



Town of Simsbury

Office of Community Planning and Development - Inland Wetlands Permit Application

DATE: _____ FEE: \$ _____ CK #: _____ APP #: _____

PROPERTY ADDRESS: 54 West Mountain Road

NAME OF APPLICANT: Red Door Homes LLC, attn: Scott Brickey

MAILING ADDRESS: P.O. Box 341, Simsbury, CT 06070

EMAIL ADDRESS: RedDoorConstruction@gmail.com TELEPHONE # 860 658-1940

NAME OF OWNER: Same

MAILING ADDRESS: _____

EMAIL ADDRESS: _____ TELEPHONE # _____

NOTE: ATTACH A WRITTEN LETTER OF AGENCY, DULY ACKNOWLEDGED, TO ACT FOR THE OWNER, INCLUDING THE ABILITY TO CARRY OUT ACTIVITIES SET FORTH HEREIN.

DESCRIBE THE SPECIFIC ACTIVITY(ies) FOR WHICH A PERMIT IS SOUGHT AS IT RELATES TO "REGULATED ACTIVITIES" AS DEFINED IN SECTION 6 OF THE SIMSBURY INLAND WETLANDS REGULATIONS, SUCH AS: A) REMOVE MATERIAL FROM; B) DEPOSIT MATERIAL IN OR DISCHARGE TO; C) CONSTRUCT ON; D) OBSTRUCT; E) ALTER; F) POLLUTE; OR G) OTHERWISE ADVERSELY AFFECT A REGULATED AREA:
Regrade with the upland review area.

CERTIFICATIONS AND PERMISSIONS:

As owner, I hereby give permission to the Town of Simsbury's Conservation Commission Inland Wetlands Watercourses Agency, their Agents, or Town Staff to enter upon my land to make observations and tests as may be necessary to evaluate this application and ongoing work, subject to twenty-four hours notice of such entry/testing.

I hereby certify that all statements herein are true to the best of my knowledge, whether made by me or my agents. Any permit issued shall be contingent upon field conditions and activities being substantiated as indicated herein. A changed situation shall require reconsideration of the permit by the Commission upon discovery by either party.

I certify that I have the authority to sign this application.

[Signature]
Signature of Owner

3/17/23
Date

SCOTT BRICKEY - OWNER 3/17/23
Signature and Title of Applicant Date

Telephone (860) 658-3245
Facsimile (860) 658-3206

www.simsbury-ct.gov

933 Hopmeadow Street
Simsbury, CT 06070

Attachment to Inland Wetlands Permit Application
Red Door Homes LLC
54 West Mountain Road

1. In the case of a public hearing or map amendment, list on a separate sheet of paper the names and addresses of all abutting property owners and property owners within 100 feet of all property lines. Identify on one of the attached maps.

See attached sheet.

2. Describe the site and the regulated area or wetlands/watercourses involved:

a. General site conditions, including vegetation and general soil conditions.

See soil scientist's report.

b. Size of wetland within site or distance of the activity from the wetland.

There are 360 square feet of wetlands on the property. A home is proposed to be constructed 100 feet from the wetlands. Grading will occur between 50 and 100 feet from the wetlands. No activity will occur within 50 feet of the wetlands.

c. Size of total contiguous wetland.

The wetlands are associated with a tributary to Stratton Brook. This tributary is located about 100 feet east of the property and joins Stratton Brook about 1000 feet downstream. The contiguous wetland area is many acres.

d. Position relative to other wetlands on site.

There are no other wetlands on the site.

e. Type of wetland characterized by vegetative and soil type and/or watercourse, such as: 1) open/deep fresh water pond or lake; 2) shallow marsh; 3) seasonally flooded basins and flats; 4) meadow; 5) shrub swamp; 6) wooded swamp; 7) bog; 8) kettle; 9) stream type; 10) other.

The wetlands are a wooded swamp.

3. Depth to water table, depth to mottled soil, and seasonal variation of water table.

See test pit data on plan.

4. Describe the immediate impact on the wetlands and watercourses, including, but not limited to:

a. Quantities, by volume and area disturbed, of materials to be removed, deposited, or altered.

No wetlands or watercourses will be disturbed.

b. Kinds of materials by soil types and vegetative classifications, and materials classification to be removed, deposited, or altered.

No wetlands or watercourses will be disturbed.

c. Percent of wetlands/watercourses disturbed or altered to total area of wetlands/watercourses on the parcel.

No wetlands or watercourses will be disturbed.

5. Describe the related construction activities and their impact on:

a. Area and location of wetlands and watercourses.

No wetlands or watercourses will be disturbed.

b. Types and amounts of vegetation.

39,500 square feet of the wooded property is to be cleared. 15,000 square feet of vegetation within 100-foot upland review area will be cleared. No vegetation within 50 feet of the wetlands will be impacted.

c. Surface and groundwater.

The construction activity will have no adverse effects on the surface and groundwater draining to the wetlands.

d. Visual impacts.

The construction activity will have no adverse effects on the visual characteristics of the wetlands.

e. Wildlife habitats.

The construction activity will have no adverse effects on the wetland wildlife habitats.

6. Describe the long term or permanent impact of the activity(ies) on environmental aspects, such as the surface and groundwater quality, storm water runoff, visual impact(s), or wildlife habitats on:

a. Wetlands and/or watercourses.

There will be no direct impact on the wetlands and watercourses. There is little chance of further encroachment into the wetlands in the future. An adequate backyard area is provided behind the home. The backyard is orientated away from the on-site wetlands.

b. Abutting riparian properties and/or wetlands and/or watercourses.

A significant vegetative buffer will remain between the home and the abutting wetlands and watercourse.

7. Identify sedimentation and erosion control measures to be used.

During construction, filter fabric fence will be installed along the downgradient limit of grading. An anti-tracking pad will be installed at the construction entrance to prevent sediments from being tracked onto West Mountain Road.

8. Identify alternatives to the proposed activity that were considered, including alternative sites and why this one was chosen.

The location for the proposed home was chosen because it is furthest from the wetlands. The home is to be located on the northerly portion of the site. The wetlands are located on the southerly portion of the site. The proposed activity will not have a significant impact on the wetlands.

9. Estimate cost of work and time for completion.

The home will cost several hundred thousand dollars and be completed in about six months.

10. Attach drainage calculations and other reports as indicated to substantiate the statements made above.

See attached soil scientist report.

11. REQUIRED MAPS

a. Attach a vicinity map on an 8 ½"x11" sheet at scale 1"=200' or 1'=800' (depending upon the size of the parcel) showing the general location of the area in which the regulated activity is proposed. The map should be in sufficient detail to allow the identification of the property on the official Inland

Wetlands and Watercourses map. A guide to the kinds of information to be shown is available in the Planning Department at the Town Hall.

b. Site Plan(s) showing:

- i. The topography showing contours at intervals of not more than two (2) feet and a minimum of two (2) contour marks per ten (10) acres at a scale of 1"=100' or 1"=40' (whichever is more appropriate).
- ii. Location of existing watercourses and/or ponds.
- iii. Location of regulated activity.
- iv. Proposed grading and/or filling.
- v. Proposed drainage, site utilities, wells, etc.
- vi. Sedimentation and erosion control measures.

12. The Applicant shall certify whether:

a. Any portion of the property on which the regulated activity is proposed is located within 500 feet of the boundary of an adjoining municipality.

No portion of the property is within 500 feet of an adjoining municipality.

b. Traffic attributable to the completed project on the site will use streets within the adjoining municipality to enter or exit the site.

Traffic will not use streets within an adjoining municipality to enter or exit the site.

c. Sewer or water drainage from the project site will flow through and affect the sewage or drainage system within the adjoining municipality or

Sewer or water drainage from the project site will not flow through or affect any sewage or drainage system within an adjoining municipality.

d. Water runoff from the improved site will affect streets or other municipal or private property within the adjoining municipality.

Water runoff from the improved site will not affect streets or other municipal or private property within any adjoining municipality.

e. Documentation that notice of the pending application was provided to the adjacent municipality (certified mail, return receipt requested) on the same day of filing an inland wetland permit application with the Town of Simsbury.

Not applicable.

f. The property is subject to a conservation restriction or preservation restriction, and, if so, what party or parties are holders thereof or intended to be benefitted thereby.

The property is not subject to a conservation restriction or preservation restriction.

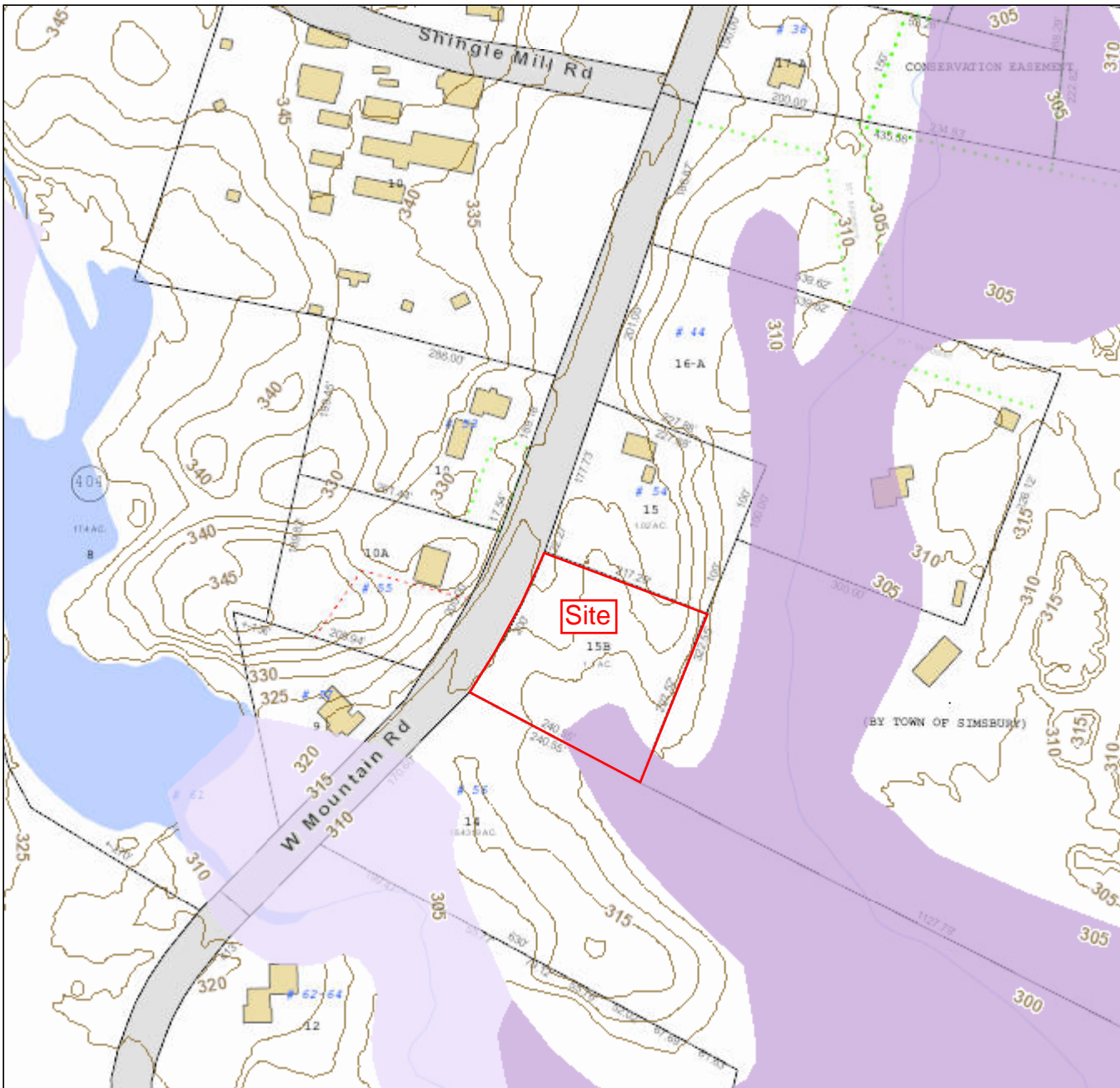
Town of Simsbury

Geographic Information System (GIS)



Vicinity Map
54 West Mountain Road

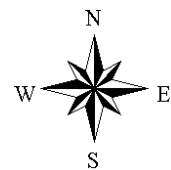
Date Printed: 3/16/2023



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Simsbury and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 200 feet



B11 406 015
JULIE 54 WEST MOUNTAIN LLC
44 WEST MOUNTAIN ROAD
WEST SIMSBURY CT 06092

B11 406 015B
RED DOOR HOMES LLC
18 SHINGLE MILL ROAD
SIMSBURY CT 06070

B11 406 014
56 WEST MOUNTAIN ROAD LLC
3813 13TH AVE 3RD FL
BROOKLYN NY 11218

B11 406 016A
CHRISTENSEN NEVIN E
PO BOX 246
WEST SIMSBURY CT 06092

B11 406 016
CHRISTENSEN NEVIN E
PO BOX 246
WEST SIMSBURY CT 06092

B11 404 010
JULIE 53 WEST MOUNTAIN LLC
53 WEST MOUNTAIN ROAD
WEST SIMSBURY CT 06092

B11 404 010A
NA
55 WEST MOUNTAIN ROAD
WEST SIMSBURY CT 06092

B11 404 009
ZYCH MELISSA J AND DANIELS J
57 WEST MOUNTAIN ROAD
WEST SIMSBURY CT 06092

Abutters within 100 feet of
54 West Mountain Road