

Town of Simsbury

Office of Community Planning and Development - Inland Wetlands Permit Application

DATE: 3/20/2023 FEE: \$ 290.00 CK #: _____ APP #: 23-12

PROPERTY ADDRESS: 58 Great Pond Road

NAME OF APPLICANT: Stephen Zappone - Northwest Homes

MAILING ADDRESS: 55 W. Mountain Road

EMAIL ADDRESS: zappones@yahoo.com TELEPHONE # 203 206 3637

NAME OF OWNER: Brian & Ann O'Donnell

MAILING ADDRESS: 84 Holcomb Street, Simsbury, CT 06070

EMAIL ADDRESS: anno@snet.net TELEPHONE # 860-658-2120

NOTE: ATTACH A WRITTEN LETTER OF AGENCY, DULY ACKNOWLEDGED, TO ACT FOR THE OWNER, INCLUDING THE ABILITY TO CARRY OUT ACTIVITIES SET FORTH HEREIN.

DESCRIBE THE SPECIFIC ACTIVITY(ies) FOR WHICH A PERMIT IS SOUGHT AS IT RELATES TO "REGULATED ACTIVITIES" AS DEFINED IN SECTION 6 OF THE SIMSBURY INLAND WETLANDS REGULATIONS, SUCH AS: A) REMOVE MATERIAL FROM; B) DEPOSIT MATERIAL IN OR DISCHARGE TO; C) CONSTRUCT ON; D) OBSTRUCT; E) ALTER; F) POLLUTE; OR G) OTHERWISE ADVERSELY AFFECT A REGULATED AREA:
Map Amendment - proposed work not within 100 foot regulated area.

CERTIFICATIONS AND PERMISSIONS:

As owner, I hereby give permission to the Town of Simsbury's Conservation Commission Inland Wetlands Watercourses Agency, their Agents, or Town Staff to enter upon my land to make observations and tests as may be necessary to evaluate this application and ongoing work, subject to twenty-four hours notice of such entry/testing.

I hereby certify that all statements herein are true to the best of my knowledge, whether made by me or my agents. Any permit issued shall be contingent upon field conditions and activities being substantiated as indicated herein. A changed situation shall require reconsideration of the permit by the Commission upon discovery by either party.

I certify that I have the authority to sign this application.

Ann M. O'Donnell
Signature of Owner
Date

dotloop verified
03/20/23 3:40 PM EDT
T3T2-IJQ4-PUSZ-RA5B

[Signature]
Signature and Title of Applicant
President
Date 3-20-23

Telephone (860) 658-3245
Facsimile (860) 658-3206

www.simsbury-ct.gov

933 Hopmeadow Street
Simsbury, CT 06070
290.00

INSTRUCTIONS FOR APPLICANT

Any person seeking a permit to carry out a regulated activity on property which has been designated an inland wetland or watercourse by the Conservation Commission or within the 100-foot regulated buffer area of a designated inland wetland or watercourse must complete and submit the Inland Wetlands Permit Application to the Planning Department.

Submission shall occur by the day before a regular meeting of the Conservation Commission. (See Section 5 of the Inland Wetlands and Watercourses Regulations of the Town of Simsbury.) Application will be heard at the following meeting, after petition period.

The original application shall be submitted with eleven (11) copies. Maps on sheets larger than 11"x14" shall be submitted in at least three (3) copies. Additional copies of site plans may be required. PDFs of the maps, if available, should be submitted, as well. PDFs can be emailed to lbarkowski@simsbury-ct.gov.

A filing fee shall accompany the application, as required by the Land Use Application Fees schedule. Please consult with the Planning Office for specific fee determination.

The following information shall be provided on white paper (8 ½"x11") and typewritten. Reproduce the following questions along with the answer and attach to the application.

1. *In the case of a public hearing or map amendment*, list on a separate sheet of paper the names and addresses of all abutting property owners and property owners within 100 feet of all property lines. Identify on one of the attached maps.
2. Describe the site and the regulated area or wetlands/watercourses involved:
 - a. General site conditions, including vegetation and general soil conditions.
 - b. Size of wetland within site or distance of the activity from the wetland.
 - c. Size of total contiguous wetland.
 - d. Position relative to other wetlands on site.
 - e. Type of wetland characterized by vegetative and soil type and/or watercourse, such as: 1) open/deep fresh water pond or lake; 2) shallow marsh; 3) seasonally flooded basins and flats; 4) meadow; 5) shrub swamp; 6) wooded swamp; 7) bog; 8) kettle; 9) stream type; 10) other.

3. Depth to water table, depth to mottled soil, and seasonal variation of water table.
4. Describe the immediate impact on the wetlands and watercourses, including, but not limited to:
 - a. Quantities, by volume and area disturbed, of materials to be removed, deposited, or altered.
 - b. Kinds of materials by soil types and vegetative classifications, and materials classification to be removed, deposited, or altered.
 - c. Percent of wetlands/watercourses disturbed or altered to total area of wetlands/watercourses on the parcel.
5. Describe the related construction activities and their impact on:
 - a. Area and location of wetlands and watercourses.
 - b. Types and amounts of vegetation.
 - c. Surface and groundwater.
 - d. Visual impacts.
 - e. Wildlife habitats.
6. Describe the long term or permanent impact of the activity(ies) on environmental aspects, such as the surface and groundwater quality, storm water runoff, visual impact(s), or wildlife habitats on:
 - a. Wetlands and/or watercourses.
 - b. Abutting riparian properties and/or wetlands and/or watercourses.
7. Identify sedimentation and erosion control measures to be used.
8. Identify alternatives to the proposed activity that were considered, including alternative sites and why this one was chosen.
9. Estimate cost of work and time for completion.
10. Attach drainage calculations and other reports as indicated to substantiate the statements made above.
11. **REQUIRED MAPS**
 - a. Attach a vicinity map on an 8 ½"x11" sheet at scale 1"=200' or 1"=800' (depending upon the size of the parcel) showing the general location of the area in which the regulated activity is proposed. The map should be in sufficient detail to allow the identification of the property on the official Inland Wetlands and Watercourses map. A guide to the kinds of information to be shown is available in the Planning Department at the Town Hall.

b. Site Plan(s) showing:

- i. The topography showing contours at intervals of not more than two (2) feet and a minimum of two (2) contour marks per ten (10) acres at a scale of 1"=100' or 1"=40' (whichever is more appropriate).
- ii. Location of existing watercourses and/or ponds.
- iii. Location of regulated activity.
- iv. Proposed grading and/or filling.
- v. Proposed drainage, site utilities, wells, etc.
- vi. Sedimentation and erosion control measures.

12. The Applicant shall certify whether:

- a. Any portion of the property on which the regulated activity is proposed is located within 500 feet of the boundary of an adjoining municipality.
- b. Traffic attributable to the completed project on the site will use streets within the adjoining municipality to enter or exit the site.
- c. Sewer or water drainage from the project site will flow through and affect the sewage or drainage system within the adjoining municipality or
- d. Water runoff from the improved site will affect streets or other municipal or private property within the adjoining municipality.
- e. Documentation that notice of the pending application was provided to the adjacent municipality (certified mail, return receipt requested) on the same day of filing an inland wetland permit application with the Town of Simsbury.
- f. The property is subject to a conservation restriction or preservation restriction, and, if so, what party or parties are holders thereof or intended to be benefitted thereby.

ALL INFORMATION MUST BE COMPLETED TO THE EXTENT INDICATED BY THE COMMISSION BEFORE ANY ACTION IS TAKEN ON THE PERMIT APPLICATION. INCOMPLETE APPLICATIONS WILL BE DENIED. ADDITIONAL INFORMATION MAY BE REQUIRED BY THE COMMISSION.

THE APPLICANT AND/OR AUTHORIZED AGENT SHOULD ATTEND THE CONSERVATION COMMISSION/INLAND WETLANDS & WATERCOURSES AGENCY MEETING IN ORDER FOR A DECISION TO BE RENDERED. IF APPLICANT OR AGENT DOES NOT ATTEND, AND QUESTIONS ARISE, DECISION ON APPLICATION MAY BE DEFERRED OR DENIED.

58 Great Pond Road – MAP AMMENDMENT

Simsbury CT 06070

Inlands Wetlands Permit Application – supplemental questions

- 1) The names and addresses of all abutting property owners within 100 feet of all property lines is noted below and referenced on the attached map titled “Abutting Property Owners”

- 66 Great Pond Road

Owner

ODONNELL BRIAN AND
ANN M

Location

66 GREAT POND ROAD

MAILING ADDRESS

84 HOLCOMB STREET
SIMSBURY CT 06070

- 56 Great Pond Road

Owner

ODONNELL ANN M

Location

56 GREAT POND ROAD

MAILING ADDRESS

84 HOLCOMB STREET
SIMSBURY CT 06070

- 75 Great Pond Road

Owner

MCLEAN AFFILIATES INC

Location

75 GREAT POND ROAD

MAILING ADDRESS

75 GREAT POND ROAD
SIMSBURY CT 06070

- 59 Great Pond Road

Owner
MOREHOUSE DOUGLAS A
AND

Location
59 GREAT POND ROAD

MAILING ADDRESS
59 GREAT POND ROAD
SIMSBURY CT 06070

- 55 Great Pond Road

Owner
MICHAUD TARYN A AND
EDMOND G JR

Location
55 GREAT POND ROAD

MAILING ADDRESS
55 GREAT POND ROAD
SIMSBURY CT 06070

- 2) The site is not within the regulated area and there are no wetlands/watercourses involved. Existing Soil conditions and are noted in the site plan provided with additional detail in report from JAMES SIPPERLY, CERTIFIED SOIL SCIENTIST, CONNECTICUT WETLAND SCIENTIST
- 3) Wetlands soils not present, no mottling of soils observed.
- 4) There will be no immediate impact on the wetlands and watercourses since there are no wetlands present and the proposed work is not within the 100 foot regulated area.
- 5) The construction activities proposed include the construction of a new construction single family home. There will be no impact since it is not within a wetland and or regulated area.
- 6) The construction activities proposed will also have no long term or permanent impact of the activity(ies) on environmental aspects.
- 7) Though not within the regulated area, sedimentation and erosion control measures will be used. Silt Fence will be installed along the perimeter of the property as shown on the site plan included with this application. An anti-tracking pad will also be installed.
- 8) The proposed Site Plan is the best option in the development of the property since the construction of the home and grading is not within the regulated area.
- 9) The proposed construction is estimated at \$150/ft² (\$360,000) with an anticipated completion date of June 2024.
- 10) Wetlands report is attached and included with this application

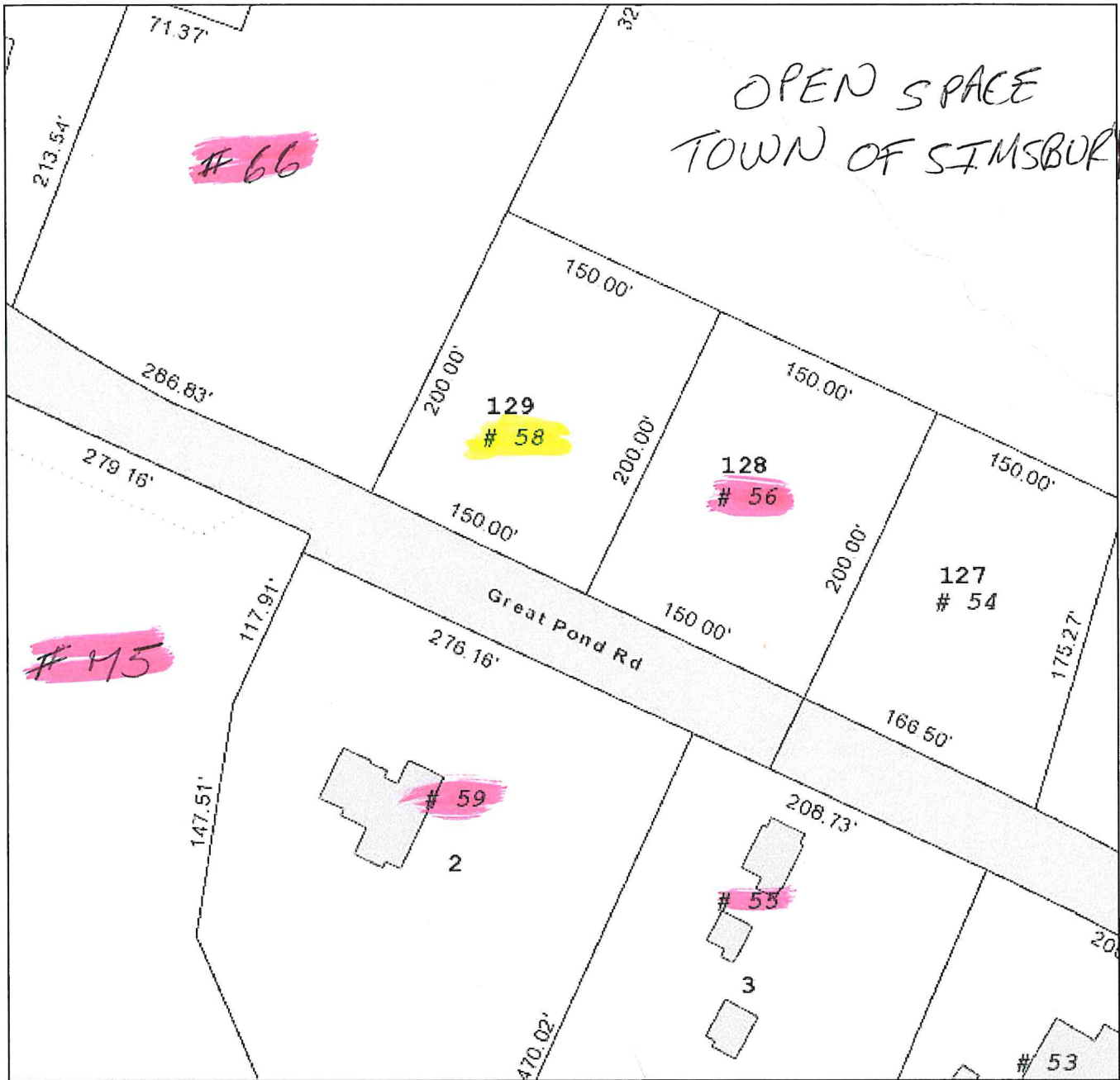
Town of Simsbury

Geographic Information System (GIS)



Abutting Property Owners

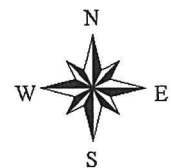
Date Printed: 3/20/2023



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Simsbury and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 100 feet



[EXT]:Fwd: 58 Great Pond Road

Stephen Zappone <zappones@yahoo.com>

Mon 3/20/2023 4:29 PM

To: Print & Marketing Services 281 <print.marketing0281@Staples.com>

📎 1 attachments (196 KB)

Simsbury CT inland_wetlands_permit_application_2020_fillable.pdf;

Sent from my iPhone

Begin forwarded message:

From: "Barnett, Kris" <kbarnett@bhhsne.com>
Date: March 20, 2023 at 3:40:57 PM EDT
To: Stephen Zappone <zappones@yahoo.com>
Subject: Fw: 58 Great Pond Road

See below and attached.

KRis

KRIS BARNETT
REALTOR

860-424-6648
kbarnett@bhhsne.com
www.kbarnett.bhhsneproperties.com
920 Hopmeadow Street
Simsbury, CT 06070
LICENSED IN CT AND MA

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From: Ann ODonnell <annno@snet.net>
Sent: Monday, March 20, 2023 3:37 PM
To: Barnett, Kris <kbarnett@bhhsne.com>
Subject: Re: 58 Great Pond Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I, the owner, have no issues or concerns with Stephen Zappone taking the property (58 Great Pond Road, Simsbury) through the "Map Amendment" process.

Ann M ODonnell 860-658-2120

On Mar 20, 2023, at 12:22 PM, Barnett, Kris <kbarnett@bhhsne.com> wrote:

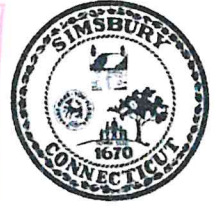
<Simsbury CT inland_wetlands_permit_application_2020_fillable.pdf>

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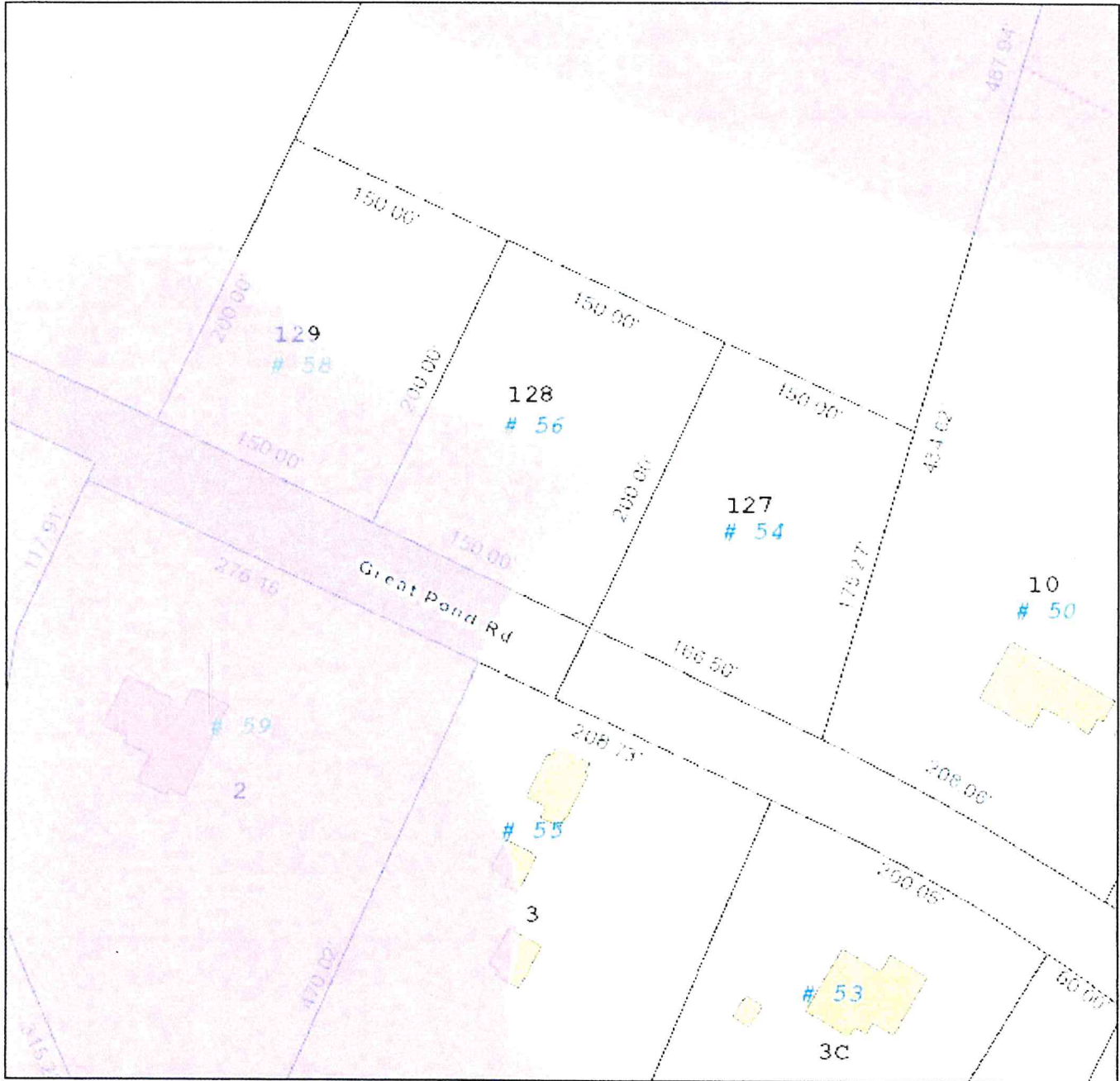
WIRE FRAUD ADVISORY: Never trust wiring instructions sent via email. Cyber criminals can hack email accounts and send emails with fake wiring instructions. Always independently confirm wiring instructions in person or via a telephone call to a trusted and verified phone number, not a phone number contained in the e-mail. Never wire money without double-checking that the wiring instructions are correct.

Town of Simsbury

Geographic Information System (GIS)



Date Printed: 2/6/2023



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Approximate Scale: 1 inch = 100 feet

