



Town of Simsbury

Office of Community Planning and Development - Inland Wetlands Permit Application

DATE: 1-12-2024 FEE: \$ _____ CK #: _____ APP #: _____

PROPERTY ADDRESS: 85-95 Firetown Road, Simsbury, CT (Tax Map # E08-148-001)

NAME OF APPLICANT: Same as owner

MAILING ADDRESS: _____

EMAIL ADDRESS: _____ TELEPHONE # _____

NAME OF OWNER: Rodrigo Clement c/o Hopmeadow Country Club

MAILING ADDRESS: 85 Firetown Road, Simsbury, CT 06070

EMAIL ADDRESS: rclement@hopmeadowcc.net TELEPHONE # 860-217-9546

NOTE: ATTACH A WRITTEN LETTER OF AGENCY, DULY ACKNOWLEDGED, TO ACT FOR THE OWNER, INCLUDING THE ABILITY TO CARRY OUT ACTIVITIES SET FORTH HEREIN.

DESCRIBE THE REGULATED ACTIVITIES REQUIRED FOR THIS APPLICATION AS IT RELATES TO "REGULATED ACTIVITIES" AS DEFINED IN SECTION 6 OF THE SIMSBURY INLAND WETLANDS REGULATIONS, SUCH AS: A) Remove material from; B) Deposit material in or discharge to; C) Construct on; D) Obstruct; E) Alter; F) Pollute; G)

Otherwise adversely affect regulated area

Remove two existing paddleboard courts and repave in kind. One to be relocated in same location, one moved 8' south of existing to allow for a larger deck

and warming hut which will allow for compliance for handicap access to both courts and hut (which currently is not accessible). Project includes removal and resetting of existing utilities including lighting, extension of water and sewer lines to hut, replacement of very old gas line, erosion control and removal of portions of existing cart path to reduce impervious surface. Project will disturb 0.4+/-ac of Upland Review Area which has been previously disturbed.

CERTIFICATIONS AND PERMISSIONS:

As owner, I hereby give permission to the Town of Simsbury's Conservation Commission Inland Wetlands Watercourses Agency, their Agents, or Town Staff to enter upon my land to make observations and tests as may be necessary to evaluate this application and ongoing work, subject to twenty-four hours notice of such entry/testing.

I hereby certify that all statements herein are true to the best of my knowledge, whether made by me or my agents. Any permit issued shall be contingent upon field conditions and activities being substantiated as indicated herein. A changed situation shall require reconsideration of the permit by the Commission upon discovery by either party.

I certify that I have the authority to sign this application.

01-10-24

Signature of Owner

Date

Signature and Title of Applicant

Date

Telephone (860) 658-3245
Facsimile (860) 658-3206

www.simsbury-ct.gov

933 Hopmeadow Street
Simsbury, CT 06070

LADA, P.C.

Land Planners

Land Development Consulting, Site Planning, Landscape Architects, Planners, Corridor Studies, Visual Assessment, Environmental Impact Statements, Erosion Control Specialists, Streetscapes, Recreation, and Master Planning

January 12, 2024

Ms. Margery C. B. Winters, Chair
Town of Simsbury Conservation Commission and Inland Wetland and Watercourses Agency
933 Hopmeadow Street
Simsbury, CT 06070

RE: Hopmeadow Country Club
Simsbury, CT

Dear Ms. Winters

Hopmeadow Country Club (HCC) was established in 1961 and has a wide variety of buildings, shed, courts and golf facilities throughout its 221+ acre property. They have filed a number of recent applications in their on-going efforts to maintain the physical features and economic vitality of the country club for the next sixty years. Recent applications have included new deck and patio (2018); renovations to the existing pond (2023), and a variety of on-going maintenance on the buildings and grounds. These applications are part of a long term commitment to the property and facilities that are being completed as the monies become available and the membership approves.

The current application is to replace the existing paddleball courts (paddle courts). The paddle courts are located west of the main building and tennis courts. Paddleball is played in the winter, between October - March, when the tennis courts are closed for the season. Paddle courts are elevated platforms that drain to the soil below with raised fencing on a framework to keep balls from leaving the court. HCC has two existing paddle courts that were first installed in the 1970's and redone in their current configuration in the 1980's. The courts are currently in need of repair and updating. The paddle area consist of two courts, stairs, a deck connecting the courts, a warming hut, a fire pit, storage building and several small storage bins. The current deck and warming hut are too small for the number of members and the storage needs to be reconfigured to under the courts. Most important, the deck and courts do not currently meet ADA requirements for access.

To the west of the paddle courts is Grimes Brook, which traverses the property from the northeast corner, past the paddle courts and travels south through the golf course. The wetlands were recently flagged for the brook and the entire property in November 2023 by Davison Environmental, LLC. The new wetland limits are shown on the plans. In the vicinity of the paddle courts, the stream has minimal associated wetlands and the stream bank and adjacent areas are mowed grass. There is an existing paved cart path and underground utilities which run mostly parallel to the stream between 10-15' + from the wetland edge. The existing paddle courts are located within the 100' Upland Review Area.

The proposed project includes the following activities within the Upland Review Area:

1. Staging Area during construction on existing paved parking area
2. Remove and Replace existing Court 1(north) in current location
3. Extend deck and expand warming hut to allow ADA access including addition of a ramp
4. Move Court 2 (south) 8' south to accommodate ADA access- this actually moves the court back from wetland by 2+/- feet at closest point.
5. All storage and utilities to be below decking
6. Extend water and sewer to hut for interior bathroom
7. Replace gas service in this area
8. Reduce cart path and eliminate 964+/- sf of impervious surface within the Upland Review Area

The project defines the project contract limit line or overall work area as approximately 0.71+/- acres in size with 0.4+/- acres within the Upland Review Area. The actual area of disturbance is less than that- 0.41+/- acres with 0.27+/- acres in the Upland Review Area. Actual disturbance is limited to new footings for the deck, Court 2, ramp and stairs and below grade utilities (gas line replacement and water and sewer line extensions). New topsoil and grass will be installed where the cart path is being removed.

All disturbed areas are on land which is currently being used and previously disturbed. No new undisturbed land is part of the project. No wetland disturbance is proposed.

A digital copy and two paper copies of the following are attached:

1. Cover letter
2. Application for Wetland Permit
3. Site Plan (7 sheets) dated January 12, 2024
4. Photo Sheets
5. Plan set for Standard All-Aluminum Platform Tennis Court (5 sheets)

We look forward to your review and hope to have the application received on January 16, 2024.

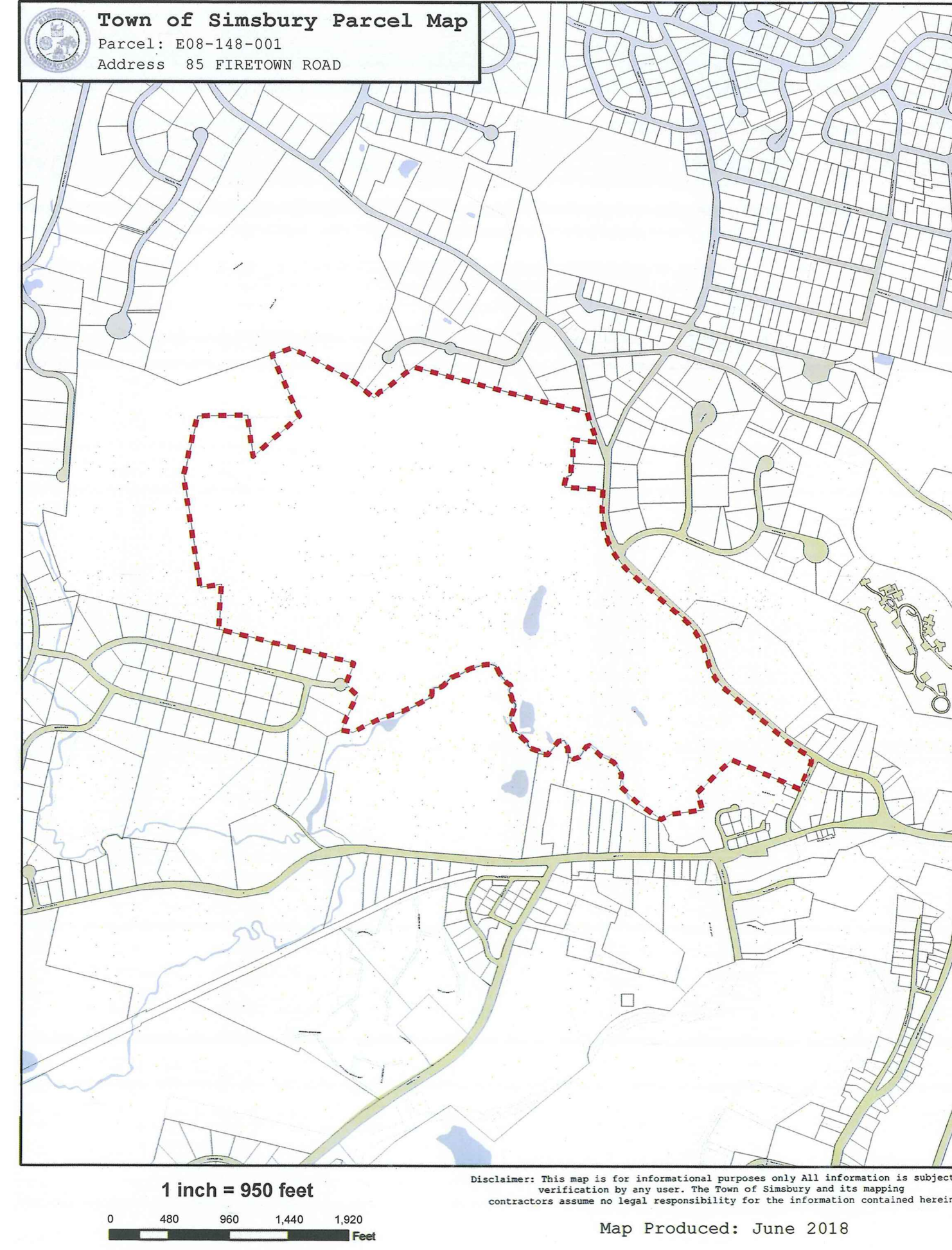
Please let me know if you have questions.

Sincerely,



Terri Hahn, PLA
Principal

c. HCC



Drawing List

Sheet Number	Sheet Title
L-1	Cover
L-2	Existing Conditions
L-3	Demolition Plan
L-4	Staging & Erosion Control Plan
L-5	Grading Plan
L-6	Layout & Materials Plan
L-7	Details
C-1	Utility Plan

SITE DATA TABLE

SITE:	HOP MEADOW COUNTRY CLUB 85 FIRETOWN ROAD
SITE SIZE:	222± ACRES
ZONE:	R-40
EXISTING USE:	GOLF COURSE/COUNTRY CLUB
PROPOSED PROJECT:	REPLACE EXISTING PADDLE BALL COURTS, ADA COMPLIANT DECK & RAMPS, LARGER WARMING HUT
OVERALL WORK AREA:	30,943± SF (0.71± ACRES)
WORK AREA WITHIN UPLAND REVIEW AREA:	19,380± SF (0.44± ACRES)
OVERALL AREA OF DISTURBANCE:	17,891± SF (0.41± ACRES)
AREA OF UPLAND REVIEW AREA DISTURBANCE:	11,569± SF (0.27± ACRES)
EXISTING AREA OF IMPERVIOUS SURFACE WITHIN CONTRACT LIMIT LINE:	12,559± SF (0.29± ACRES)
PROPOSED AREA OF IMPERVIOUS SURFACE WITHIN CONTRACT LIMIT LINE:	11,594± SF (0.27± ACRES)

LOCATION PLAN
SCALE: 1"=500'

TAX MAP
SCALE: AS NOTED ON DRAWING

GENERAL NOTES:

- ALL WORK IN PUBLIC STREETS TO MEET THE STANDARDS OF THE STATE OF CONNECTICUT D.O.T. AND OR TOWN OF SIMSBURY, WHICHEVER SHALL APPLY
- CONTRACT LIMIT LINE IS COINCIDENT WITH THE PROPERTY LINE OR AS OTHERWISE SHOWN ON SITE OR EXTENDED AS REQUIRED TO CONNECT TO UTILITIES OR OTHER IMPROVEMENTS SHOWN OFF SITE.
- ALL DISTURBED AREAS NOT OTHERWISE IMPROVED SHALL BE COVERED WITH TOPSOIL AND SEEDED TO FINISHED LAWN.
- THE CONTRACTOR SHALL INSTALL A CONSTRUCTION FENCE ALONG THE ENTIRE CONTRACT LIMIT LINE (C.L.L.) TO DEFINE THE EXTENT OF WORK AND TO PROTECT AREA OUTSIDE C.L.L.
- AERIAL PHOTO FROM STATE OF CONNECTICUT CTECO WEBSITE.
- SURVEY BY DENNO LAND SURVEYING & CONSULTING, LLC, DATED 12-20-22.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE WORK LIMITS DUE TO CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BLEND PROPOSED GRADES SMOOTHLY WITH EXISTING GRADES AND IMPROVEMENTS AT LIMITS OF WORK.
- TOPSOIL SHALL BE INSTALLED TO A MINIMUM DEPTH OF 6" AND SEEDED ON ALL DISTURBED AREAS NOT DESIGNATED TO BE SURFACED OTHERWISE.
- CONTRACTOR TO REMOVE ANY DEBRIS AND EXCESS MATERIAL OFFSITE.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT SIZE, LOCATION, DEPTH AND INVERT OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO COMMENCING HIS OPERATIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS AND CIVIL ENGINEER FOR RESOLUTION.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATION.
- ALL WALKS HAVE 1/4" PER FOOT CROSS PITCH UNLESS OTHERWISE SHOWN.
- ALL UTILITIES TO BE UNDERGROUND.
- CONTRACTOR TO HOLD A PRECONSTRUCTION MEETING WITH TOWN ENGINEER PRIOR TO START OF CONSTRUCTION TO DISCUSS EROSION CONTROL & CONSTRUCTION SEQUENCE.
- THESE PLANS INCLUDE SITE IMPROVEMENTS AND UTILITIES ALREADY CONSTRUCTED. CONTRACTOR IS RESPONSIBLE FOR DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS AND SHOULD NOTIFY OWNER, THE LANDSCAPE ARCHITECT AND ENGINEER IF ANY DISCREPANCY IS IDENTIFIED.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SILTY WATER LEAVES THE CONSTRUCTION AREA, EXCEPT TO TEMPORARY SEDIMENT TRAPS. CONTRACTOR MUST COMPLETELY CLEAN OUT (REMOVE ALL SEDIMENT AND FLUSH OUT) FROM CATCH BASINS, PIPES, INLET AND OUTLET STRUCTURES, ETC. FROM CONSTRUCTION SITE TO DISCHARGE POINT BEFORE LEAVING SITE.
- THIS SITE IS MONITORED FOR SILT AT ALL TIMES. RELEASE OF SILTY WATER FROM CONSTRUCTION AREAS WILL HAVE SIGNIFICANT IMPACTS INCLUDING THE POSSIBILITY OF FINES, CONTINGENCY MEASURES, AND VIOLATION OF PERMITS. CONTRACTOR IS RESPONSIBLE FOR ALL CONSEQUENCES DUE TO DISCHARGE OF SILTY WATER OR OTHER SUBSTANCES.

GENERAL NOTES

- THE ENTIRE AREA AROUND THE CONSTRUCTION SITE IS DEVELOPED, CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE THE IMPACT OF BOTH EXPECTED AND UNEXPECTED, POTENTIALLY DAMAGING, OR OTHER UNUSUAL WEATHER CONDITIONS. CLEAN UP IS THE RESPONSIBILITY OF THE CONTRACTOR. ANTICIPATION OF STORMS WILL REDUCE CLEANUP EFFORTS. ADDITIONAL HAYBALES, SILT FENCE, COCOLOGS, AND EROSION BLANKET SHALL BE MAINTAINED ON-SITE TO RESPOND TO UPCOMING WEATHER AT THE CONTRACTOR'S EXPENSE.
- FINAL SLOPES MUST RECEIVE PERMANENT COVER WITHIN 48 HOURS. IF COVER TAKES LONGER THAN 1 DAY TO INSTALL, EXPOSED SOIL SHALL BE COVERED WITH TACIFIER VIA HYDROSEEDER. REAPPY IF ANY AREAS ARE THEN DISTURBED.
- WHERE PERMANENT COVER IS GRASS, SEED, MULCH AND USE SEED MIX AS PROVIDED BY OWNER.
- CONTRACTOR TO REMOVE ANY DEBRIS AND EXCESS MATERIAL OFFSITE. PROJECT IS SUBJECT TO APPROVALS FROM THE TOWN, AND IS SUBJECT TO INSPECTIONS THROUGHOUT CONSTRUCTION. PROJECT LANDSCAPE ARCHITECT AND ENGINEER TO REVIEW EROSION CONTROL THROUGHOUT CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO CALL BEFORE YOU DIG (1-800-922-4455) CONTRACTOR RESPONSIBLE TO PROTECT EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR TOUCH UP (TOPSOIL, RAKING, SEED & MULCH) ANY AREAS WHERE EROSION OCCURS UNTIL THE LANDSCAPE ARCHITECT RECOMMENDS FINAL OWNER ACCEPTANCE.
- WHERE SLOPES ARE LABELED: 3:1 SLOPE = HORIZONTAL : VERTICAL
- CONCRETE WASHOUT TO BE DONE ONLY AT LOCATION PROVIDED BY OWNER.
- SUBSTITUTIONS MUST BE APPROVED BY PROJECT LANDSCAPE ARCHITECT.

**PRIOR TO START OF CONSTRUCTION
CALL 1-800-922-4455 BEFORE YOU DIG!**

Owner: Hopmeadow Country Club
85 Firetown Road
Simsbury, CT 06070

Applicant: Same as Owner

Date	Description	No.
Revisions		

Cover
Paddle Ball Courts at Hop Meadow Country Club
 85 Firetown Rd.
 Simsbury, CT

Project: 2408
Scale: As Shown
Date: 01/12/24
Drawn by: LADA
Checked by: TH
Drawing No.

L-1



Existing Parking Lot / View To North



Paddle Court 1



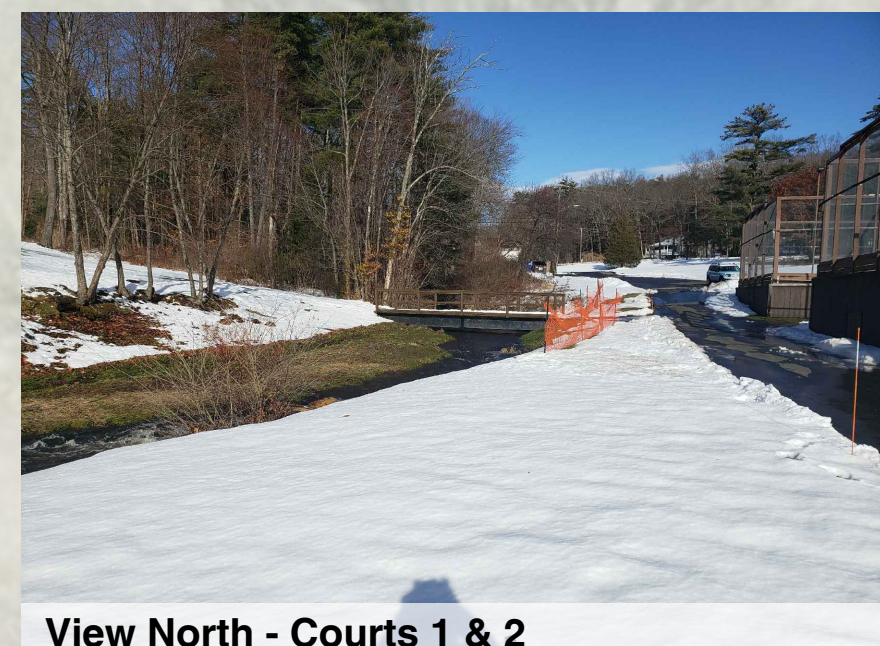
Existing Grass Wetland & Stream Looking North



Existing Stream Crossing



Existing Grass Wetland & Stream Looking South



View North - Courts 1 & 2



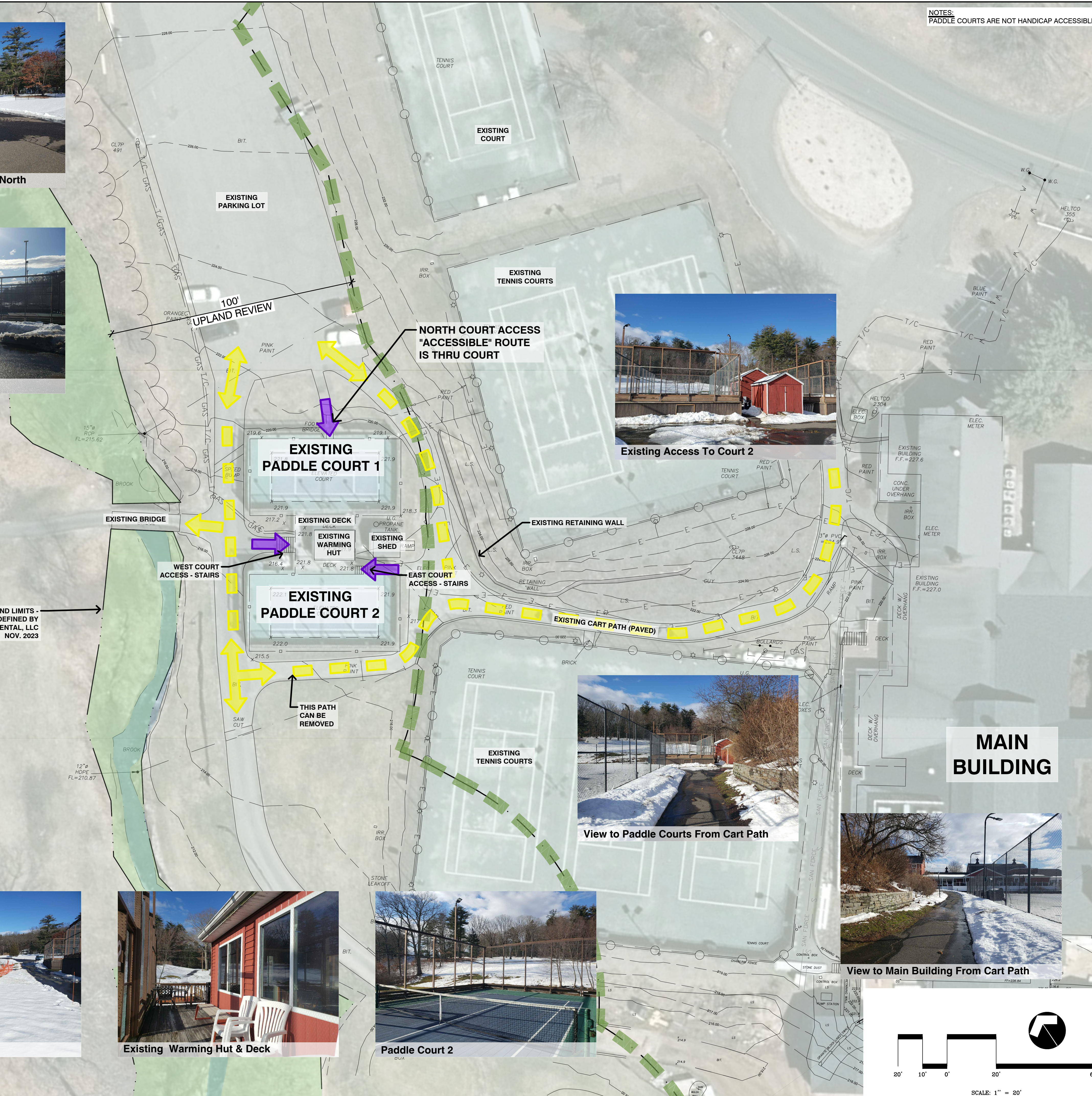
Existing Warming Hut & Deck



Paddle Court 2

**PRIOR TO START OF CONSTRUCTION
CALL 1-800-922-4455 BEFORE YOU DIG!**

O:\CIP\92428 Hop Meadow CC Paddle Courts.dwg 11.2024



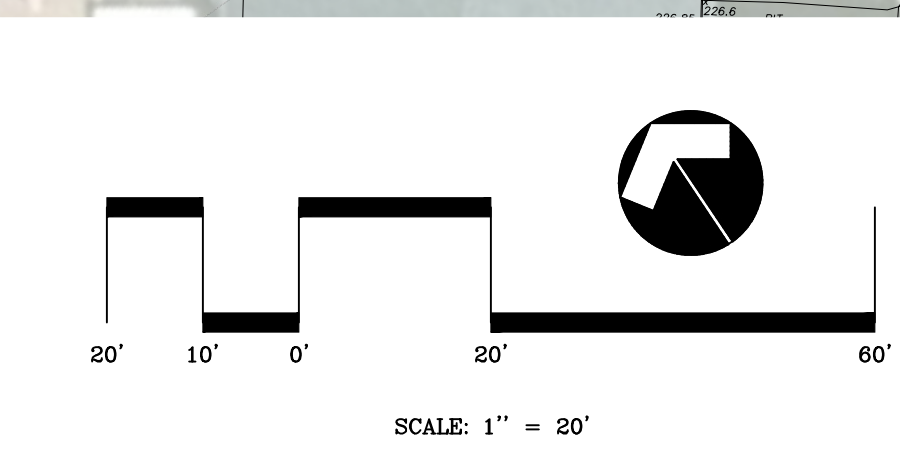
Existing Access To Court 2



View to Paddle Courts From Cart Path



View to Main Building From Cart Path



NOTES:
PADDLE COURTS ARE NOT HANDICAP ACCESSIBLE

LADA, P.C.
Land Planners
134 West Street
Simsbury, CT 06070 (860) 691-4971
2000 Route 22, Suite 100
Branford, CT 06408 (860) 278-7404

RUSSO
SURVEYING & ENGINEERING
36 Russo & Associates, LLC
100 North Main Street
Simsbury, CT 06070 (860) 691-4971

Owner: Hop Meadow Country Club
85 Firetown Road
Simsbury, CT 06070

Applicant: Same as Owner

Date	Description	No.

Existing Conditions
Paddle Ball Courts at Hop Meadow Country Club
85 Firetown Rd.
Simsbury, CT

Project: 2408
Scale: 1" = 20'
Date: 01/12/24
Drawn by: DFM
Checked by: TPH
Drawing No.

L-2

**PRIOR TO START OF CONSTRUCTION
CALL 1-800-922-4455 BEFORE YOU DIG!**

LEGEND

- CONTRACT LIMIT LINE
- ||||||| REMOVE CURB
- X REMOVE TREE / VEGETATION
- REMOVE PAVEMENT OR STRUCTURE
- x - CONSTRUCTION FENCE

NOTES:

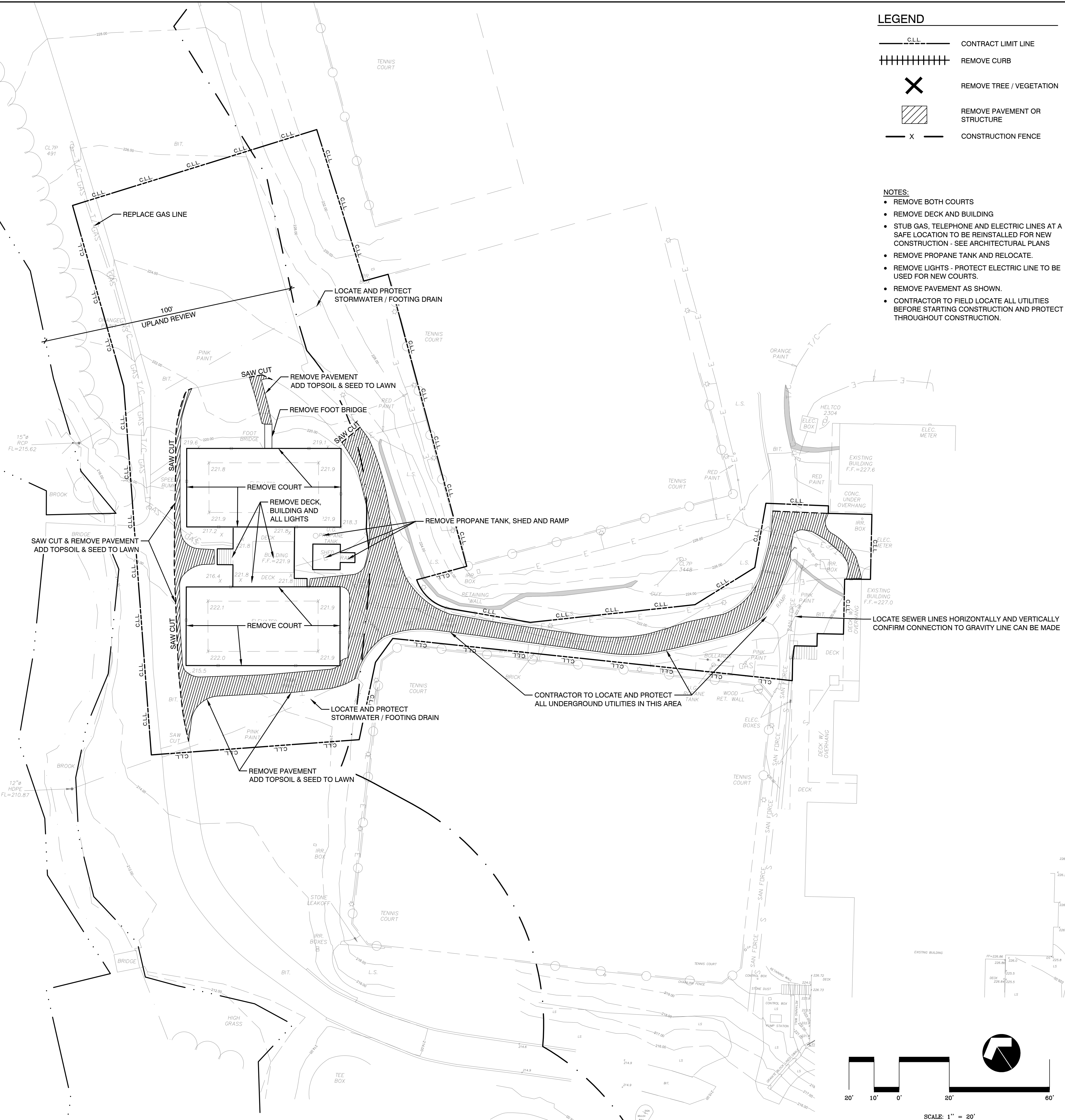
- REMOVE BOTH COURTS
- REMOVE DECK AND BUILDING
- STUB GAS, TELEPHONE AND ELECTRIC LINES AT A SAFE LOCATION TO BE REINSTALLED FOR NEW CONSTRUCTION - SEE ARCHITECTURAL PLANS
- REMOVE PROPANE TANK AND RELOCATE.
- REMOVE LIGHTS - PROTECT ELECTRIC LINE TO BE USED FOR NEW COURTS.
- REMOVE PAVEMENT AS SHOWN.
- CONTRACTOR TO FIELD LOCATE ALL UTILITIES BEFORE STARTING CONSTRUCTION AND PROTECT THROUGHOUT CONSTRUCTION.

LADA, P.C.
Land Planners
154 Wood Street
Simsbury, CT 06070 860-661-4971
2000 Route 22 South Old
Bromwich, NY 10509 845-278-7404

RUSSO
CONSTRUCTION SERVICES
SINCE 1985
318 Russ & Associates, LLC
CONSTRUCTION SERVICES
SINCE 1985
100 State Street, Suite 201
Simsbury, CT 06070

Owner: Hopmeadow Country Club
85 Firetown Road
Simsbury, CT 06070

Applicant: Same as Owner



Date	Description	No.

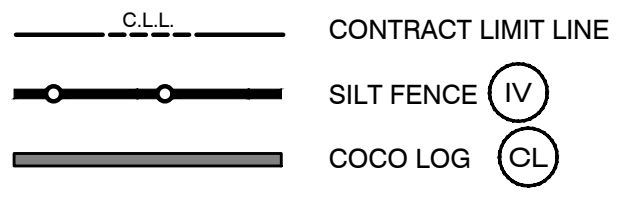
Revisions

Demolition Plan

Paddle Ball Courts at Hop Meadow Country Club
85 Firetown Rd.
Simsbury, CT

Project: 2408
Scale: 1" = 10'
Date: 01/12/24
Drawn by: DFM
Checked by: TPH
Drawing No. L-3

LEGEND



NOTES TO CONTRACTOR:

- Maintain existing grades and drainage flow under courts
Contractor to locate sanitary sewer line horizontally and vertically
All work on sewer lines subject to field inspections
Extend water line to new hut
Maintain erosion control measures in good condition throughout construction
Replace as needed
Remove silt buildup, if any, after every storm
Remove silt off-site

LADA, P.C. Land Planners

RUSSO CONSULTING ENGINEERS

Owner: Homeadow Country Club
Applicant: Same as Owner

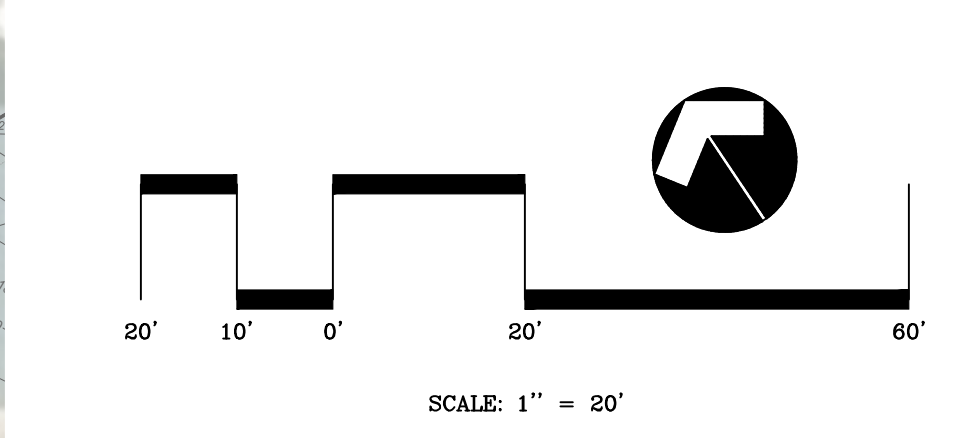
Table with 3 columns: Date, Description, No.

Staging & Erosion Control Plan
Paddle Ball Courts at Hop Meadow Country Club
85 Firetown Rd. Simsbury, CT

Project: 2408
Scale: 1" = 20'
Date: 01/12/24
Drawing No. L-4

O:\CT\PRJ\2408 Hop Meadow CC Paddle\DWG\2408 Staging & Erosion Control.dwg; 4 Staging & Erosion Control Plan\Mike\January 11, 2024

PRIOR TO START OF CONSTRUCTION CALL 1-800-922-4455 BEFORE YOU DIG!



- LEGEND**
- C.L.L. — CONTRACT LIMIT LINE
 - 322 — PROPOSED CONTOUR
 - - - 224.00 — EXISTING CONTOUR
 - X 217.50 — PROPOSED SPOT ELEVATION
 - ← — FLOW ARROW

LADA, P.C.
Land Planners
134 Wood Street
Simsbury, CT 06070 (860) 891-4971
2020 Route 22, Suite 100
Branford, VT 05833 (845) 276-7424

RUSO
SPECIALTY ENGINEERS
3R Russ & Associates, LLC
1140 North Main Street
Simsbury, CT 06070 (860) 891-4971

Owner: Hopmeadow Country Club
85 Firetown Road
Simsbury, CT 06070

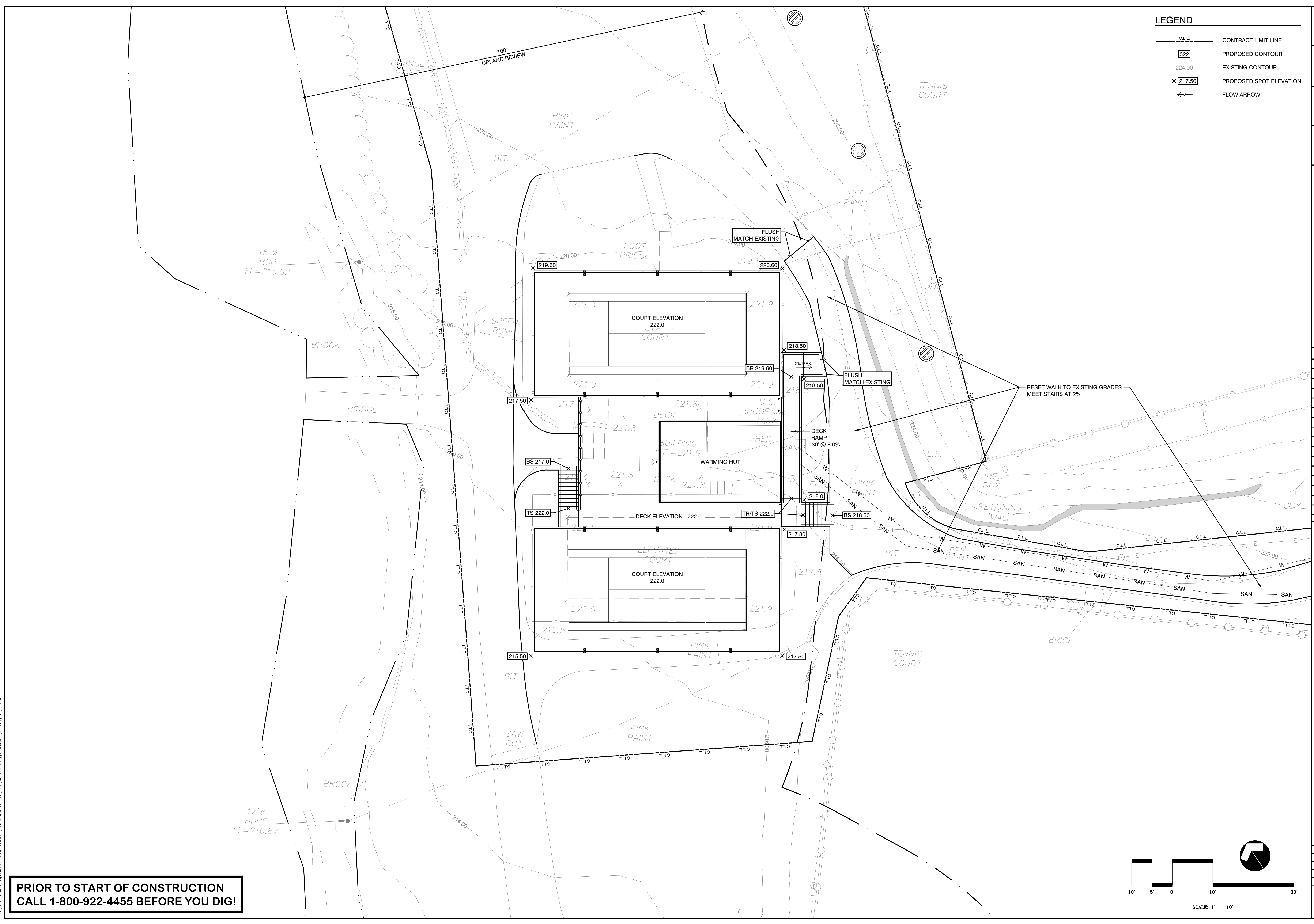
Applicant: Same as Owner

Date	Description	No.

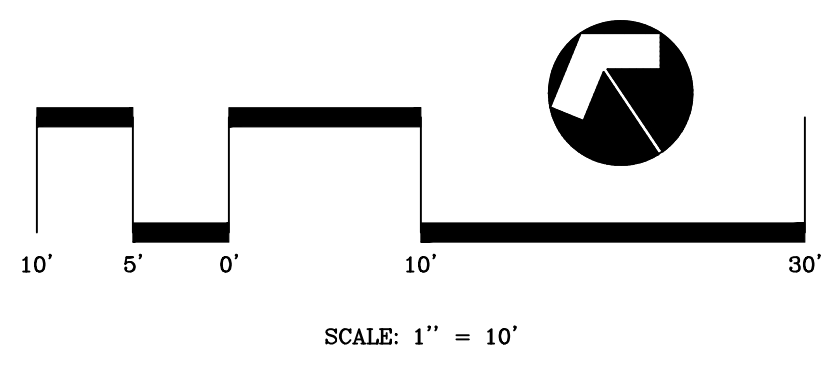
Revisions

Grading Plan
Paddle Ball Courts at Hop Meadow Country Club
85 Firetown Rd.
Simsbury, CT

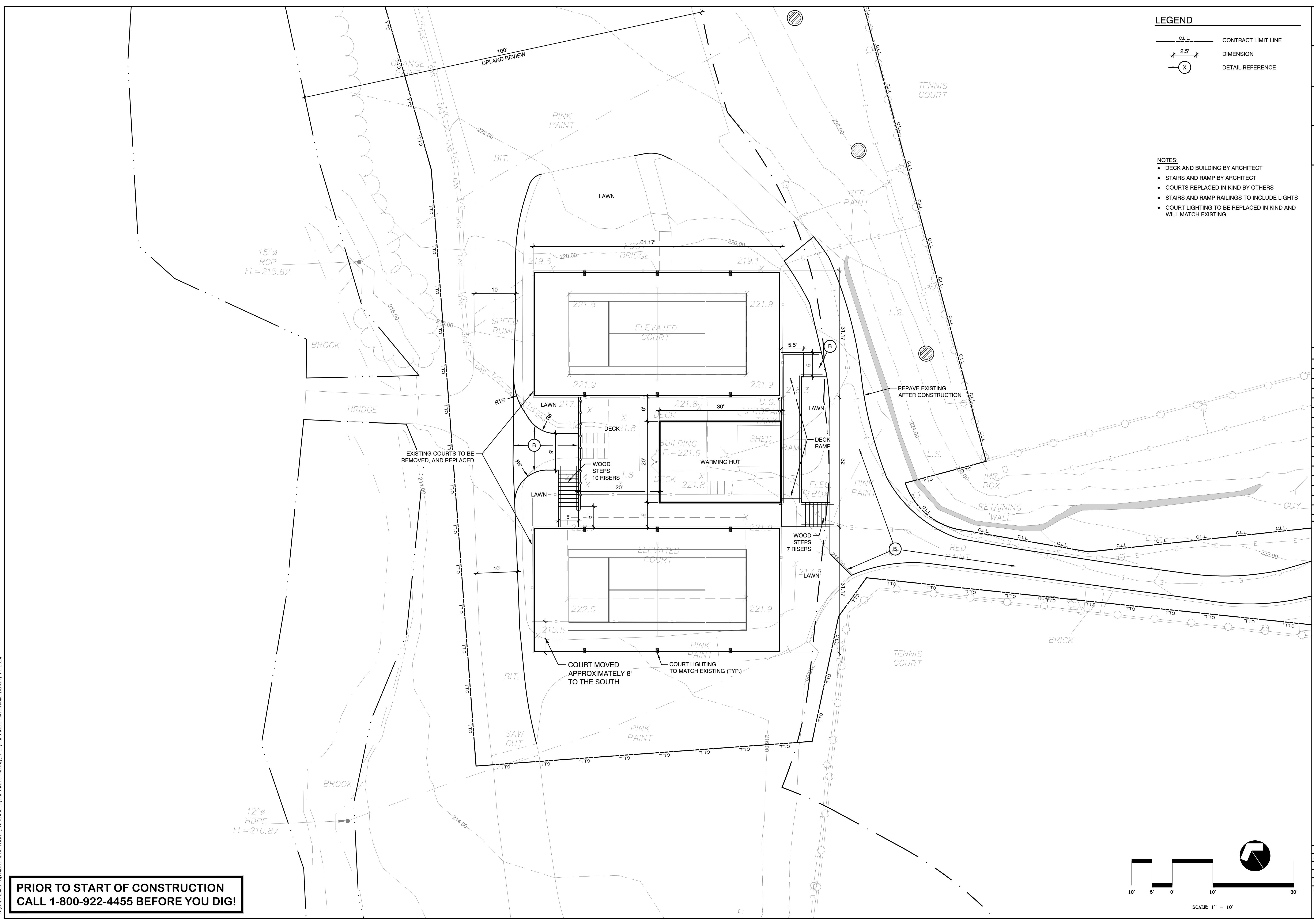
Project: 2408
Scale: 1" = 10'
Date: 01/12/24
Drawn by: DFM
Checked by: TPH
Drawing No. **L-5**



**PRIOR TO START OF CONSTRUCTION
CALL 1-800-922-4455 BEFORE YOU DIG!**



O:\CT\Proj\2408 Hop Meadow CC Paddle\DWG\2408 Grading.dwg; L-5 Grading Plan; 01/12/24



LEGEND

—●—	CONTRACT LIMIT LINE
✕	DIMENSION
⊗	DETAIL REFERENCE

- NOTES:**
- DECK AND BUILDING BY ARCHITECT
 - STAIRS AND RAMP BY ARCHITECT
 - COURTS REPLACED IN KIND BY OTHERS
 - STAIRS AND RAMP RAILINGS TO INCLUDE LIGHTS
 - COURT LIGHTING TO BE REPLACED IN KIND AND WILL MATCH EXISTING

LADA, P.C.
 Land Planners
 154 Wood Street
 Simsbury, CT 06070 860-891-4911
 2020 Route 22, Suite 100
 Simsbury, VT 05408 845-278-7404

RUSO
 CONSULTING ENGINEERS
 38 Russ & Associates, LLC
 1000 Main Street
 Simsbury, CT 06070 860-891-4911

Owner: Hop Meadow Country Club
 85 Firetown Rd
 Simsbury, CT 06070

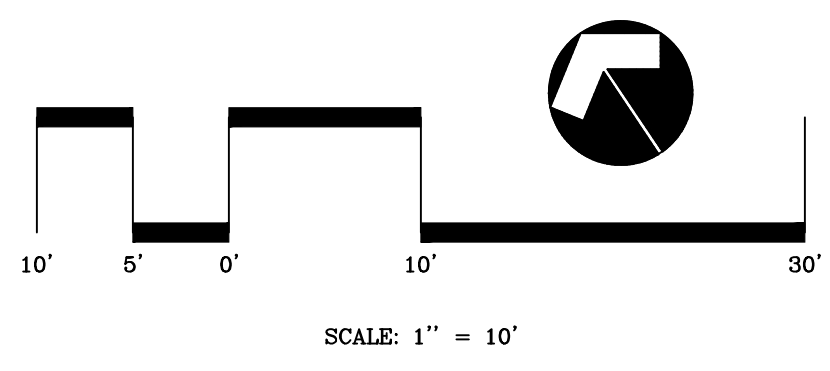
Applicant: Same as Owner

Date	Description	No.

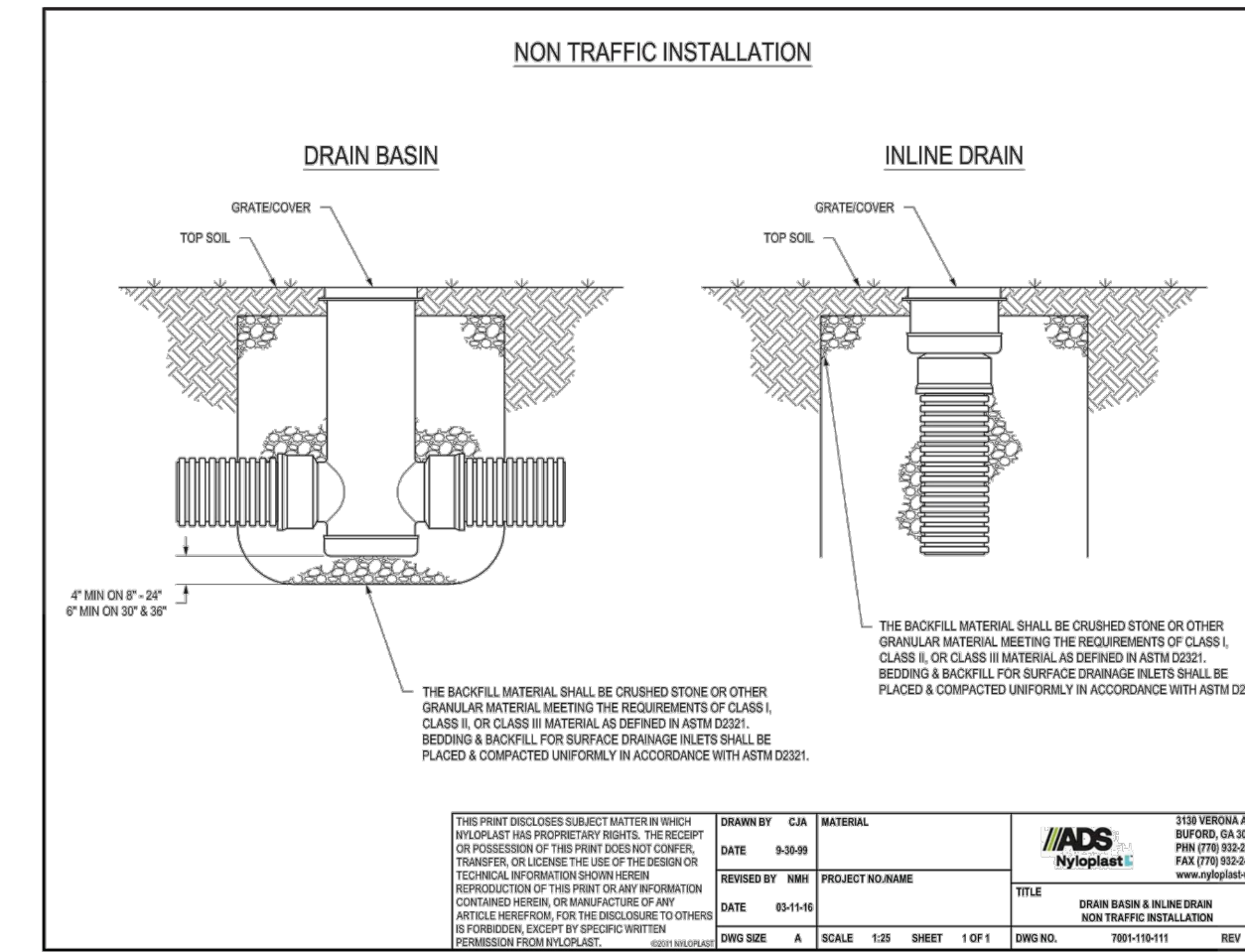
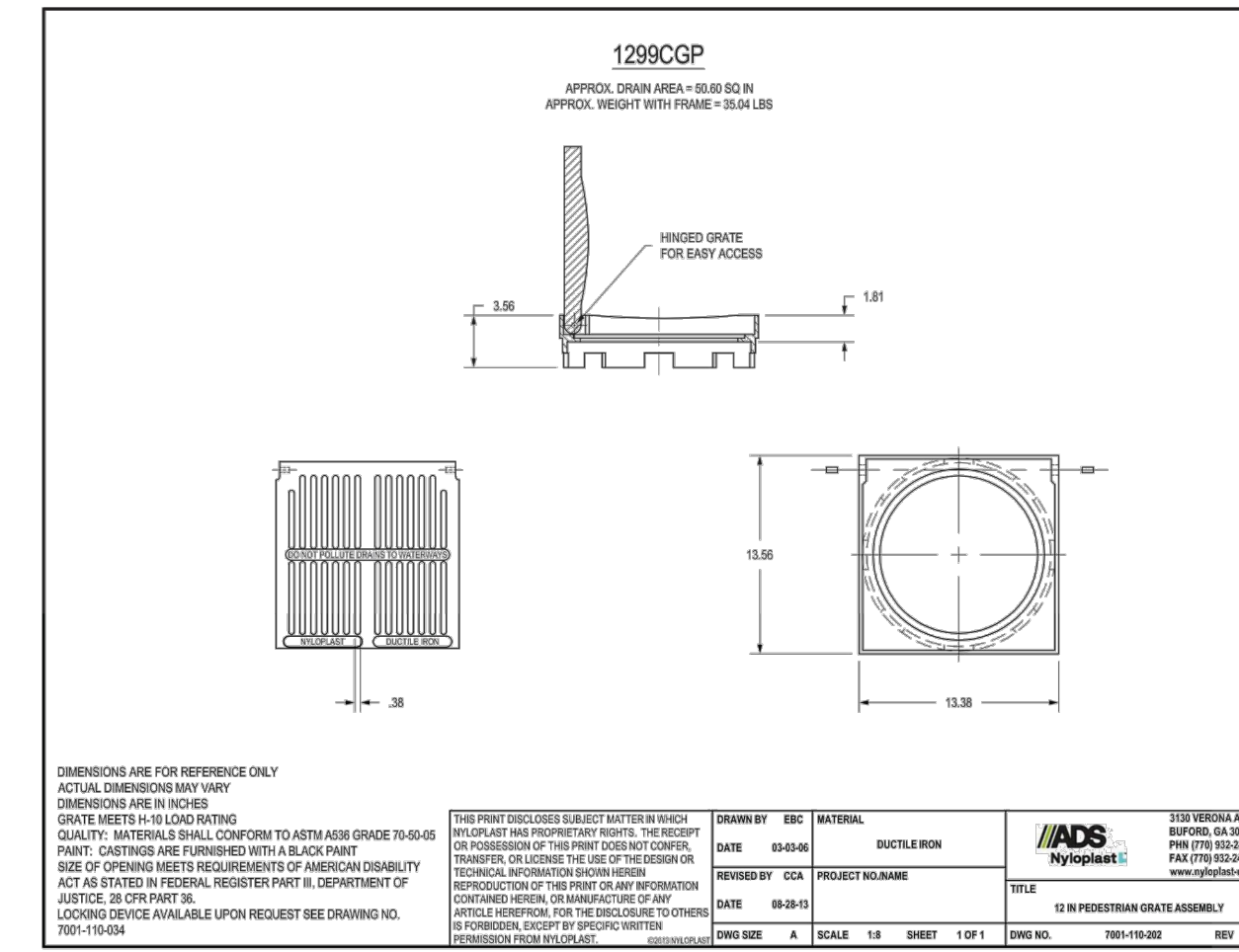
Layout & Materials Plan
Paddle Ball Courts at Hop Meadow Country Club
 85 Firetown Rd.
 Simsbury, CT

Project: 2408
 Scale: 1" = 10'
 Date: 01/12/24
 Drawn by: DFM
 Checked by: TPH
 Drawing No.

**PRIOR TO START OF CONSTRUCTION
 CALL 1-800-922-4455 BEFORE YOU DIG!**



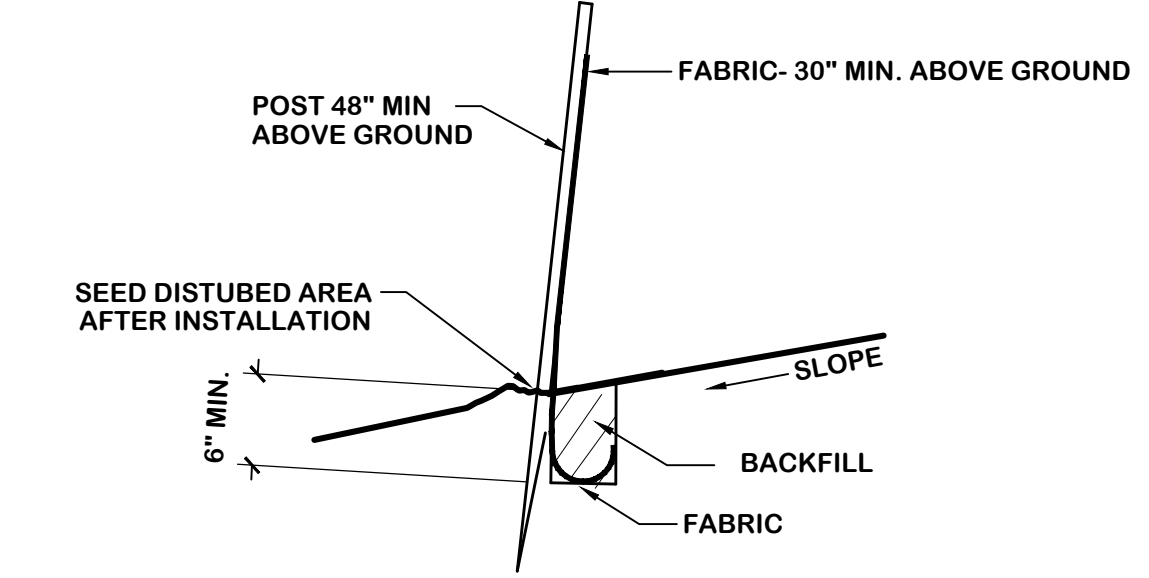
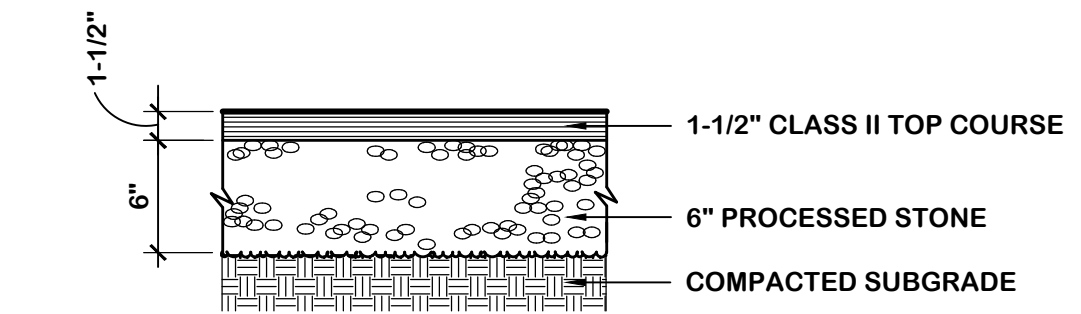
O:\CT\11\2408-Hop Meadow CC Paddle\DWG\2408-Layout & Materials.dwg L-6 Layout & Materials Plan (Mile) January 11, 2024



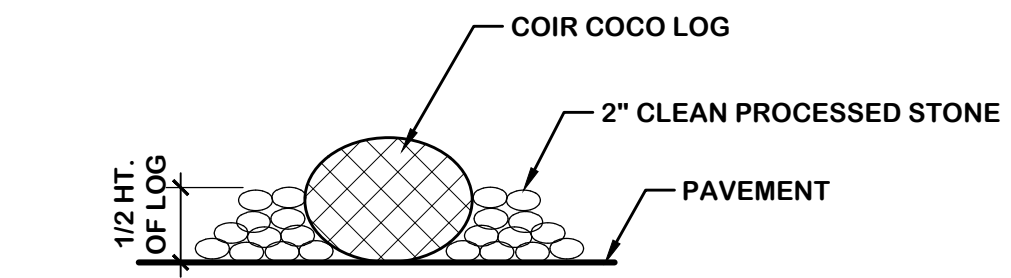
5 CATCH BASIN AND 12" PEDESTRIAN GRATE DETAIL
N.T.S.

NOTES:

- INSTALL IN GRASS AREA and Connect to existing pipe.
- USE STAINLESS STEEL GRATE THAT IS ADA COMPLIANT
- ALL JOINTS TO BE WATERTIGHT



- NOTES: SILT FENCE INSTALLATION:
1. USE 2" X 2" X 7' STAKES OF WOOD OR METAL SPACED 6' TO 10' APART.
 2. BURY FABRIC ON UPHILL SIDE 6" DEEP WITH FABRIC CURLED UPSLOPE.
 3. SECURE FABRIC TO EACH STAKE. FILTER FABRIC TO BE GEOFAB MATERIAL OR APPROVED EQUAL.
 4. ANGLE STAKES TOWARD WATER SOURCE.
 5. OVERLAP ENDS OF FABRIC TO PROHIBIT WATER FROM ESCAPING AROUND ENDS.



Owner: Homeadow Country Club
85 Firetown Road
Simsbury, CT 06070

Applicant: Same as Owner

Owner:

Applicant:

Date	Description	No.

Revisions		
Date	Description	No.

Details

Paddle Ball Courts at Hop Meadow Country Club
85 Firetown Rd.
Simsbury, CT

Project: 2408
Scale: As Shown
Date: 01/12/24
Drawn by: LADA
Checked by: TH
Drawing No.

L-7

O:\CT\1012408 Hop Meadow CC Paddle\DWG\2408 Detals.dwg, L7 Details, Mike, January 11, 2024

**PRIOR TO START OF CONSTRUCTION
CALL 1-800-922-4455 BEFORE YOU DIG!**

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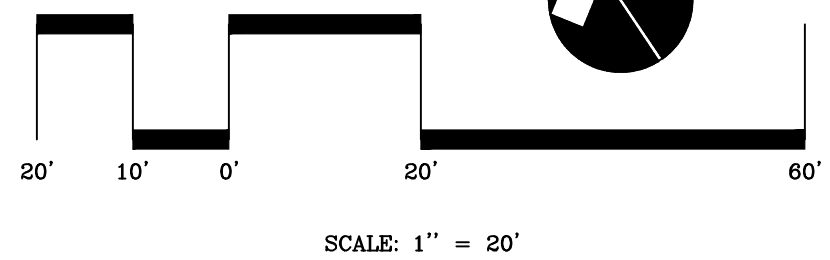
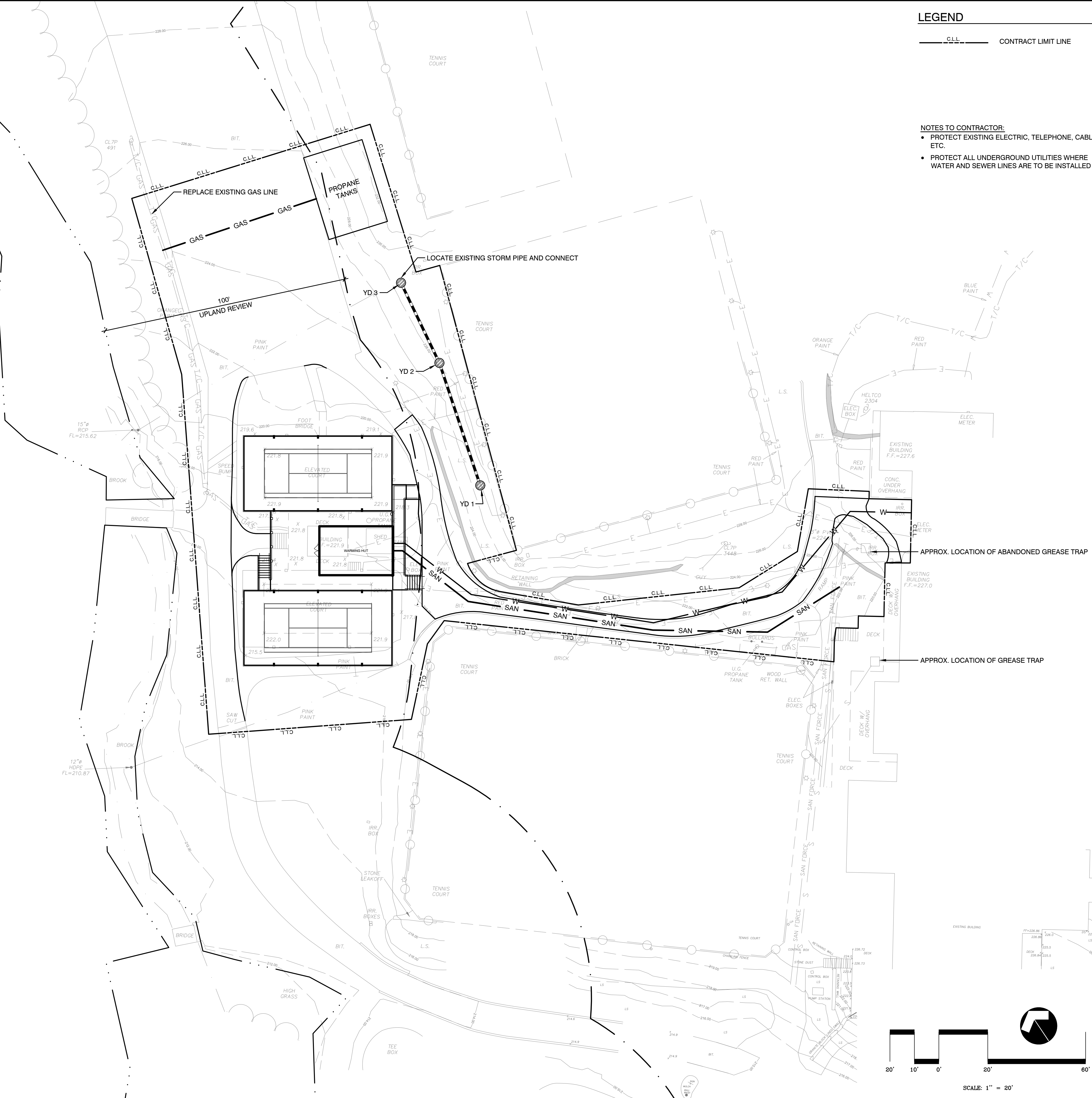
**PRIOR TO START OF CONSTRUCTION
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LEGEND

— CLL — CONTRACT LIMIT LINE

NOTES TO CONTRACTOR:

- PROTECT EXISTING ELECTRIC, TELEPHONE, CABLE ETC.
- PROTECT ALL UNDERGROUND UTILITIES WHERE WATER AND SEWER LINES ARE TO BE INSTALLED



Owner: Hopmeadow Country Club
85 Firetown Road
Simsbury, CT 06070

Applicant: Same as Owner

Date	Description	No.

Revisions

Utility Plan
Paddle Ball Courts at Hop Meadow Country Club
85 Firetown Rd.
Simsbury, CT

Project: 2408
Scale: 1" = 20'
Date: 01/12/24
Drawn by:
Checked by:
Drawing No.

C-1

TYPICAL COURT DRAWINGS FOR 6 LIGHT:

STANDARD ALL-ALUMINUM PLATFORM TENNIS COURTS

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE OF 2018

ARCHITECTURAL DRAWING INDEX

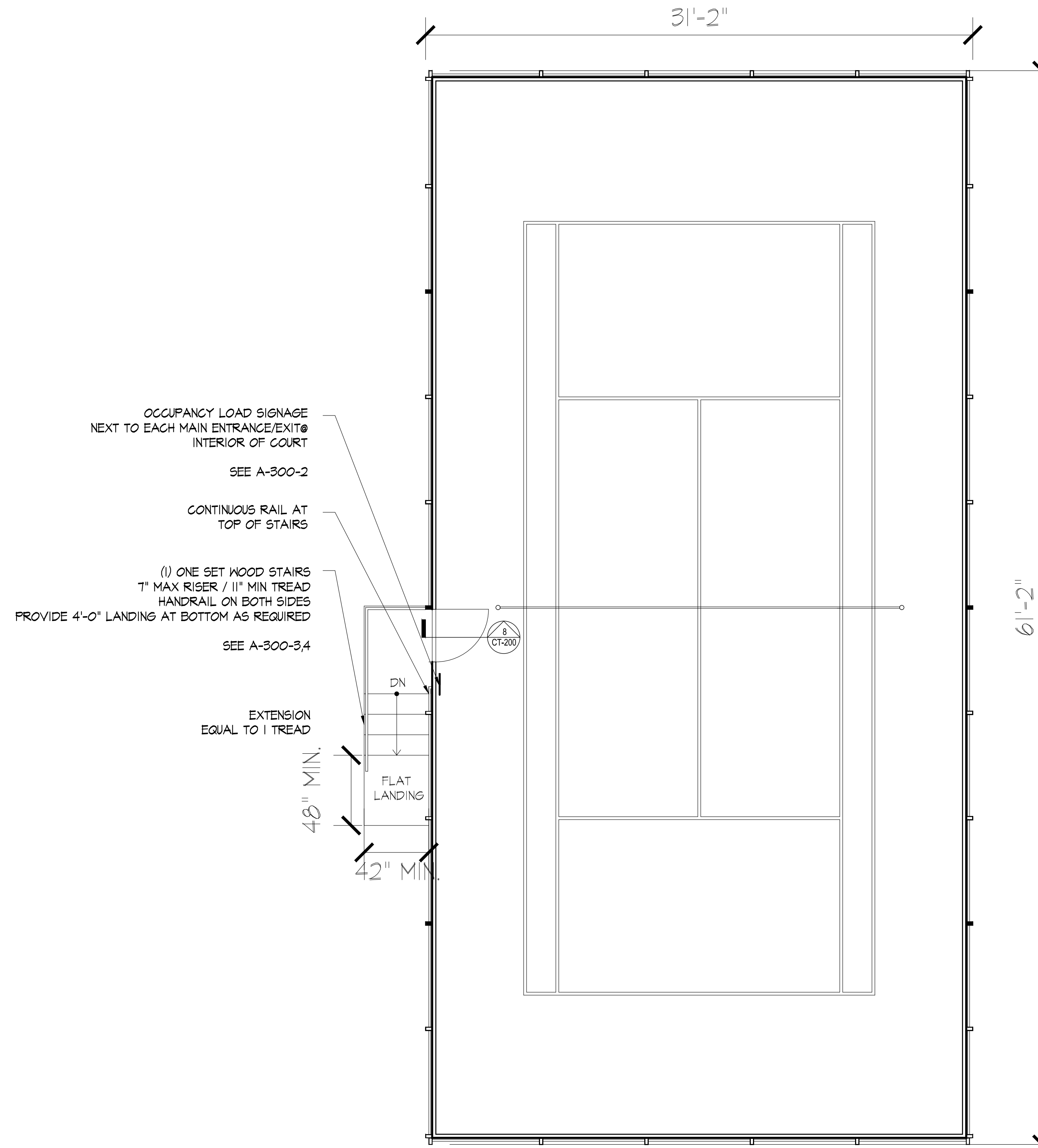
DWG. NO.	DRAWING TITLE	ISSUES	UPDATED 10.8.2020
T-100	TITLE SHEET, SITE PLAN, PROJECT INFORMATION, COURT LAYOUT	●	
CT-100	COURT PLAN	●	
CT-101	COURT MARKINGS	●	
CT-200	COURT ELEVATIONS & DETAILS	●	
CT-300	COURT DETAILS	●	

DESIGN LOADS

USE & OCCUPANCY (COURTS)*	
USE	A-5 OUTDOOR PLATFORM TENNIS COURT
AREA SF (NET)	1940GROSS / 1845NET : $\frac{1940}{1845} = 39$ OCCUPANTS
OCCUPANCY LOAD	PER BLDG DEPARTMENT MEMO DATED 09.10.16, CALCULATING THE OCCUPANCY LOAD OF 50/SF PER PERSON INDICATES A MAXIMUM OCCUPANCY OF 39 PERSONS - HOWEVER - BASED ON THE FUNCTION OF THE USE, THE MAXIMUM ALLOWED OCCUPANCY ON A COURT AT ONE TIME IS 8 PERSONS FOUR TEAMS ON 2 / OTHER THAN THAT THE COURT CAN NOT FUNCTION AS INTENDED.

DESIGN LOADS T1607.1	SNOW LOAD	ENERGY STATEMENT
FLOOR LOAD : COURTS	Pg 20 PSF	TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, I CERTIFY THAT THESE PLANS ARE IN COMPLIANCE WITH THE 2010 ASHREA STANDARD 90.1
LIMITED OCC. 40 PSF	Pf 34 PSF	
LIVE LOADS	Ps 34 PSF	SEISMIC LOAD
STAIRS & DECKS & WALKWAYS	Ce 1.0	I 1.0
LIVE LOADS 100 PSF	I 1.0	OCCUPANCY CATEGORY II
	Ct 1.2	Ss 0.18
		S1 .06
HANDRAIL / GUARDRAIL	WIND LOAD	SITE CLASS D
UNIFORM LOAD 50LB / FT	BASIC WIND SPEED 100-110MPH	Sds .19
CONC. LOAD 200 LBF	I 1.00	Sdi .10
	EXPOSURE B	SEISMIC DESIGN CAT. B
	GCPi +/- 0.00	
	COMPONENT/CLAD PRESSURE 15 PSF	

- GENERAL NOTES:**
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES - CONSISTING OF A SILT FENCE OR HAY BALES AS REQUIRED TO PREVENT SOIL EROSION IN ACCORDANCE WITH PLANS.
 - DISTURBED AREAS TO BE PLANTED OR RE-SEEDED AND STABILIZED IMMEDIATELY.
 - THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED PRIOR TO START OF CONSTRUCTION
 - ALL ELECTRICAL AND FIRE PROTECTIONS WORK IS REQUIRED TO MEET 2008 NATIONAL ELECTRIC CODE NFPA 70-2008 IFC / ANSI A117-1-2003



1 TYPICAL COURT LAYOUT
SCALE : 1/4" = 1'-0"

RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696

CONSULTANTS:

AG
CROZIER GEDNEY ARCHITECTS, PC
41 ELM PLACE
RYE, NY 10580
PH. 914-967-6060
FAX 914-967-6071

10.2020

DATE	REVISION #	REMARKS
10.2020		UPDATED COURT DRAWINGS

PROJECT

DRAWING TITLE
TITLE SHEET
COURT INFORMATION

CGA PROJECT #	
SCALE:	AS NOTED
DATE:	OCT 2020
DRAWN:	DJD
CHECKED:	CCAS
SHEET NUMBER	T-100

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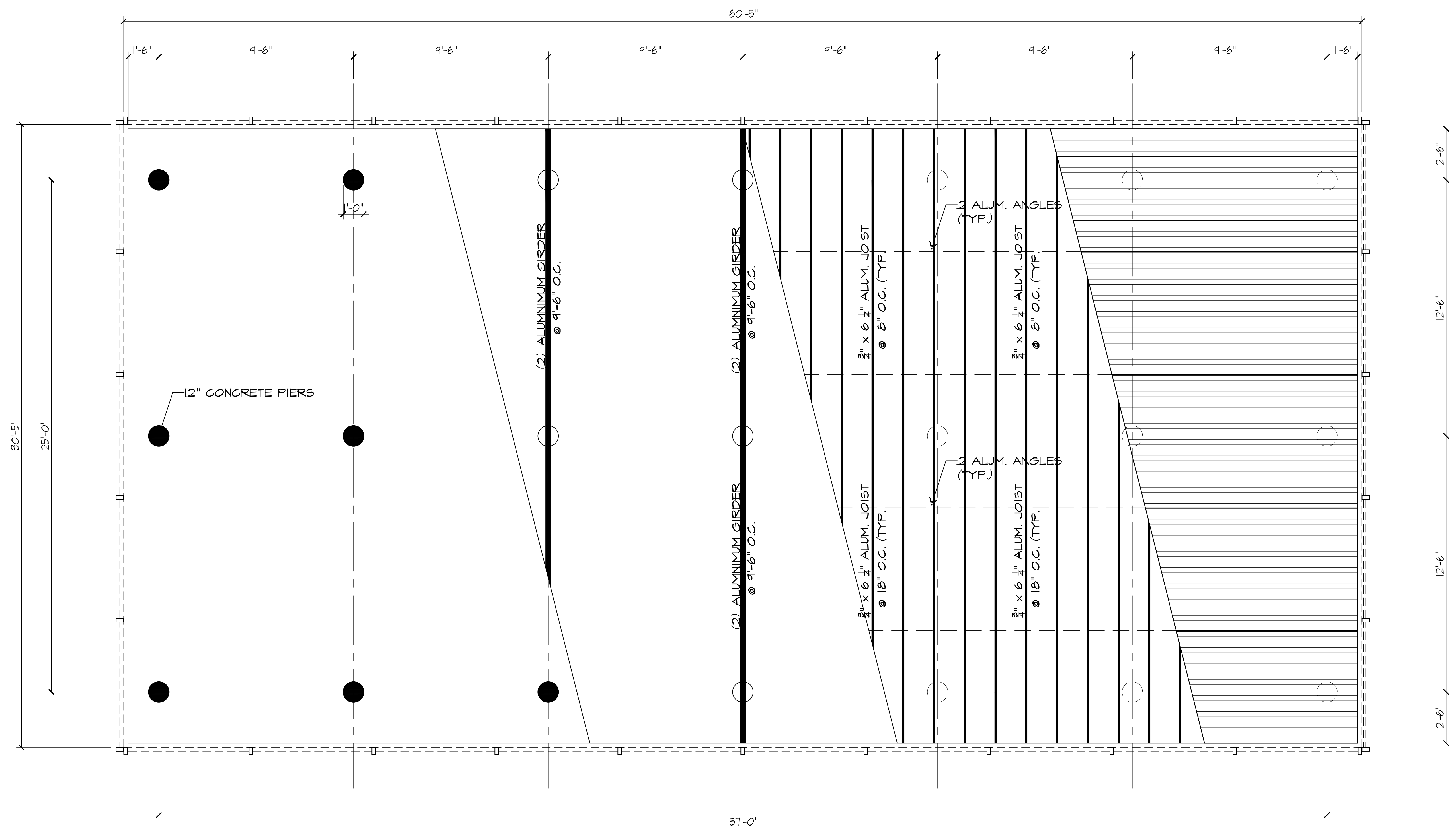
10.2020

DATE	REVISION #	REMARKS
10/2020		UPDATED COURT DRAWINGS

PROJECT

DRAWING TITLE
 COURT PLAN

CAD FILE:	CGA PROJECT #
X-REF:	SCALE: AS NOTED
	DATE: OCT 2020
	DRAWN: DJD
	CHECKED: CCAS
	SHEET NUMBER
	CT-100



1 COURT PLAN
 SCALE: 3/8" = 1'-0"

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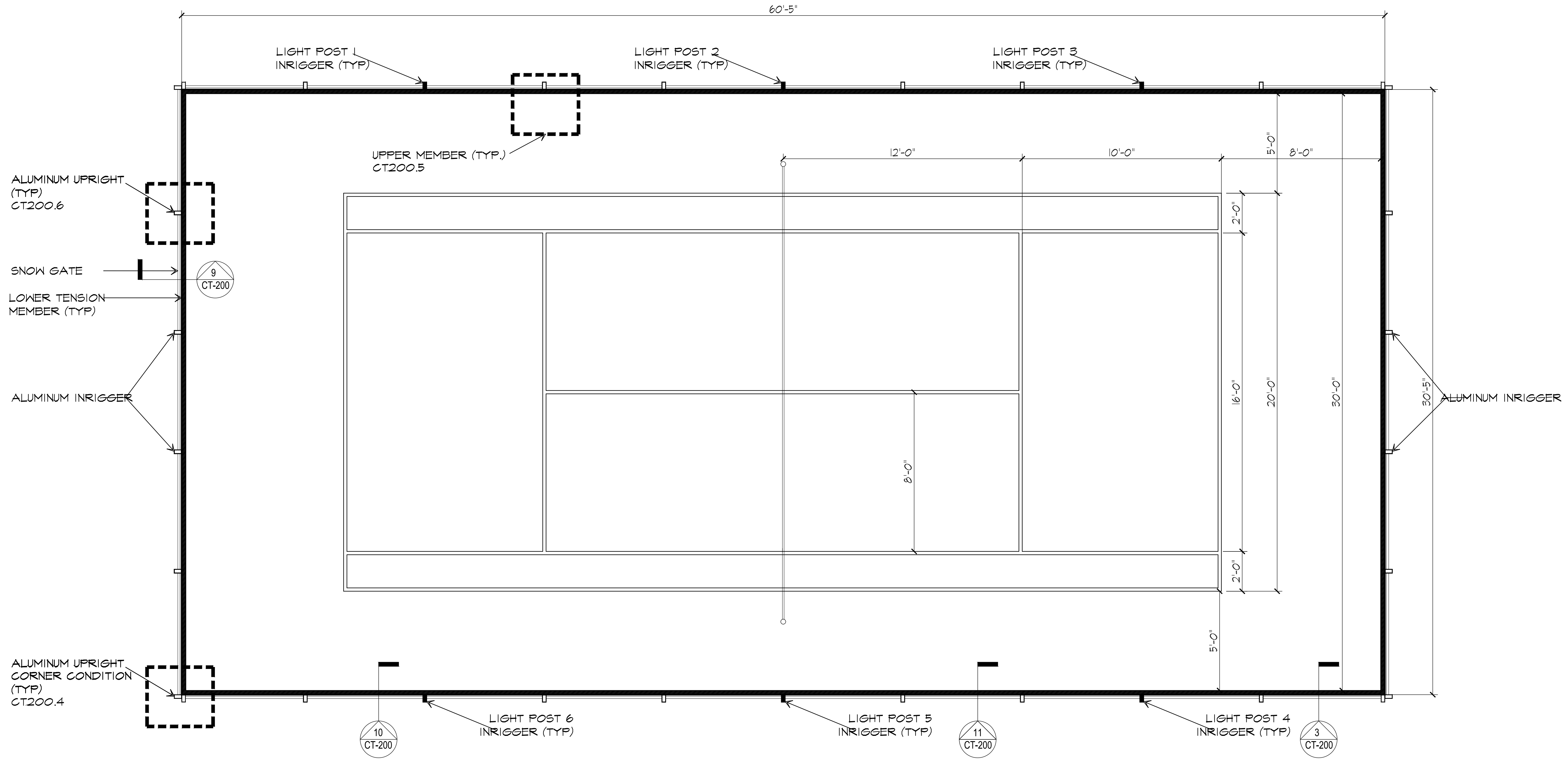
10.2020

DATE	REVISION #	REMARKS
10/2020		UPDATED COURT DRAWINGS

PROJECT

DRAWING TITLE
 COURT MARKINGS

CAD FILE:	CGA PROJECT #
X-REF:	SCALE: AS NOTED
	DATE: OCT 2020
	DRAWN: DJD
	CHECKED: CCAS
	SHEET NUMBER
	CT-101



1 COURT MARKINGS
 SCALE : 3/8" = 1'-0"

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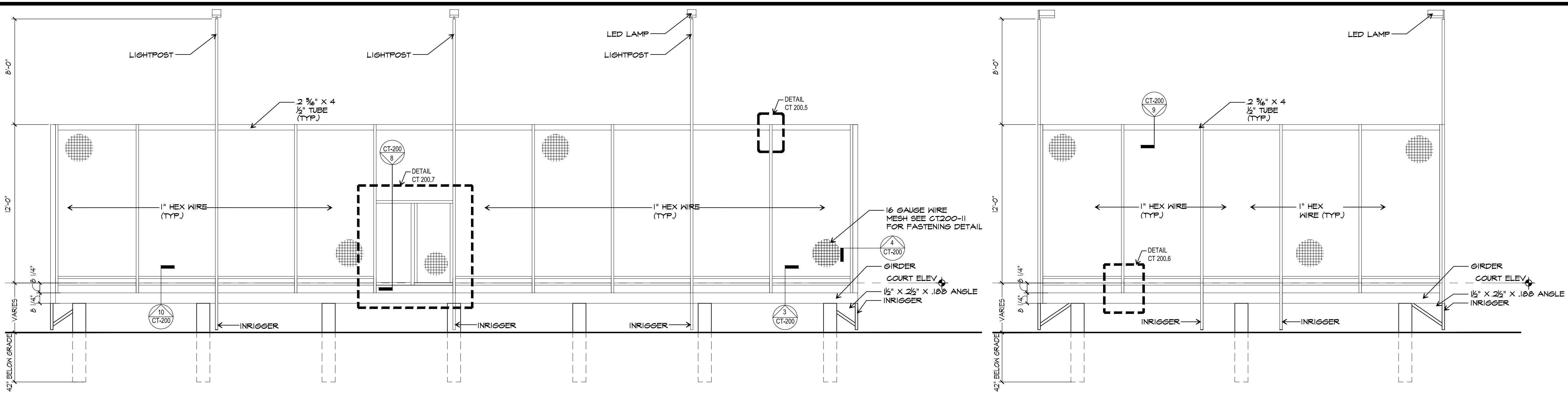
10.2020

DATE	REVISION #	REMARKS
10/2020		UPDATED COURT DRAWINGS

PROJECT

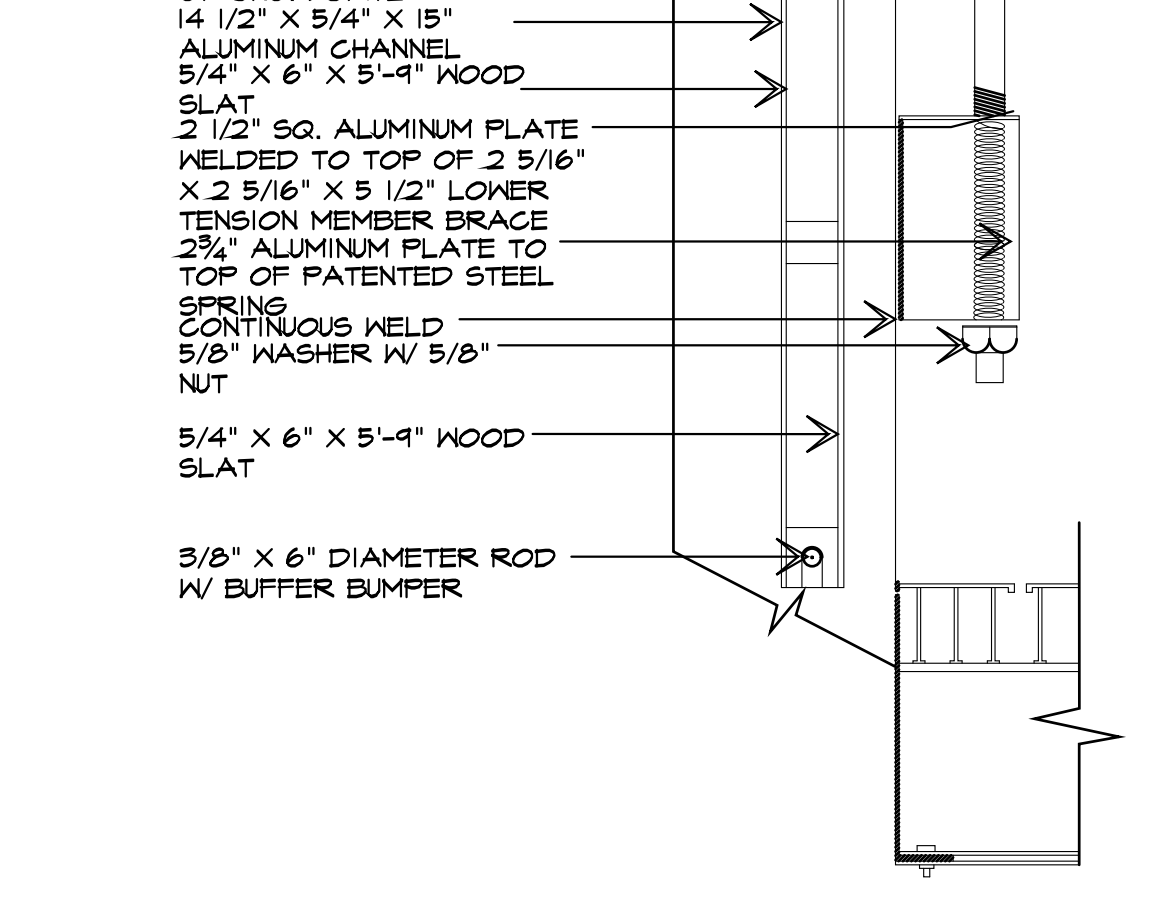
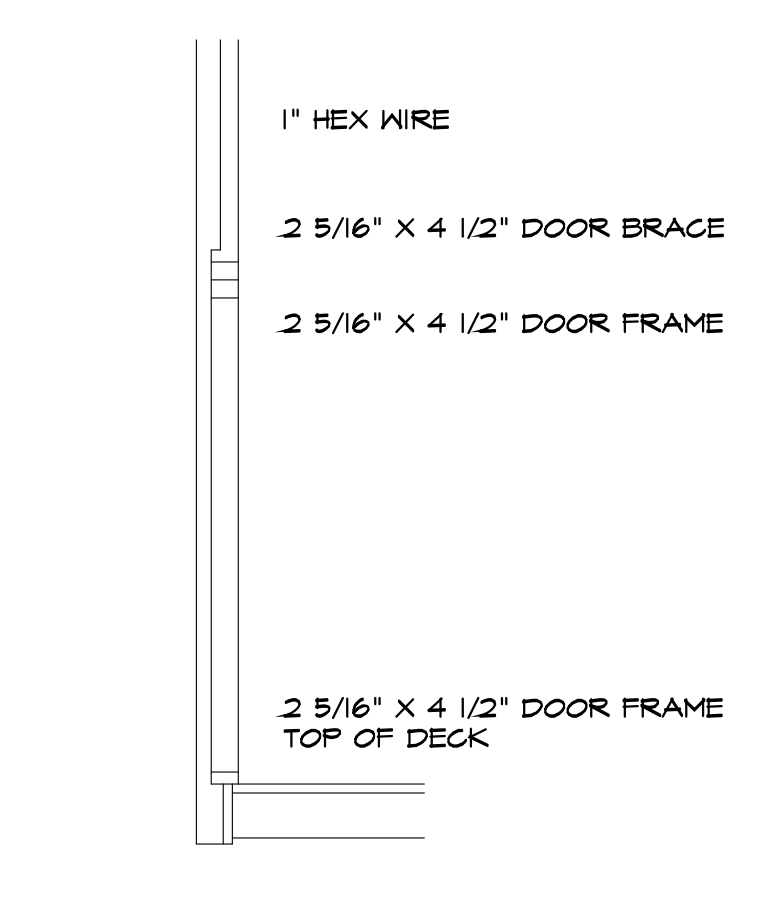
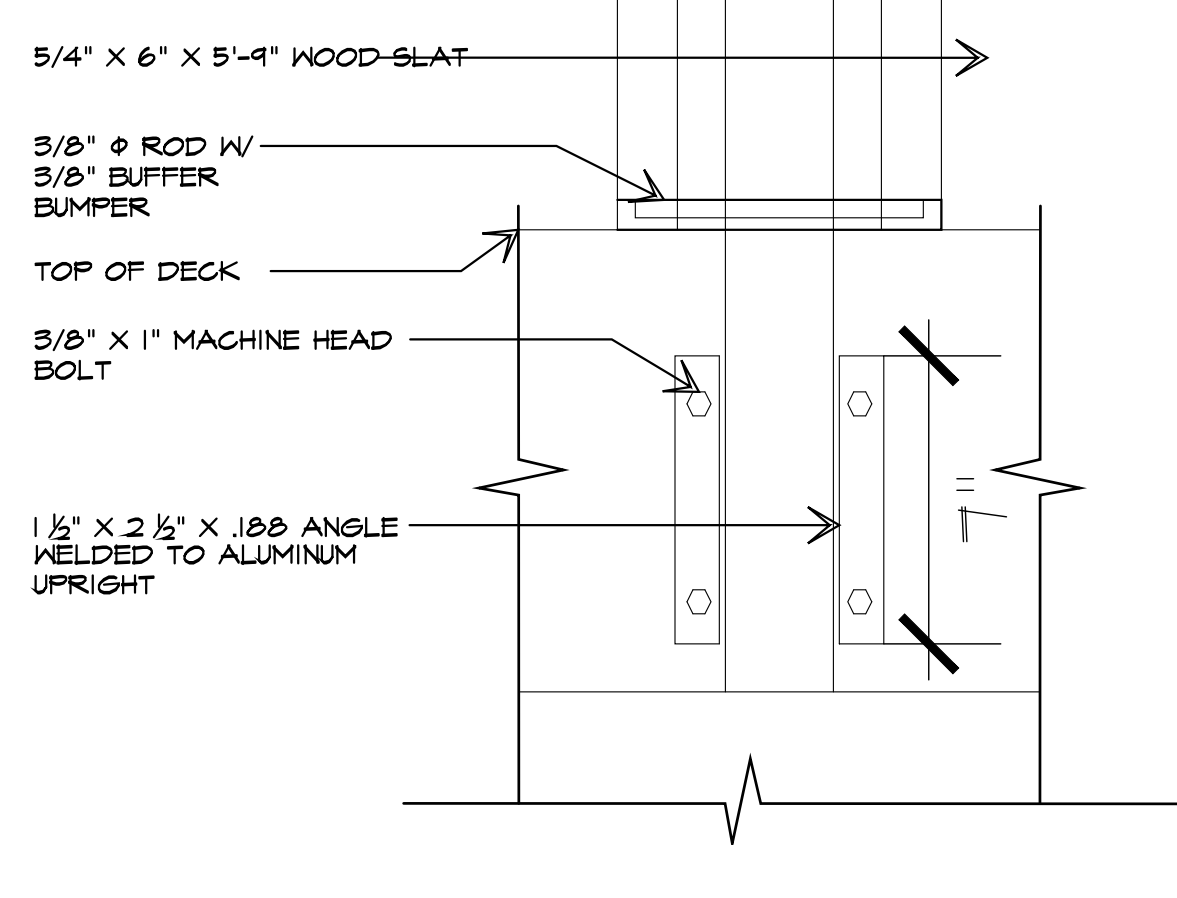
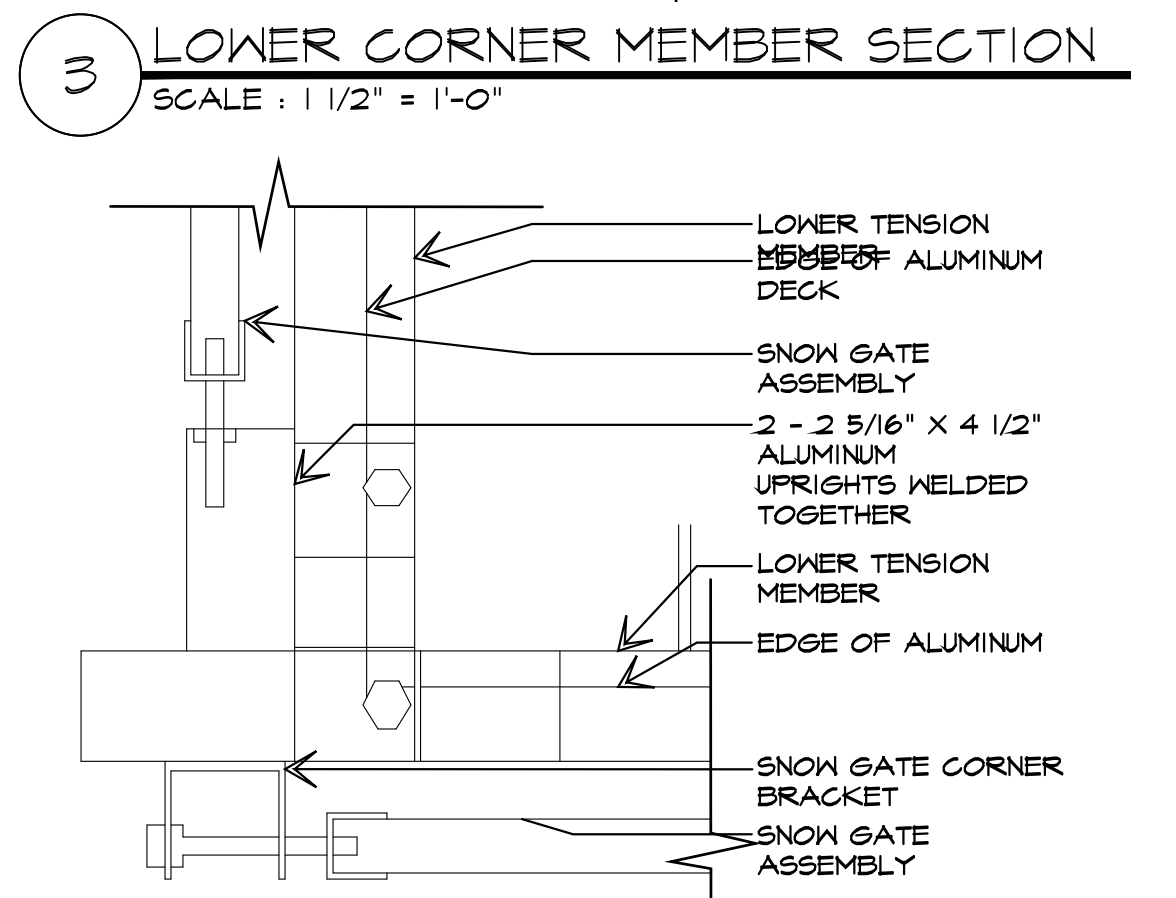
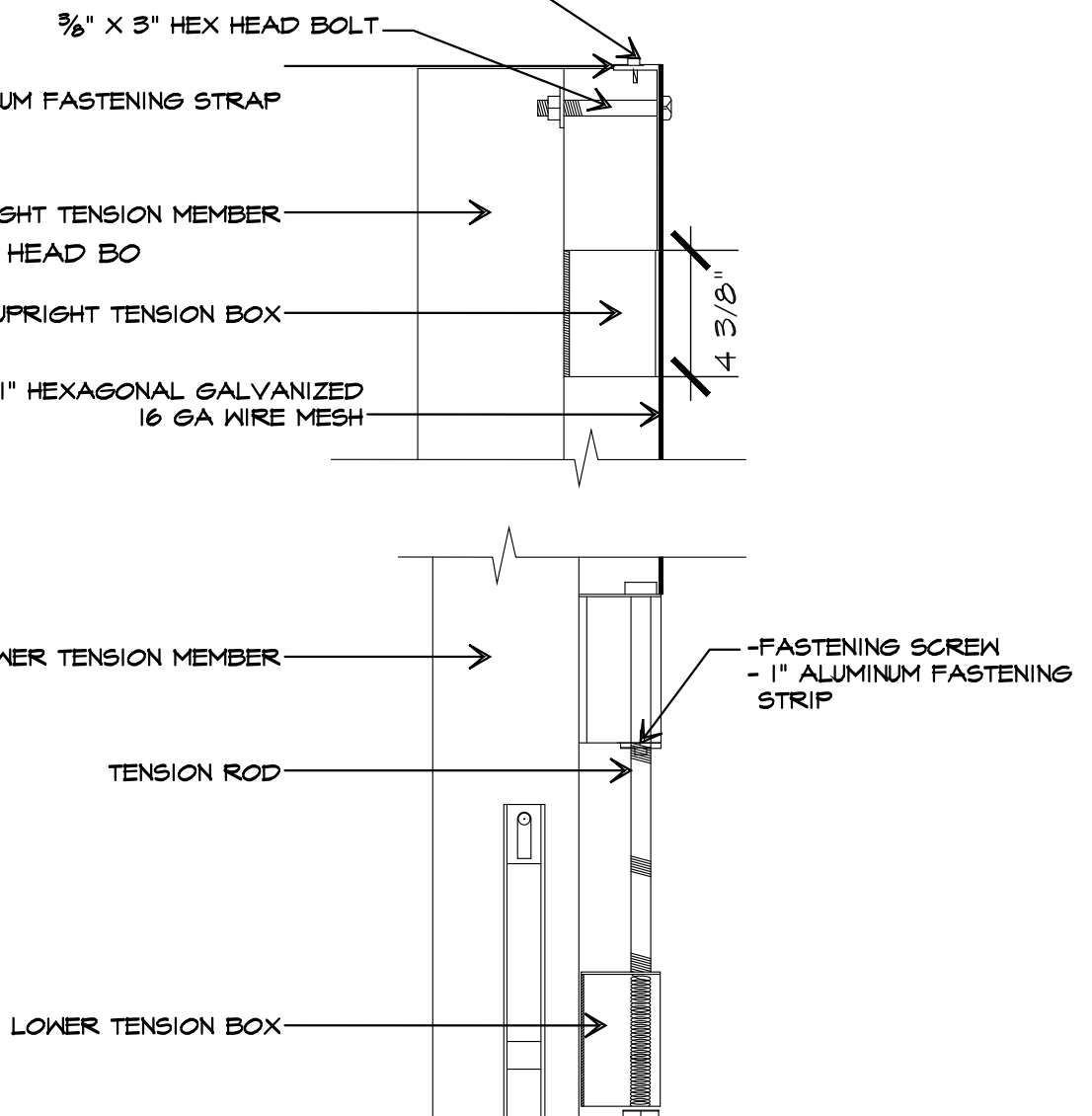
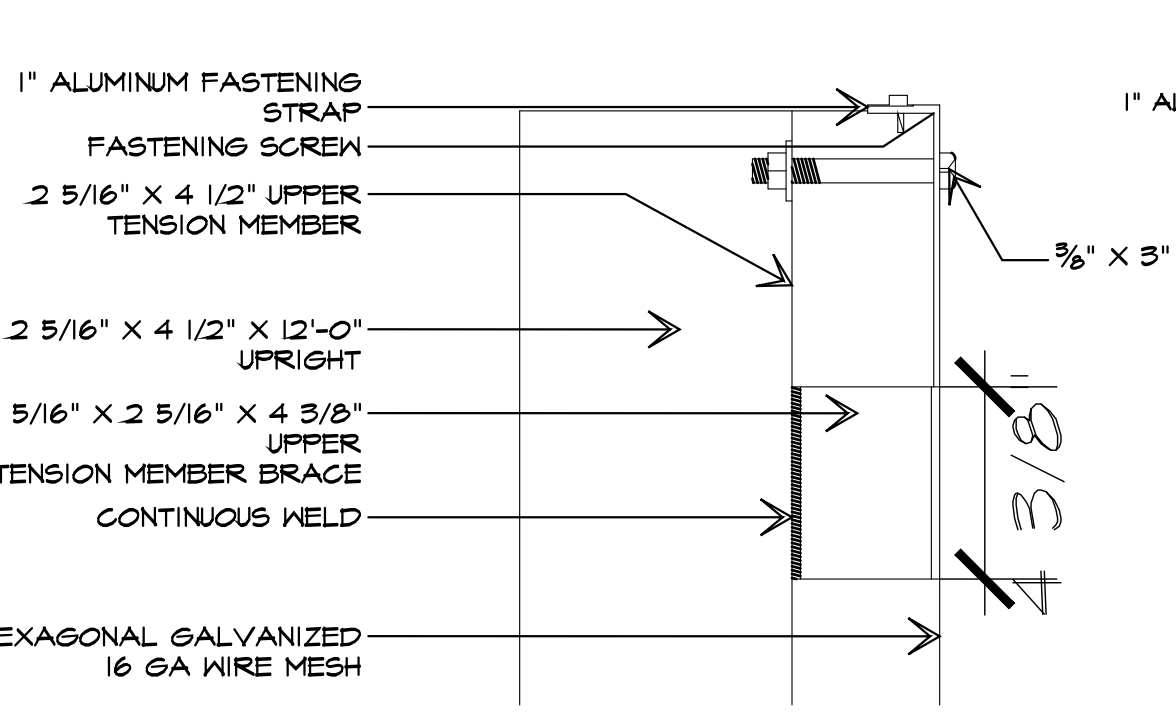
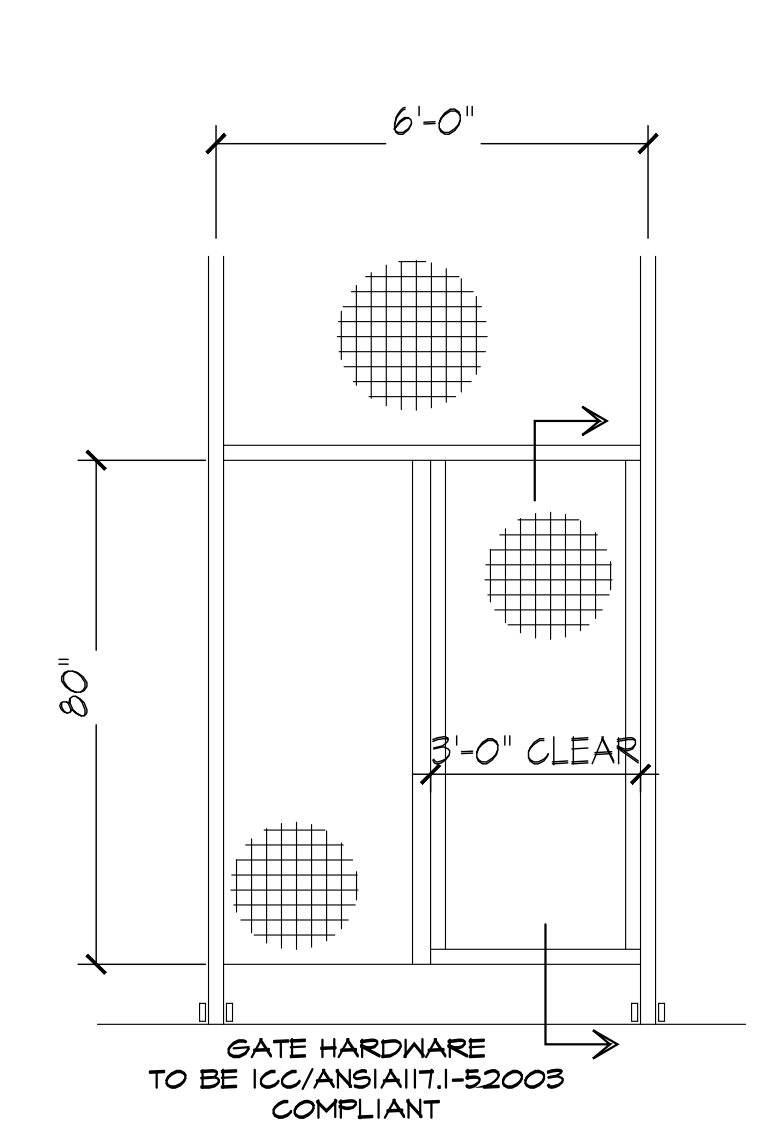
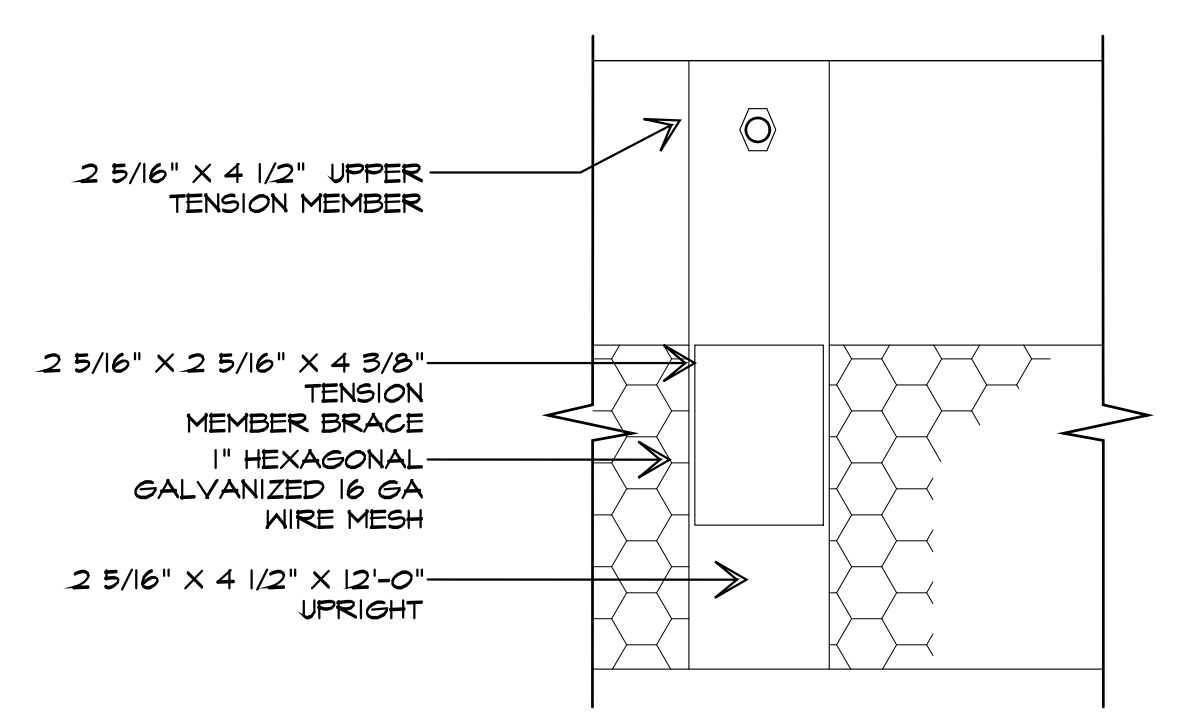
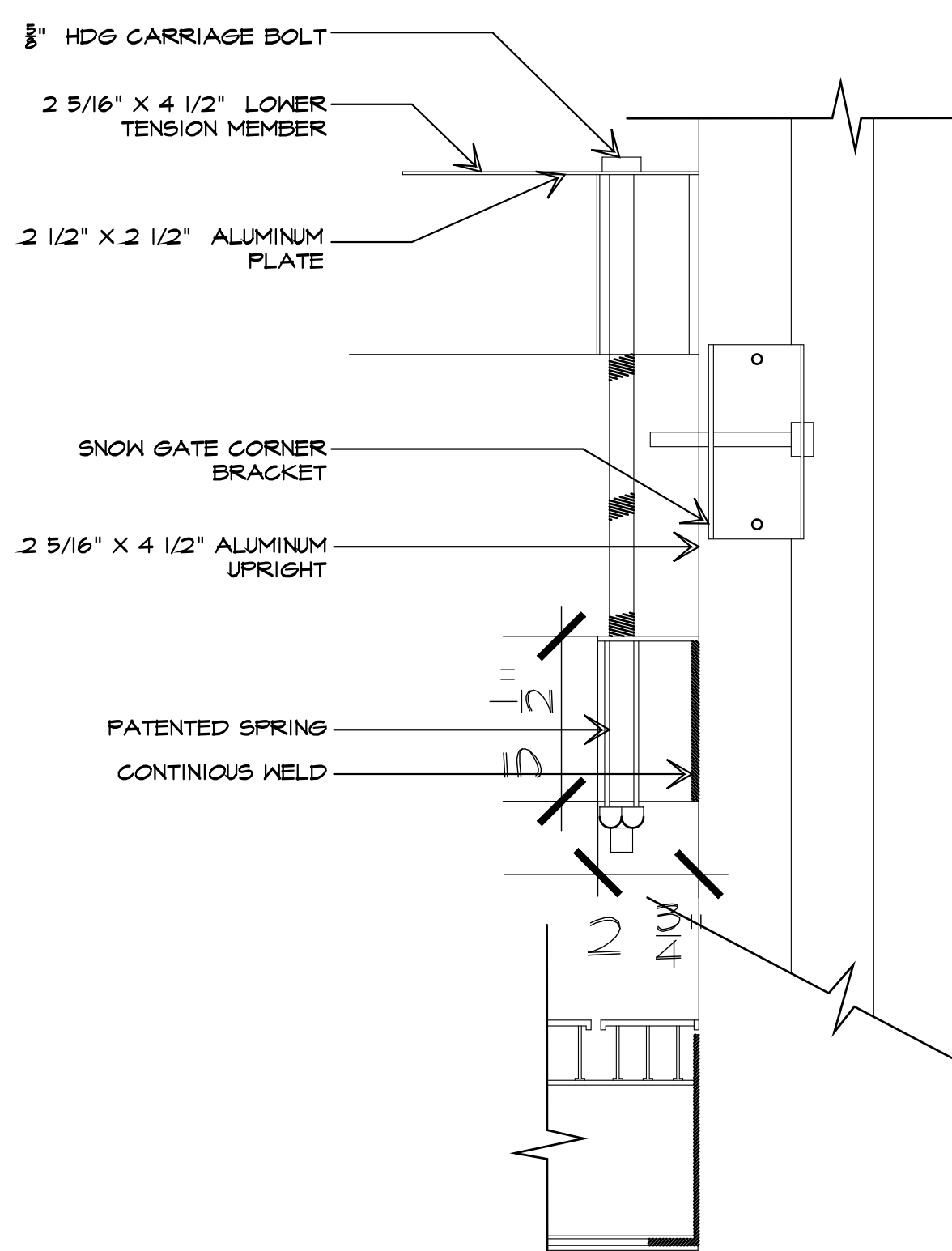
DRAWING TITLE
 COURT ELEVATIONS AND DETAILS

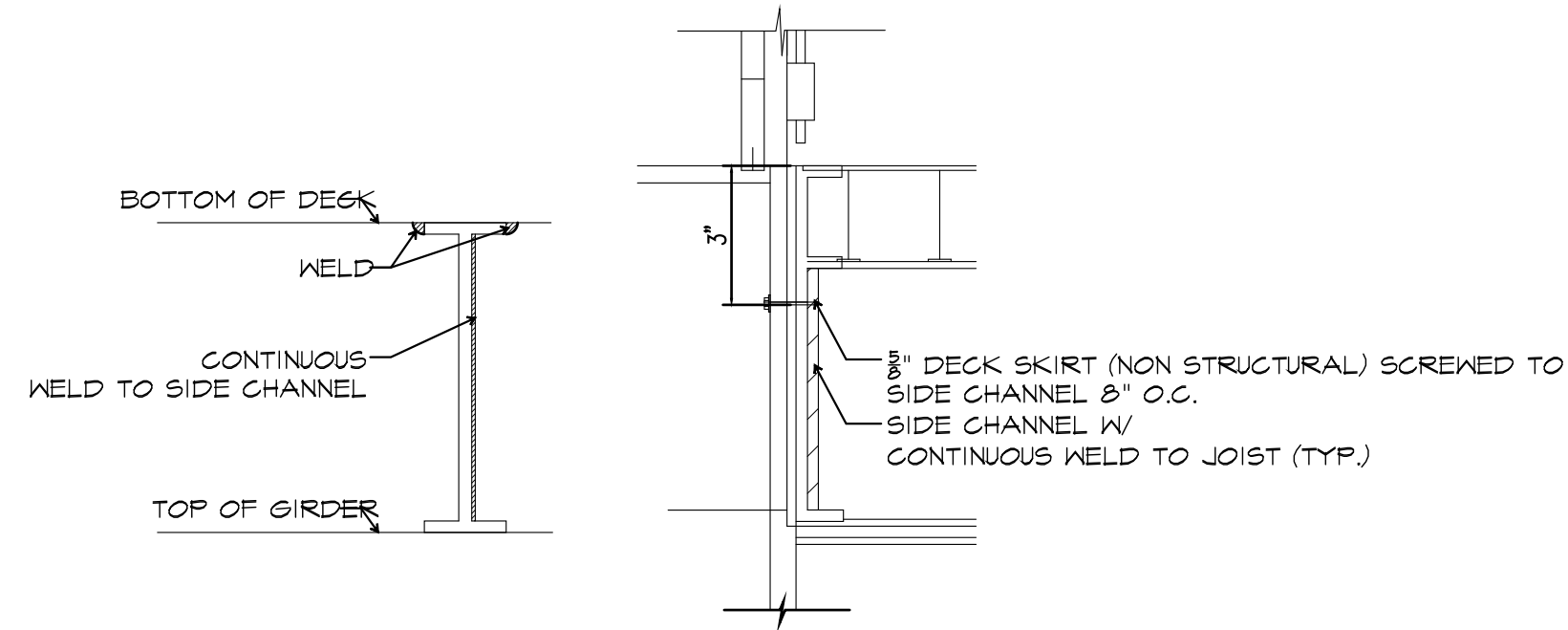
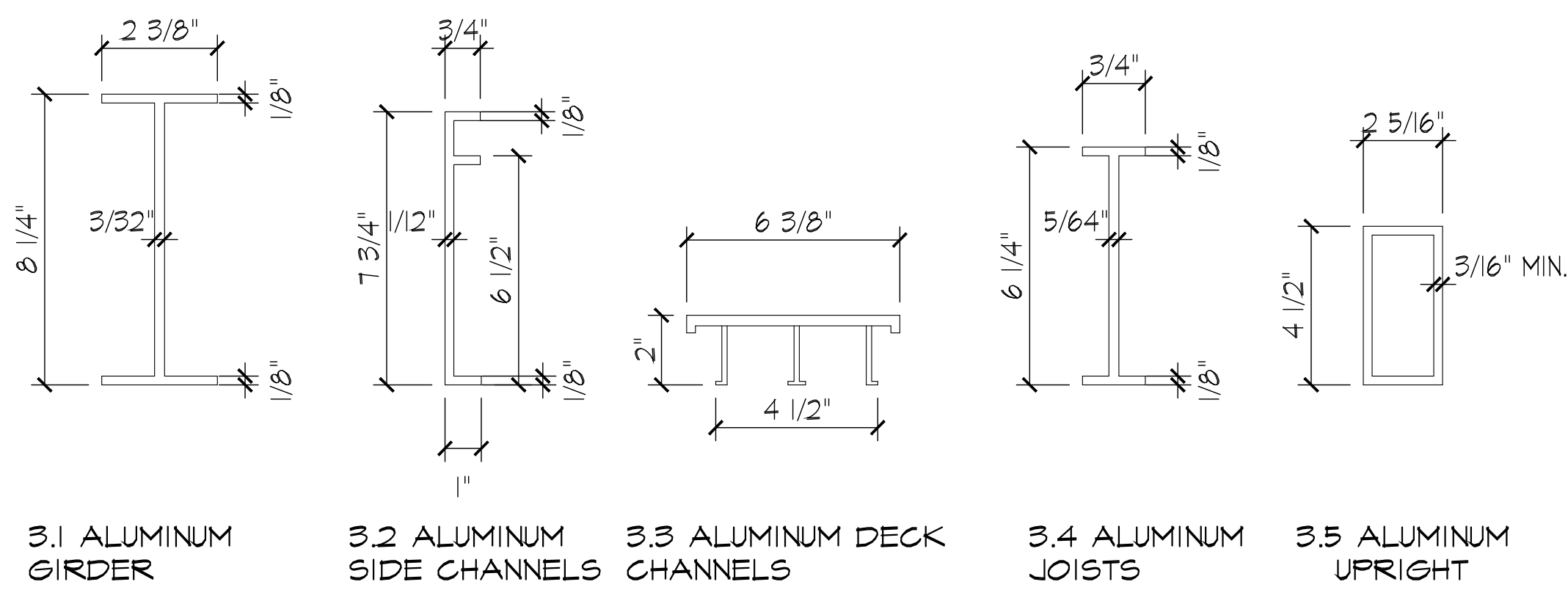
CGA PROJECT #	AS NOTED
SCALE:	OCT 2020
DATE:	DJD
DRAWN:	CCAS
CHECKED:	
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CAD FILE:	
X-REF:	



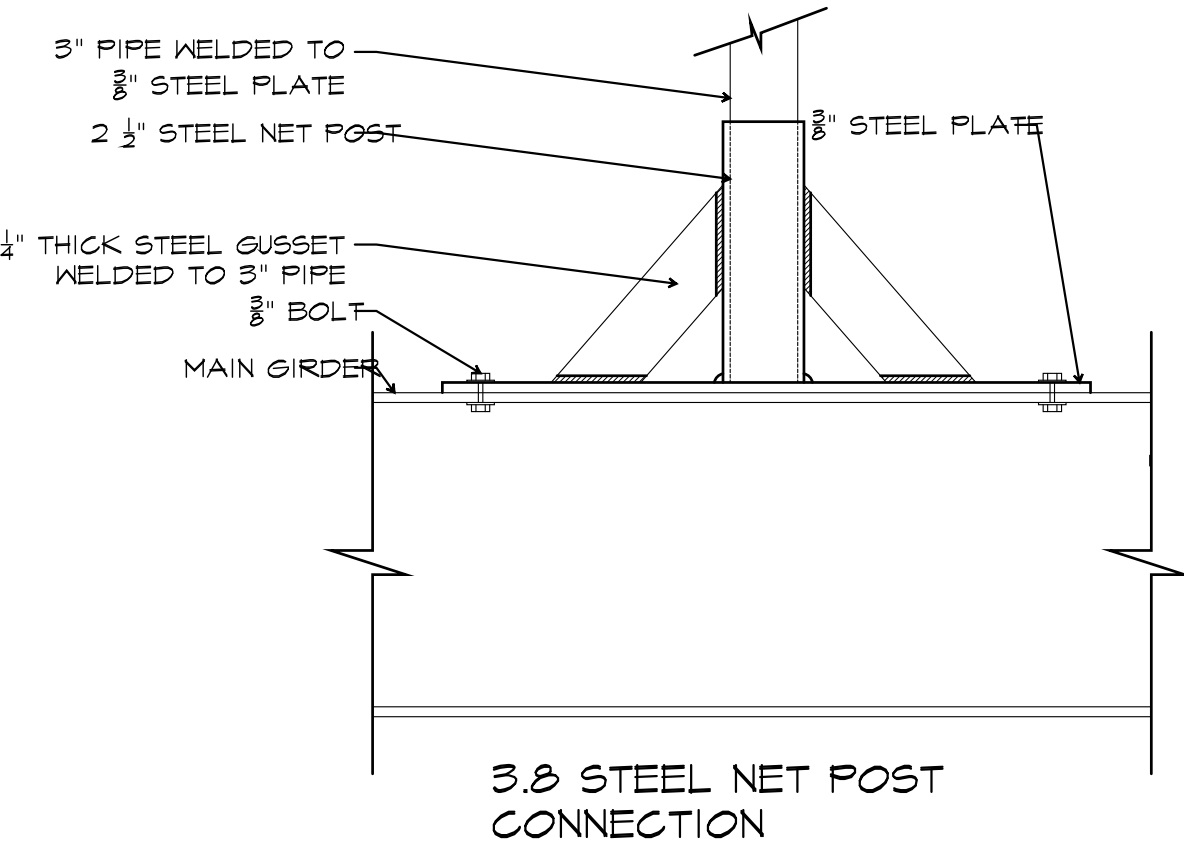
1 LONG ELEVATION
 SCALE: 1/4" = 1'-0"

2 SHORT ELEVATION
 SCALE: 1/4" = 1'-0"



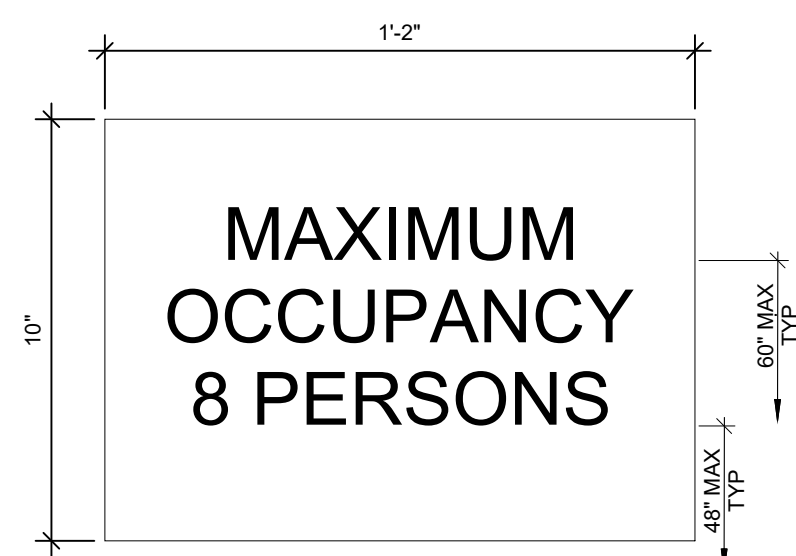


3.6 TYPICAL JOIST WELD PATTERN
3.7 ALUMINUM SIDE CHANNELS



3.8 STEEL NET POST CONNECTION

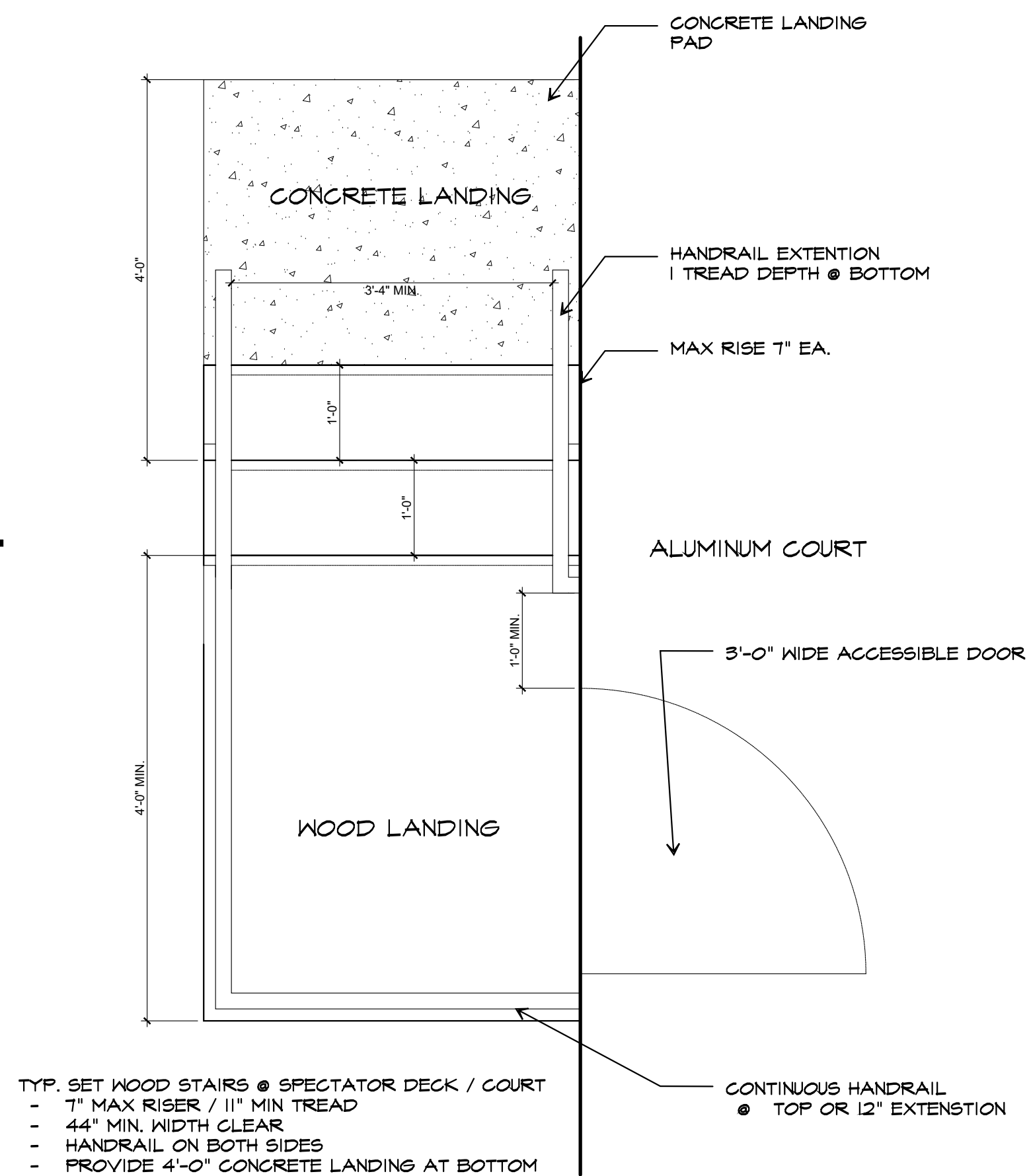
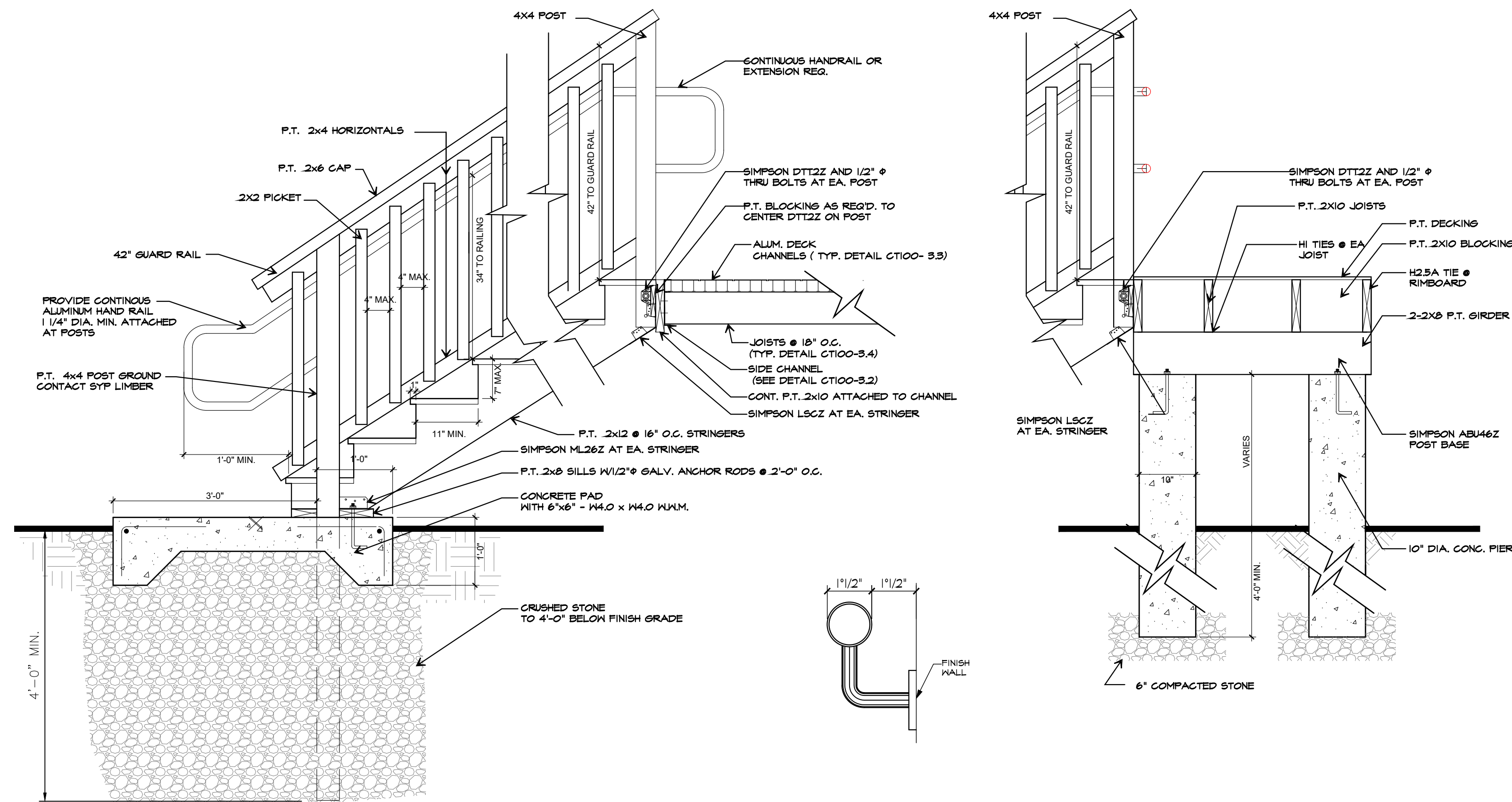
1 TYPICAL STRUCTURAL MEMBERS
SCALE: 3/8" = 1'-0"



2 TYPICAL SIGNAGE DETAIL
NTS

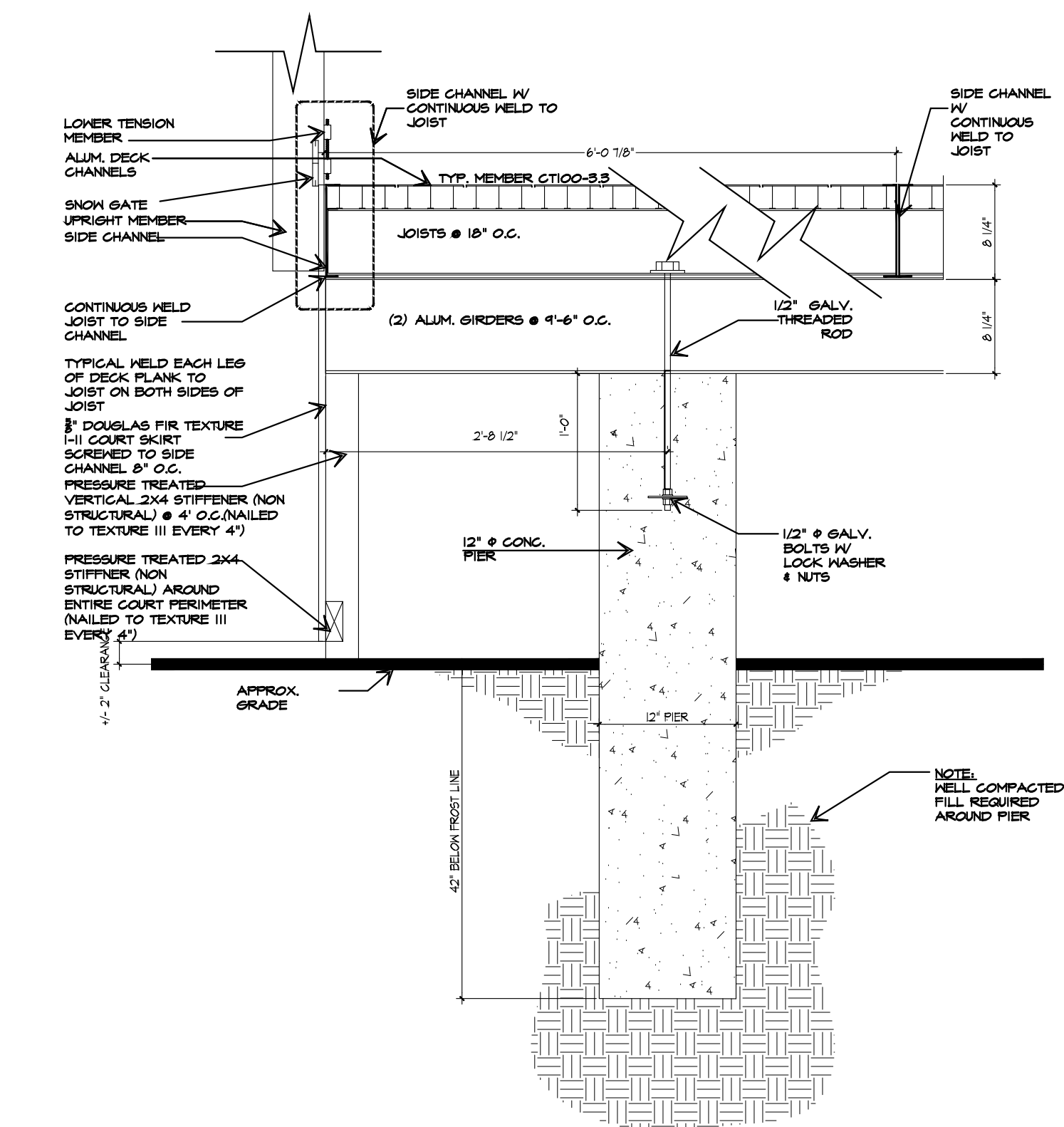
THE OCCUPANT LOAD OF THE COURTS SHALL BE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE COURT. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER.

SIGNS SHALL BE CONSTRUCTED OF MINIMUM .063-INCH ALUMINUM, WITH MINIMUM OF 1-INCH BLOCK LETTERS AND NUMBERS, ON A CONTRASTING BACKGROUND SO AS TO BE READILY VISIBLE.



3 TYPICAL STAIR DETAILS
SCALE 3/4" = 1'

4 TYPICAL STAIR DETAILS
SCALE: 3/4" = 1'



5 TYPICAL COURT PIER DETAIL
SCALE: 1" = 1'

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10.2020

DATE	REVISION #	REMARKS
10/2020		UPDATED COURT DRAWINGS

PROJECT

DRAWING TITLE
COURT DETAILS

CAD FILE:	CT-300
X-REF:	
CGA PROJECT #	AS NOTED
SCALE:	OCT 2020
DATE:	DJD
DRAWN:	CCAS
CHECKED:	
SHEET NUMBER	

Hopmeadow Country Club Paddle Court Replacement

January 12, 2024

Wetland Permit Application

LADA, P.C. Land Planners

Existing Courts- Court 1(North)



Hopmeadow Country Club- Paddle Courts

Existing Courts- Court 2(South)



Hopmeadow Country Club- Paddle Courts

Existing Courts- On Court- typical



Hopmeadow Country Club- Paddle Courts

Existing Deck and Warming Hut



Hopmeadow Country Club- Paddle Courts

Existing Cart Paths- East Side



Hopmeadow Country Club- Paddle Courts

Existing Stream Corridor and west side cart paths



Hopmeadow Country Club- Paddle Courts

Existing Parking



Hopmeadow Country Club- Paddle Courts