT BE COMPLETED AS DESIGNED, THE CONTRACTOR SHALL FURNISH INFORMATION IN WRITING TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
2. RIM ELEVATIONS OF PROPOSED DRAINAGE MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS SHALL BE SET FLUSH AND CONSISTENT WITH THE PROPOSED GRADES SHOWN ON THE PLANS.
3. A

KNOWN UTILITIES WITHIN THE PROJECT LIMITS:

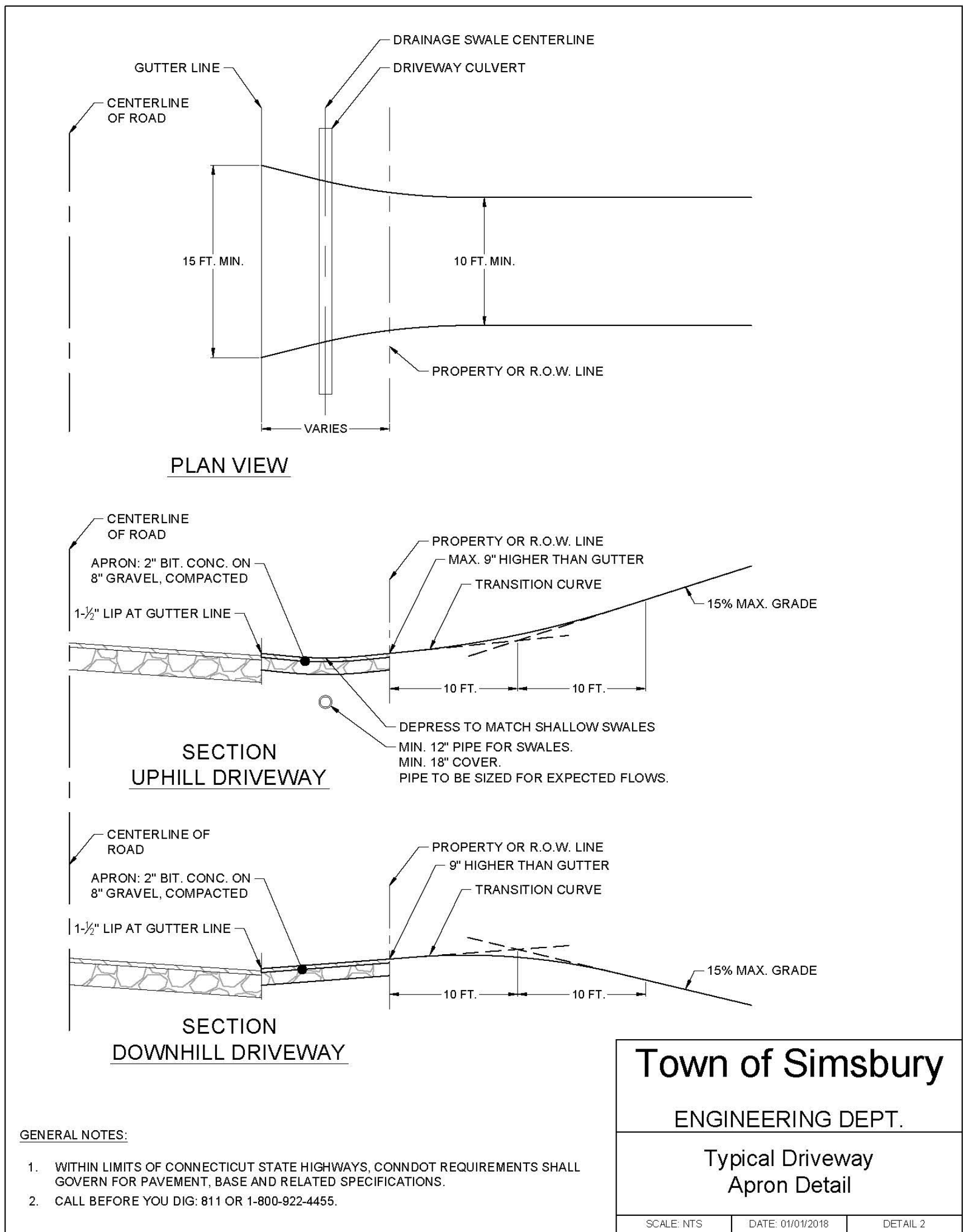
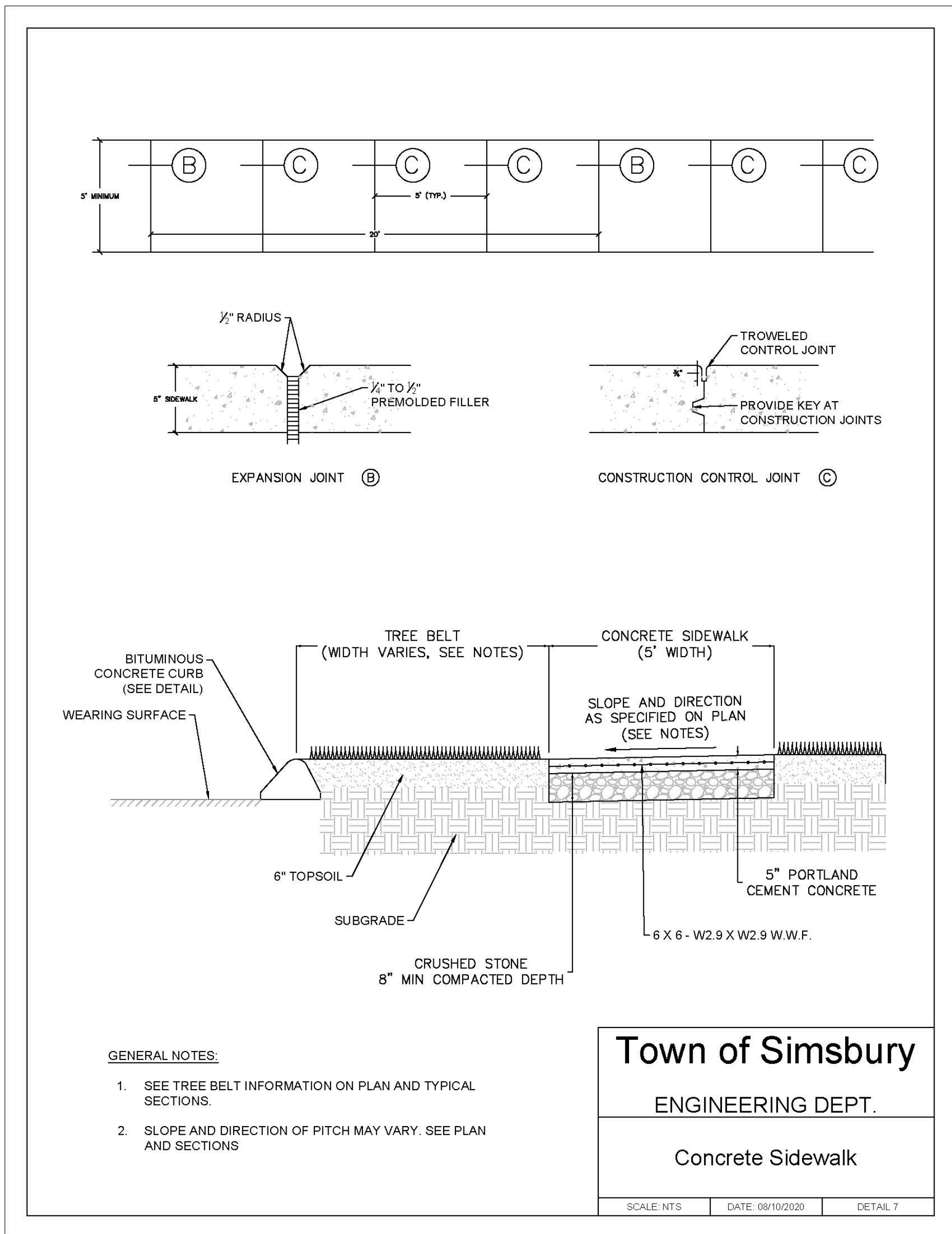
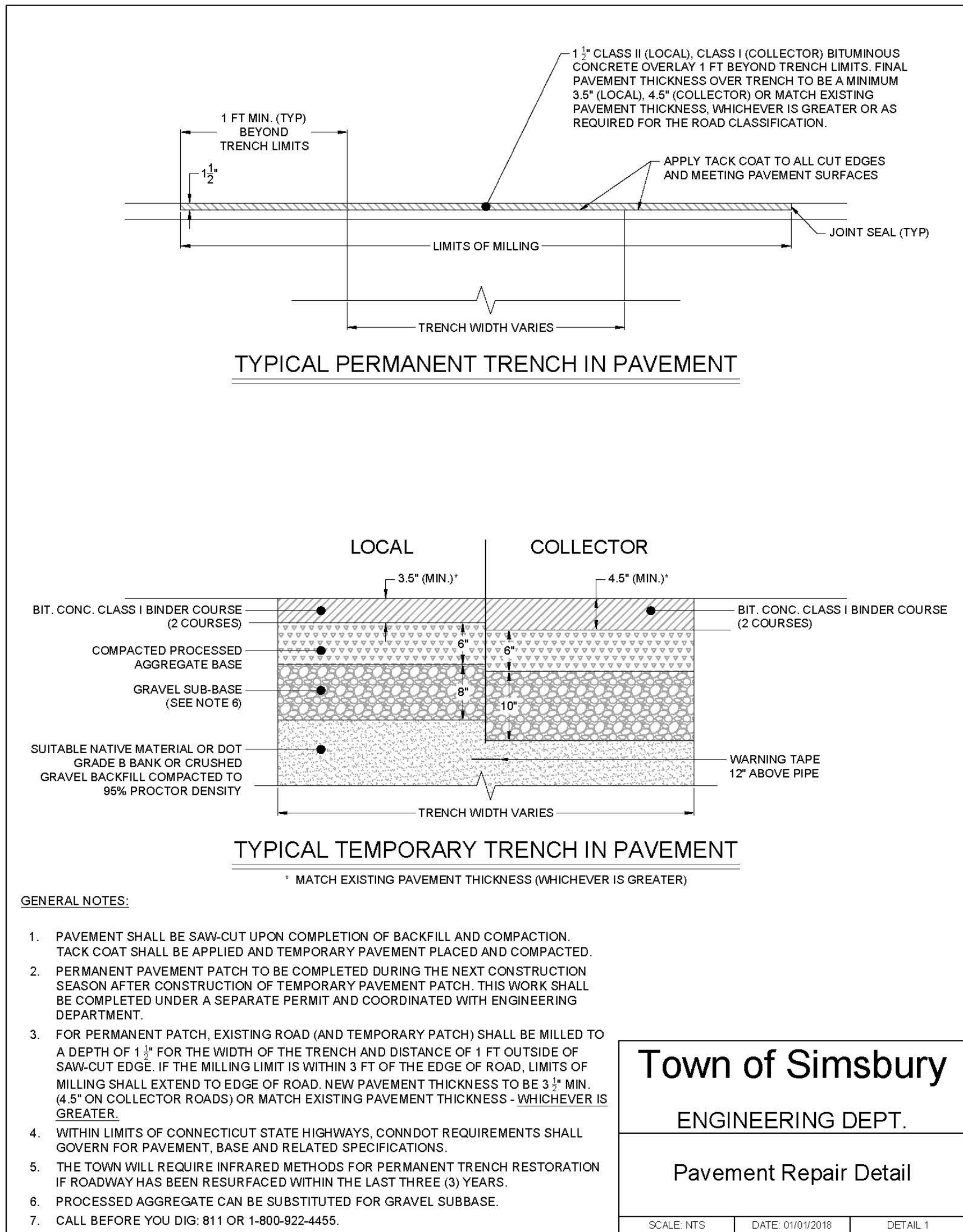
1. WATER POLLUTION CONTROL AUTHORITY - SANITARY SEWER
2. COMCAST OF CONNECTICUT - COMMUNICATIONS
3. AQUARION WATER COMPANY - POTABLE WATER
4. FRONTIER COMMUNICATIONS - COMMUNICATIONS
5. EVERSOURCE ENERGY - ELECTRIC
6. CONNECTICUT NATURAL GAS - NATURAL GAS

CONSTRUCTION NOTES:

1. CURB RAMPS SHALL COMPLY WITH STANDARD DETAILS FOR MAXIMUM SLOPES AND CROSS SLOPES.
2. ALL UTILITY RELOCATIONS SHALL BE COORDINATED WITH THE OWNER OF SAID UTILITY.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. THE CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
2. THE CONTRACTOR SHALL INSTALL SEDIMENT CONTROL SYSTEMS (SILT SACK) AT CATCH BASINS WITHIN THE PROJECT LIMITS, AS WELL AS THOSE DOWNSTREAM/DOWNGRADIENT OF ANY CONSTRUCTION ACTIVITIES PRIOR TO ANY EXCAVATION WORK.
3. THE CONTRACTOR SHALL INSTALL SEDIMENT CONTROL SYSTEMS (SILT FENCE OR STRAW WATTLE) AT THE BOTTOM OF ANY SLOPE PRIOR TO DISTURBANCE OF THE UPGRADIENT SLOPE.
4. CONTRACTOR SHALL MAINTAIN AND INSPECT ALL EROSION AND SEDIMENTATION CONTROLS ON A WEEKLY BASIS AND FOLLOWING EVERY STORM EVENT RESULTING IN $>1/2"$ OF RAINFALL. SEDIMENTS SHALL BE REMOVED AND DISPOSED OF ON A WEEKLY BASIS AND WITHIN TWELVE HOURS OF EACH STORM EVENT.
5. THE CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEED, OR OTHERWISE STABILIZED TO PREVENT EROSION.



PROJECT:

**PROPOSED
SANITARY
SEWER SYSTEM**

PINE HILL DRIVE,
WOODS LANE,
MIDDLE LANE,
STEBBINS BROOK
LANE, & SOUTH ROAD

PREPARED FOR:

**SIMSBURY
WPCA**

36 DRAKE HILL ROAD
SIMSBURY, CT 06070

DETAILS

DRAWN BY: MP/CB

CHECKED BY: MP

SCALE: AS NOTED

PROJECT: 23-025

DATE: 3/23/2023

C-6.3