



Town of Simsbury

933 HOPMEADOW STREET

SIMSBURY, CONNECTICUT 06070

Office of Planning and Community Development

To: Simsbury Conservation Commission/Inland Wetlands Agency

From: George K. McGregor, AICP, Planning & Community Development Director

Date: April 4, 2023

RE: **Application CC #23-11** of Red Door Homes, LLC, Owner, for a wetland permit to allow site grading and clearing of \pm 15,000 sq. ft. in the upland review area, associated with construction of a single-family house, at 54 West Mountain Road. (Assessor's Map B11, Block 406, Lot 015B) Simsbury, CT 06070. Zone R-40.

Summary of Request

As an element of the construction of a single-family home at 54 West Mountain Rd., the project proposes approximately 15,000 sq.ft. of grading, septic field installation, and other land disturbance in the upland review area.

The Applicant has submitted a site plan (plot plan) for the entire project. No disturbance is closer to the mapped wetland boundary than approximately 50 ft.

The Applicant has included Erosion & Sediment control measures on the site plan. The Applicant has also submitted a soils report clarifying the nature and limits of the Town Wetlands layer.

The E&S controls proposed appear satisfactory.

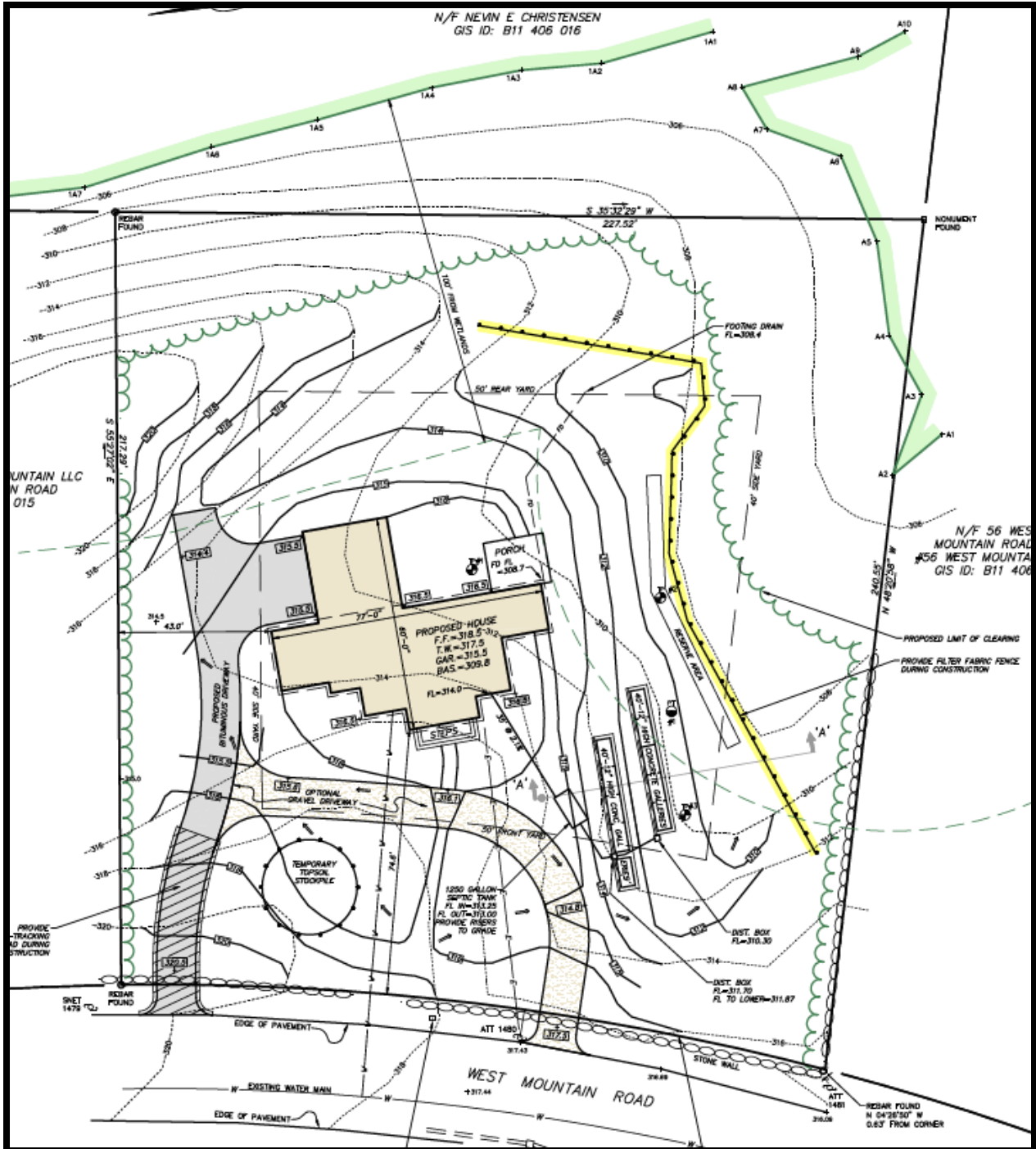


Telephone (860) 658-3245
Facsimile (860) 658-3206

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8:30 - 7:00 Monday
8:30 - 4:30 Tuesday through Thursday
8:30 - 1:00 Friday

Site Plan for 54 West Mountain Rd



Draft Motions

MOVED,

The Town of Simsbury Inland Wetlands & Watercourses Agency APPROVES Application CC #23-11 of Red Door Homes, LLC, Owner, for a wetland permit to allow site grading and clearing of \pm 15,000 sq. ft. of the site in the upland review area, associated with construction of a single-family house, at 54 West Mountain Road. (Assessor's Map B11, Block 406, Lot 015B) Simsbury, CT 06070. Zone R-40.

- a. The project will not adversely impact the wetlands
- b. Short-term impacts from the proposed development will be controlled by installation and maintenance of erosion and sediment controls and construction run-off controls.

And subject to the following conditions:

1. The project shall be developed in substantial conformance to the site plan dated January 27, 2023, prepared by Alford Associates, Inc.
2. Final stabilization of disturbed soil areas shall be stabilized with the application of loam, seed, required plantings and appropriate erosion control measures. If the site is not stabilized prior to a request for a certificate of occupancy for the single-family home for this project, the Applicant shall submit to the Town of Simsbury an Erosion & Sediment Control Bond, in an amount to be determined and in form acceptable to the Town of Simsbury.
3. At all times during site work and until soil areas are stabilized, the applicant shall install and maintain erosion and sediment control measures depicted on the plan referenced in Condition#1, including a fabric filter fence or other measures deemed necessary by the Commission's agent to prevent erosion and sedimentation impacts to wetlands and watercourses.
4. All erosion control and soil stabilization measures shall comply with the approved plans and the guidelines as established in the Connecticut Guidelines for Soil Erosion and Sediment Control, 2002, CTDEP Bulletin 34.
5. Upon direction of the Commission's agent, erosion and sediment control measures shall be removed by the applicant following stabilization of the site.
6. The Inland Wetlands Agent shall be notified at least 48 hours prior to commencement of activities.

Or

Moved, (An alternative Motion)



Town of Simsbury

933 HOPMEADOW STREET ~ SIMSBURY, CONNECTICUT 06070

Department of Public Works - Engineering Division

MEMORANDUM

To: George K. McGregor, AICP, Director of Community Planning and Development

From: Daniel F. Gannon, Project Engineer *DFG*

Cc: Adam D. Kessler, P.E., Deputy Town Engineer
Laura Barkowski, Code Compliance Officer
Joseph Hollis, Land Use Specialist

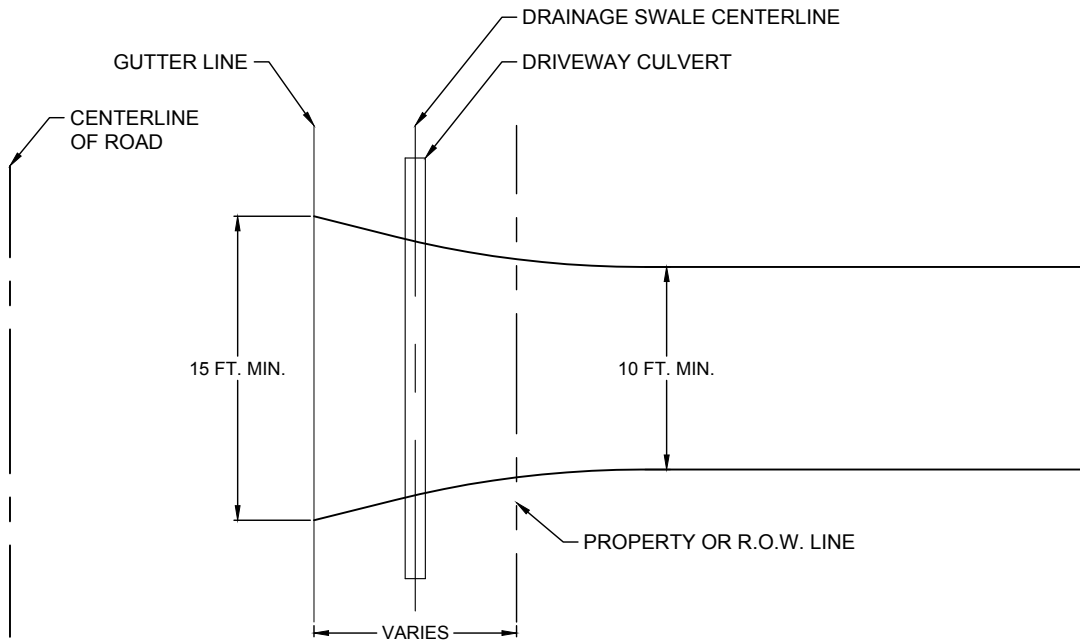
Subject: **Engineering Comments – #54 West Mountain Road**

Date: March 29, 2023

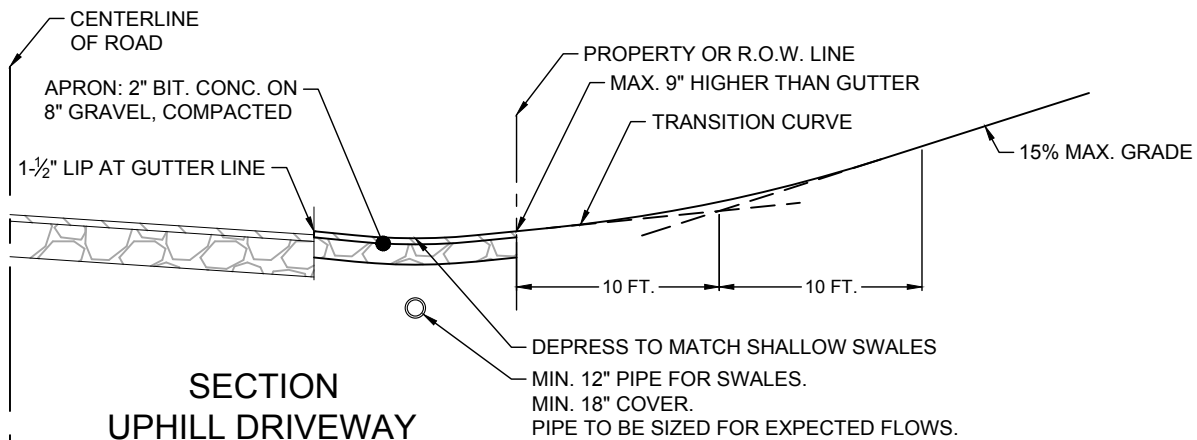
The Engineering Department has reviewed the Improvement Location Survey prepared for Red Door Construction dated January 27, 2023 for development at 54 West Mountain Road received by this department on March 28, 2023:

The applicant has submitted plans to construct a single-family residence with associated bituminous concrete driveway, septic leaching field, grading, and associated appurtenances at 54 West Mountain Road. The following comments are based on the submitted plan:

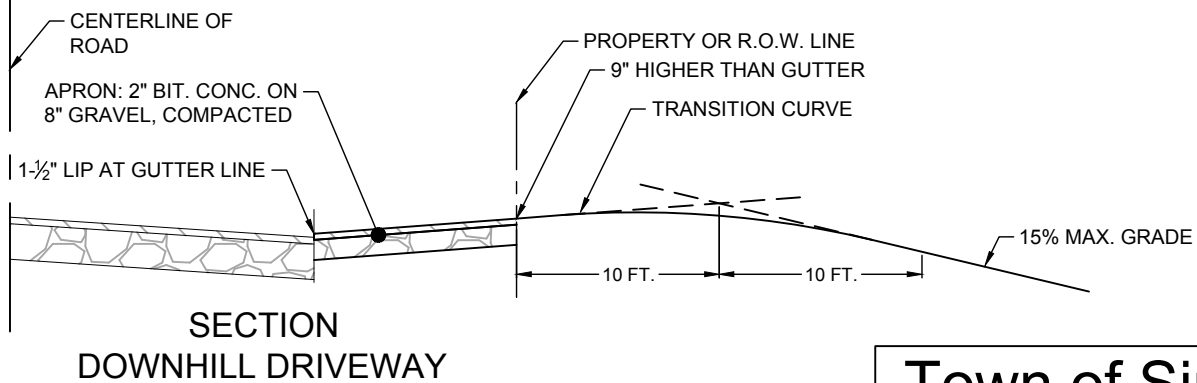
1. Provide details for the proposed filter fabric fence and anti-tracking pad.
2. Extend the “filter fabric fence” along the eastern propose tree line, where the limit of disturbance is proposed.
3. Only one curb cut is permitted. Remove one of the proposed curb cuts. Add an existing spot grade at the curb line. The proposed spot grade shall include the required 1.5” lip and the proposed spot grade at the limit of Town Right-of-Way shall be consistent with the Town of Simsbury Typical Driveway Apron – Section Downhill Driveway Detail (attached).
4. Remove the “optional gravel driveway” from the proposed plan; all driveways within the Town Right-of-Way shall be bituminous concrete.
5. Erosion control matting is suggested for all disturbed areas at or greater than a 3H:1V slope for stabilization.
6. Provide additional existing and proposed contours and/or spot grades to the north of the proposed driveway where topography is insufficient. It is unclear whether the existing overland flow from #52 West Mountain Road to the wetlands at the rear of #54 West Mountain Road is maintained under the proposed conditions.
7. Any future changes to proposed grades associated with plan changes should be provided to our office for review.
8. Identify the method to release roof runoff and the location of release.
9. Any work within the Town Right-of-Way, including installation of the anti-tracking pad, shall be in accordance with the Town of Simsbury Street Excavation Program. Have any contractor(s) who plan on working within the Town Right-of-Way to contact the Engineering Department at 860-658-3260 prior to commencing work.



PLAN VIEW



SECTION UPHILL DRIVEWAY



SECTION DOWNHILL DRIVEWAY

GENERAL NOTES:

1. WITHIN LIMITS OF CONNECTICUT STATE HIGHWAYS, CONNDOT REQUIREMENTS SHALL GOVERN FOR PAVEMENT, BASE AND RELATED SPECIFICATIONS.
2. CALL BEFORE YOU DIG: 811 OR 1-800-922-4455.

Town of Simsbury

ENGINEERING DEPT.

**Typical Driveway
Apron Detail**

SCALE: NTS

DATE: 01/01/2018

DETAIL 2