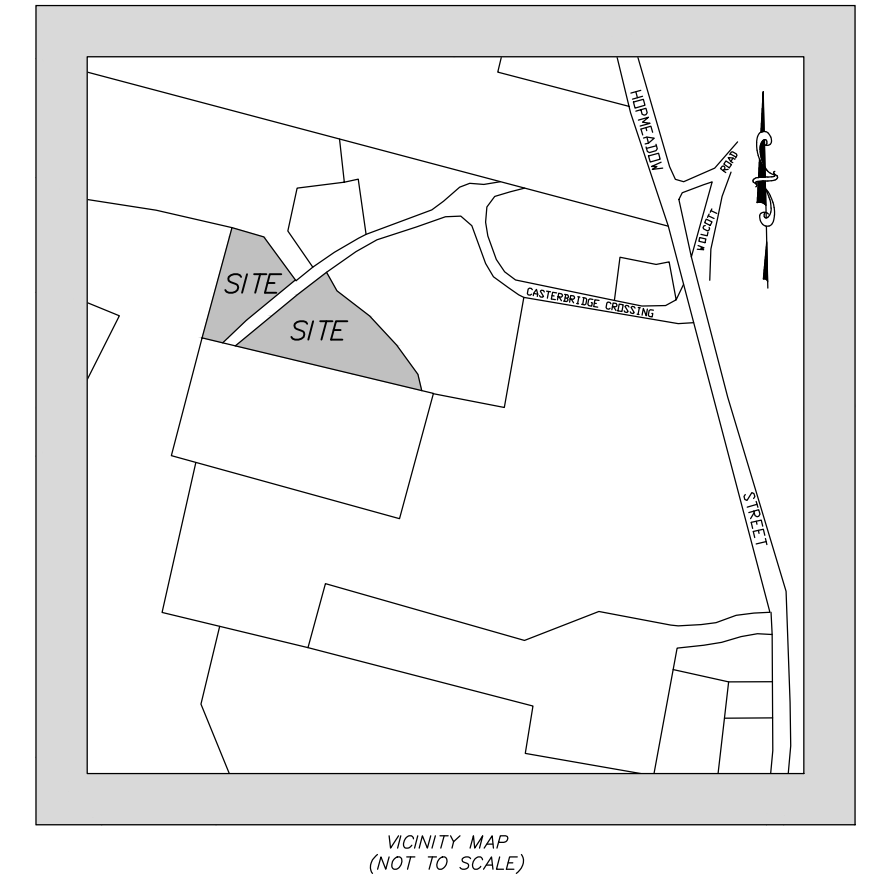


Crown Simsbury Apartments at Dorset Crossing Lots D and G - Dorset Crossing PAD Simsbury, Connecticut



VICINITY MAP
(NOT TO SCALE)

Site Plan Application

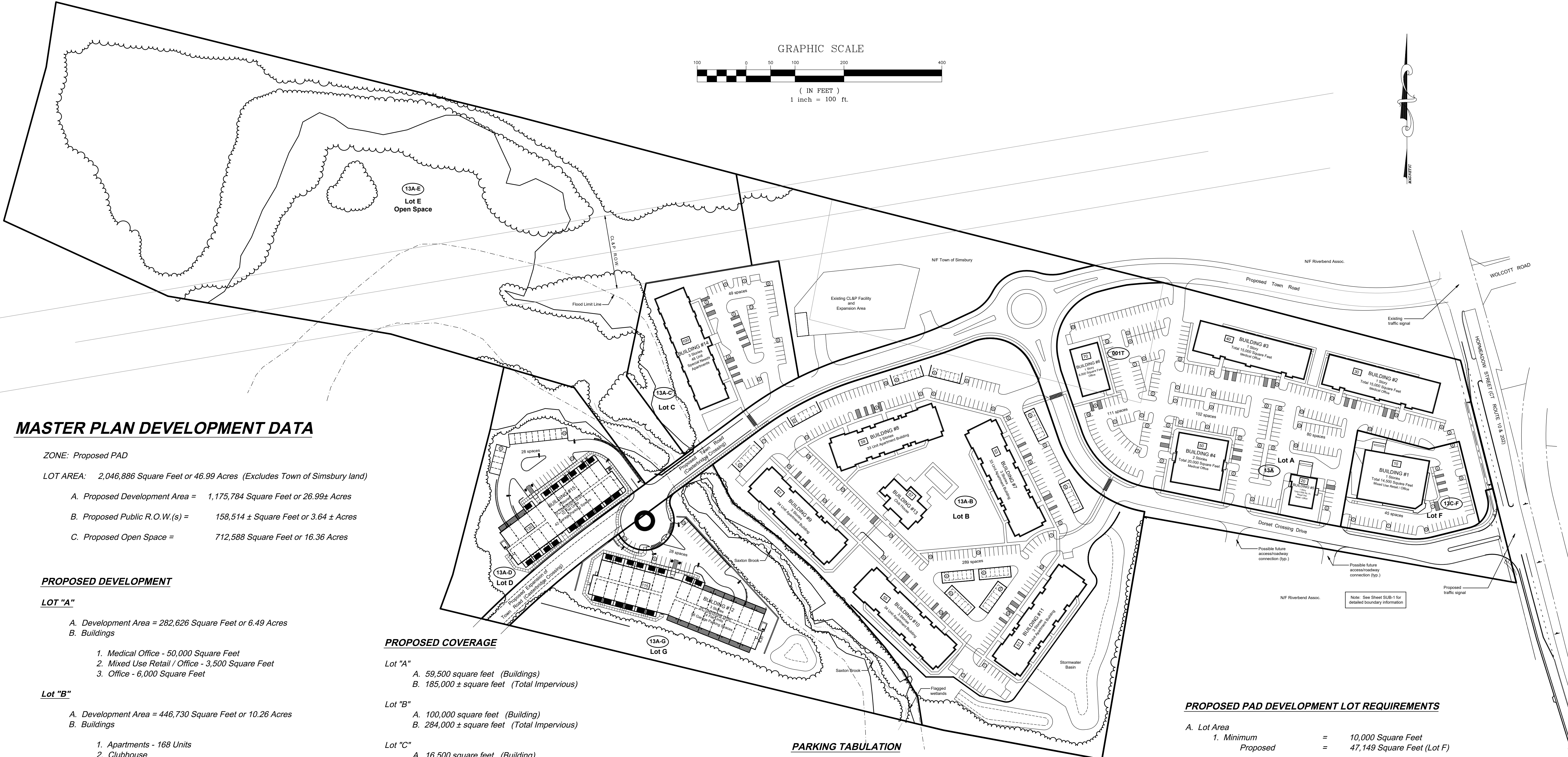
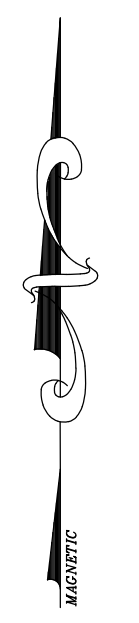
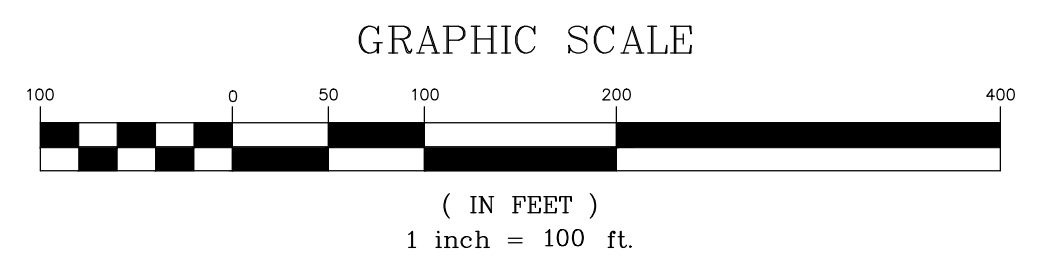
December 15, 2021

DEVELOPMENT TEAM

Property Owner	Dorset Crossing, LLC 30 Dorset Crossing Drive Suite 600 Simsbury, CT 06070
Applicant/Developer	Crown Property Holdings, LLC 2001 Killebrew Drive Suite 100 Bloomington, MN 55245
Architect	Distyle Design Architects 3410 Winnetka Ave. N Suite 103 Minneapolis, Minnesota 55427
Civil Engineer	F. A. Hesketh & Associates, Inc. 3 Creamery Brook East Granby, CT 06026
Landscape Architect	F. A. Hesketh & Associates, Inc.
Traffic Engineer	F. A. Hesketh & Associates, Inc.
Surveyor	F. A. Hesketh & Associates, Inc.

LIST OF DRAWINGS

	Title Sheet
MA-1	Master Development Plan
LA-1	Layout Plan
LS-1 thru LS-3	Landscape Plans
GR-1	Grading Plan
EC-1	Soil Erosion and Sedimentation Control Plan
UT-1	Drainage and Utility Plan
SD-1 thru SD-5	Details
NT-1	Notes
T-1	Perimeter Survey/Topographic Survey
RESUB-2	Resubdivision Plan
PP-3	Roadway Plan and Profile
A100 thru A103	Floor Plans
A501 and A502	Exterior Building Elevations



MASTER PLAN DEVELOPMENT DATA

ZONE: Proposed PAD
 LOT AREA: 2,046,886 Square Feet or 46.99 Acres (Excludes Town of Simsbury land)
 A. Proposed Development Area = 1,175,784 Square Feet or 26.99± Acres
 B. Proposed Public R.O.W.(s) = 158,514 ± Square Feet or 3.64 ± Acres
 C. Proposed Open Space = 712,588 Square Feet or 16.36 Acres

PROPOSED DEVELOPMENT

- LOT "A"**
 A. Development Area = 282,626 Square Feet or 6.49 Acres
 B. Buildings
 1. Medical Office - 50,000 Square Feet
 2. Mixed Use Retail / Office - 3,500 Square Feet
 3. Office - 6,000 Square Feet
- Lot "B"**
 A. Development Area = 446,730 Square Feet or 10.26 Acres
 B. Buildings
 1. Apartments - 168 Units
 2. Clubhouse
- Lot "C"**
 A. Development Area = 93,645 Square Feet or 2.15 Acres
 B. Buildings
 1. Special Need Building - 48 Units
- Lot "D"**
 A. Development Area = 107,870 Square Feet or 2.48 Acres
 B. Buildings
 1. Apartments - 30 Units
- Lot "E"**
 A. Open Space = 712,588 Square Feet or 16.36 Acres
- Lot "F"**
 A. Development Area = 47,149 Square Feet or 1.08 Acres
 B. Buildings
 1. Mixed Use Retail / Office - 14,500 Square Feet
- Lot "G"**
 A. Development Area = 197,764 Square Feet or 4.54 Acres
 B. Buildings
 1. Apartments - 42 Units

PROPOSED COVERAGE

- Lot "A"**
 A. 59,500 square feet (Buildings)
 B. 185,000 ± square feet (Total Impervious)
- Lot "B"**
 A. 100,000 square feet (Building)
 B. 284,000 ± square feet (Total Impervious)
- Lot "C"**
 A. 16,500 square feet (Building)
 B. 44,500 ± square feet (Total Impervious)
- Lot "D"**
 A. 19,700 square feet (Building)
 B. 48,500± (Total Impervious)
- Lot "E"**
 A. 0 square feet
- Lot "F"**
 A. 14,500 square feet (Building)
 B. 38,000 square feet (Total Impervious)
- Lot "G"**
 A. 27,000 square feet (Building)
 B. 45,500 ± square feet (Total Impervious)
- Public R.O.W.**
 A. Dorset Crossing Drive: 42,600 ± square feet (Total Impervious)
 B. Casterbridge Crossing: 57,300 ± square feet (Total Impervious)
 C. Future Extension of Casterbridge Crossing: 10,000 ± square feet (Total Future Impervious)
- Total PAD Building Coverage = Approximately 237,200 square feet or 11.6%
 Total PAD Development Impervious Coverage = Approximately 645,500 square feet or 31.5%

PARKING TABULATION

Required Parking - Per Article 10.L.5.4

A. Retail Uses:	2.75 Spaces per 500 square feet
B. Medical Office Uses:	3.3 Spaces per 500 square feet
C. General Office Uses:	2.5 Spaces per 500 square feet
D. Apartments:	1.5 Spaces per unit
E. Special Needs Building:	1 Spaces per unit

1. Total Mixed Use Retail / Office =	18,000 square feet
2. Total Medical Office =	50,000 square feet
3. Total Office =	6,000 square feet
4. Total Apartment Units =	240 Units
5. Total Special Needs Units =	48 Units

Proposed Parking

1. 18,000 sf retail x 2.75 spaces per 500 sf =	99 Spaces
2. 50,000 sf medical office x 3.3 spaces per 500 sf =	330 Spaces
3. 6,000 sf general office x 2.5 spaces per 500 sf =	30 Spaces
Total =	459 Spaces
x .75 shared use credit =	345 Spaces
4. 240 apartment units x 1.5 spaces per unit =	360 Spaces
5. 48 special needs units x 1 spaces per unit =	48 Spaces
Total Required Parking =	753 Spaces
Proposed Parking =	830 Spaces

PROPOSED PAD DEVELOPMENT LOT REQUIREMENTS

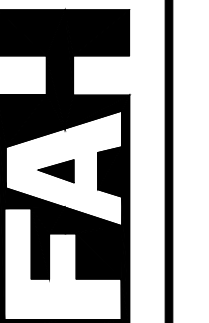
- A. Lot Area**
 1. Minimum = 10,000 Square Feet
 Proposed = 47,149 Square Feet (Lot F)
- B. Lot Frontage**
 1. Minimum = 100 Feet
 Proposed = 100 Feet (Lot E)
- C. Yards - Building**
 1. Minimum Front Yard = 20 Feet
 Proposed = 21± Feet (Buildings #12 and #15)
 2. Minimum Side Yard (Principal Bldg.) = 20 Feet
 Proposed = 21± Feet (Building #1)
 3. Minimum Side Yard (Accessory Str.) = 10 Feet
 Proposed = 12± Feet (Building #1 Drive Up Canopy)
 4. Minimum Rear Yard = 20 Feet
 Proposed = 20 Feet (Building #15)
- D. Yards - Parking**
 1. Minimum Front Yard Parking Setback = 10 Feet
 Proposed = 10 Feet (near Building #1)
 2. Minimum Side Yard Parking Setback = 10 Feet *
 Proposed = 10 Feet (near Building #15)
 3. Minimum Rear Yard parking Setback = 10 Feet *
 Proposed = 20 Feet (near Building #14)
 * May be reduced to 0 Feet where a unified parking and access plan has been approved.
- E. Maximum Building Height**
 1. Maximum Building Height = 40 Feet (Underlying B-3 Zone)
 Proposed = 40 Feet
- F. Maximum Coverage**
 1. Maximum Impervious Coverage = Per Article 10.L.4.1
 Proposed = 31.5 Percent

No.	Date	Description
1	12-15-2021	Planning & Zoning Submission

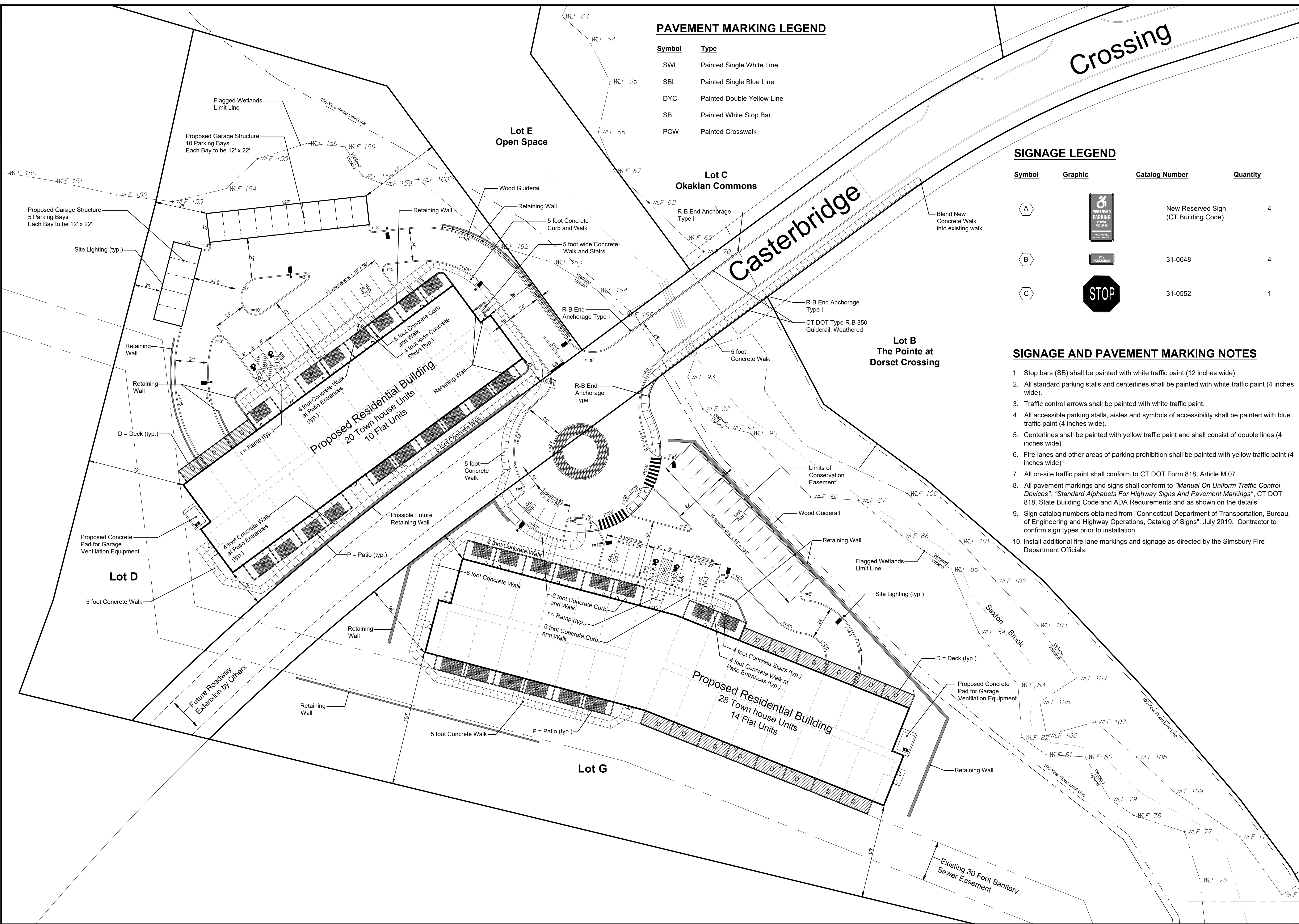
MASTERS DEVELOPMENT PLAN
 PREPARED FOR
CROWN PROPERTY HOLDINGS, LLC
 CASTERBRIDGE CROSSING
 SIMSBURY, CONNECTICUT
 Date: 12-03-2021 Drawn by: KLL Job no: 04174
 Scale: 1" = 100' Checked by: DSZ Sheet no: 1 OF 1
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MA-1

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 6 Creamery Brook, East Granby, CT 06026 · 146 N W Broad Street, Southern Pines, NC 28387
 Phone (860) 653-8000 · Fax (860) 844-8600 · Phone (910) 692-2844 · Fax (910) 692-3356
 Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects
 www.fahhsketh.com · mail@fahhsketh.com



PAVEMENT MARKING LEGEND

Symbol	Type
SWL	Painted Single White Line
SBL	Painted Single Blue Line
DYC	Painted Double Yellow Line
SB	Painted White Stop Bar
PCW	Painted Crosswalk

SIGNAGE LEGEND

Symbol	Graphic	Catalog Number	Quantity
A		New Reserved Sign (CT Building Code)	4
B		31-0648	4
C		31-0552	1

SIGNAGE AND PAVEMENT MARKING NOTES

1. Stop bars (SB) shall be painted with white traffic paint (12 inches wide)
2. All standard parking stalls and centerlines shall be painted with white traffic paint (4 inches wide).
3. Traffic control arrows shall be painted with white traffic paint.
4. All accessible parking stalls, aisles and symbols of accessibility shall be painted with blue traffic paint (4 inches wide).
5. Centerlines shall be painted with yellow traffic paint and shall consist of double lines (4 inches wide)
6. Fire lanes and other areas of parking prohibition shall be painted with yellow traffic paint (4 inches wide)
7. All on-site traffic paint shall conform to CT DOT Form 818, Article M.07
8. All pavement markings and signs shall conform to "Manual On Uniform Traffic Control Devices", "Standard Alphabets For Highway Signs And Pavement Markings", CT DOT 818, State Building Code and ADA Requirements and as shown on the details
9. Sign catalog numbers obtained from "Connecticut Department of Transportation, Bureau of Engineering and Highway Operations, Catalog of Signs", July 2019. Contractor to confirm sign types prior to installation.
10. Install additional fire lane markings and signage as directed by the Simsbury Fire Department Officials.

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 3 Creamery Brook, East Granby, CT 06026
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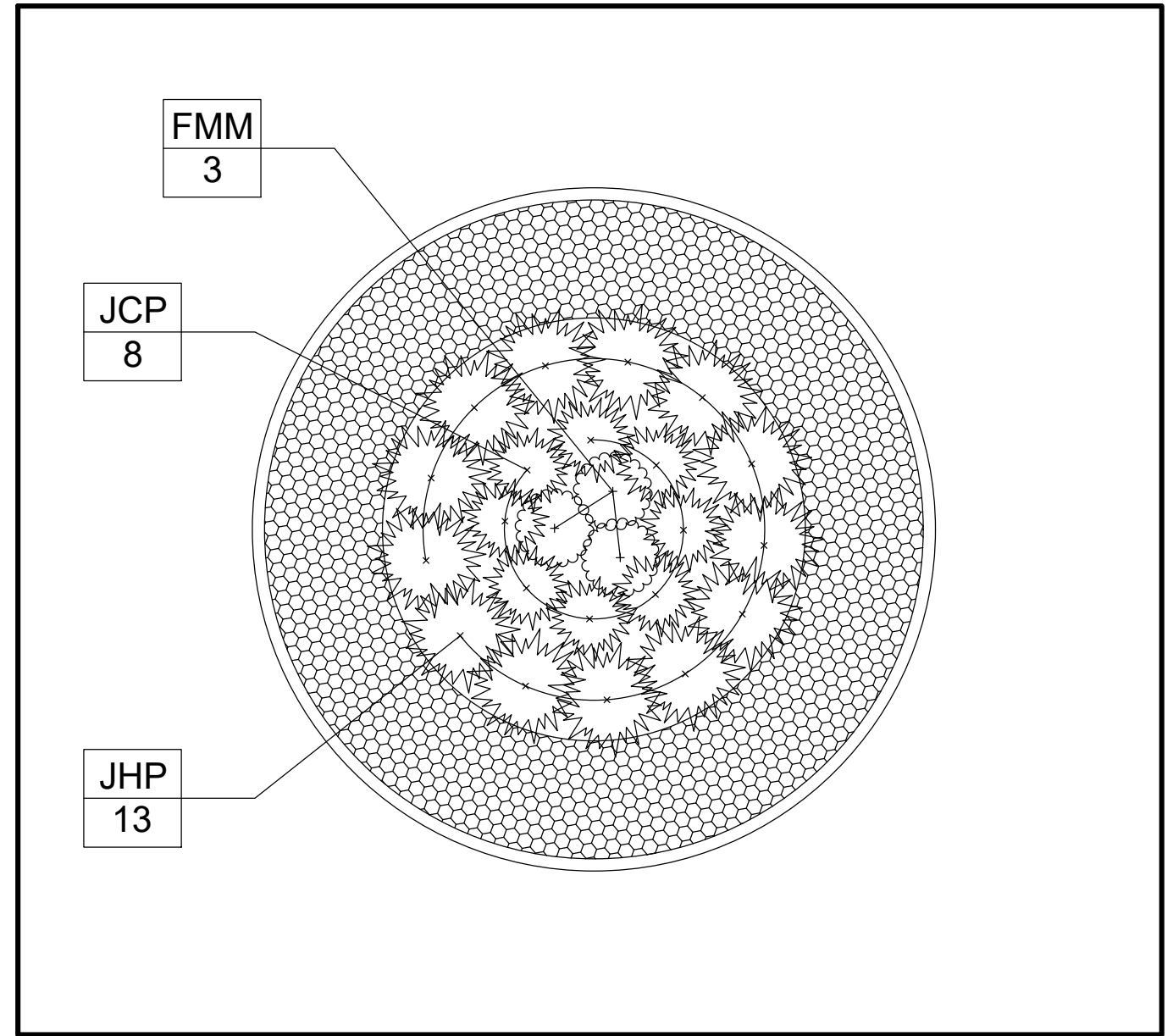
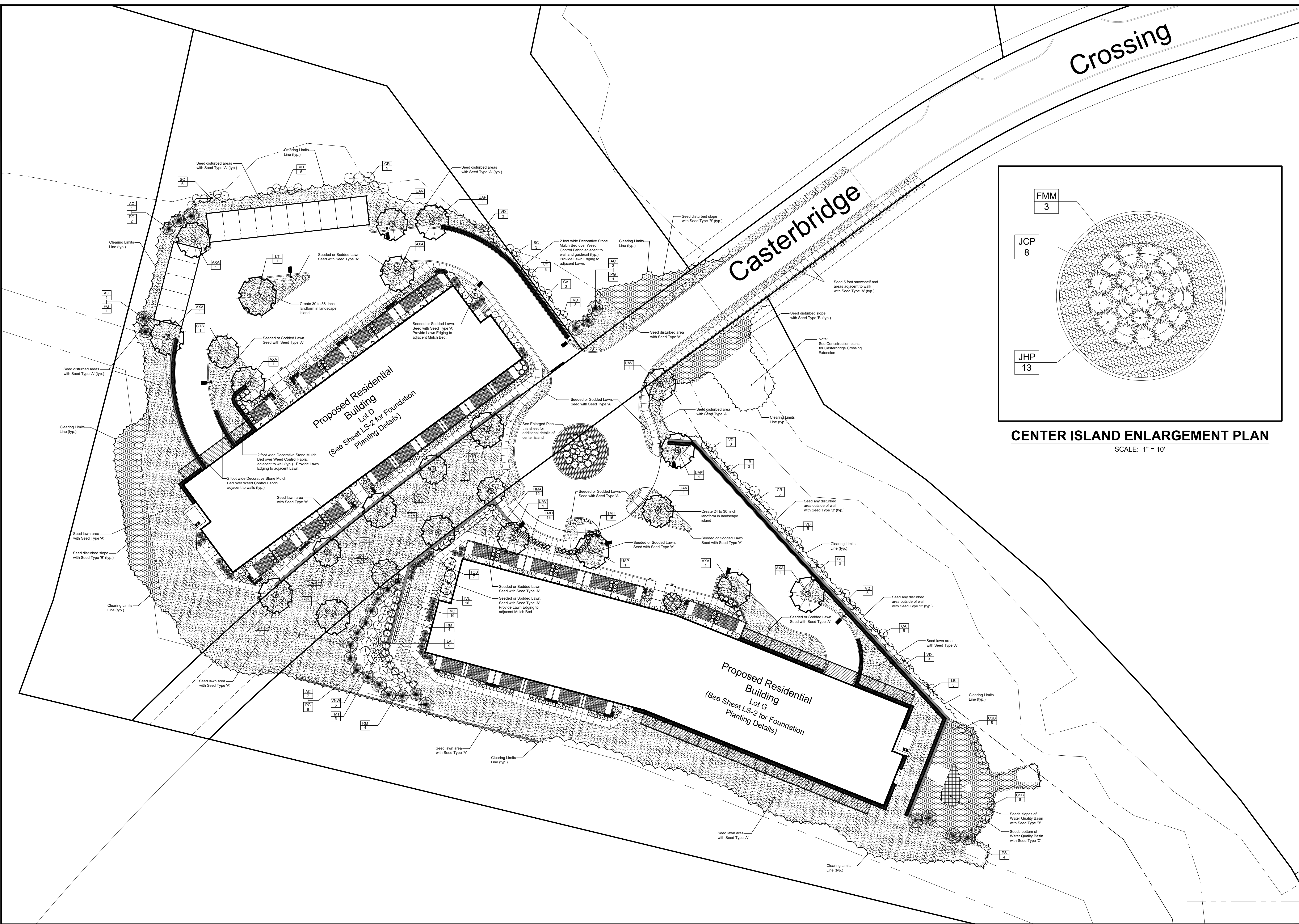
LAYOUT PLAN
 PREPARED FOR
CROWN PROPERTY HOLDINGS, LLC
 CASTERBRIDGE CROSSING
 SIMSBURY, CONNECTICUT

Revisions:
 No. Date Description
 1 12-15-2021 Planning & Zoning Submission

Date: 12-03-2021
 Scale: 1" = 30'
 Checked by: DSG
 Drawn by: KLL

Job no: 04174
 Sheet no: 1 OF 1
 Submittal: 2021-12-15 Planning and Zoning VAP LA-1

LA-1



CENTER ISLAND ENLARGEMENT PLAN
SCALE: 1" = 10'

Crown Simsbury

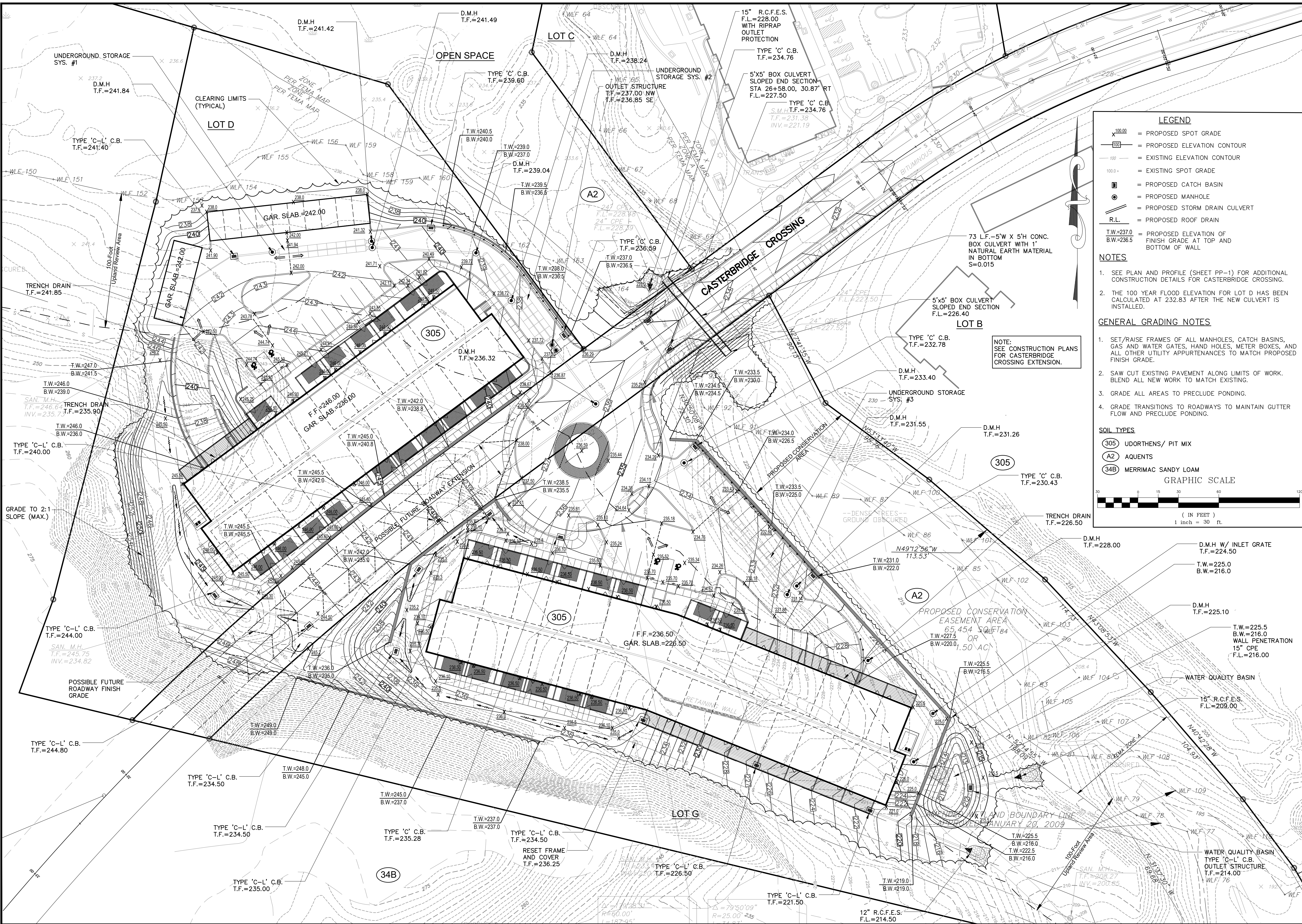
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LANDSCAPE PLAN
PREPARED FOR
CROWN PROPERTY HOLDINGS, LLC
CASTERBRIDGE CROSSING
SIMSBURY, CONNECTICUT

Revisions:
No. Date Description
1 12-15-2021 Planning and Zoning Submission

Date: 12-03-2021 Drawn by: KLL Job no: 04174
Scale: 1" = 30' Checked by: DSZ Sheet no: 1 of 3
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LS-1



LEGEND

- = PROPOSED SPOT GRADE
- = PROPOSED ELEVATION CONTOUR
- = EXISTING ELEVATION CONTOUR
- = EXISTING SPOT GRADE
- = PROPOSED CATCH BASIN
- = PROPOSED MANHOLE
- = PROPOSED STORM DRAIN CULVERT
- = PROPOSED ROOF DRAIN
- = PROPOSED ELEVATION OF FINISH GRADE AT TOP AND BOTTOM OF WALL

NOTES

- SEE PLAN AND PROFILE (SHEET PP-1) FOR ADDITIONAL CONSTRUCTION DETAILS FOR CASTERBRIDGE CROSSING.
- THE 100 YEAR FLOOD ELEVATION FOR LOT D HAS BEEN CALCULATED AT 232.83 AFTER THE NEW CULVERT IS INSTALLED.

GENERAL GRADING NOTES

- SET/RAISE FRAMES OF ALL MANHOLES, CATCH BASINS, GAS AND WATER GATES, HAND HOLES, METER BOXES, AND ALL OTHER UTILITY APPURTENANCES TO MATCH PROPOSED FINISH GRADE.
- SAW CUT EXISTING PAVEMENT ALONG LIMITS OF WORK. BLEND ALL NEW WORK TO MATCH EXISTING.
- GRADE ALL AREAS TO PRECLUDE PONDING.
- GRADE TRANSITIONS TO ROADWAYS TO MAINTAIN GUTTER FLOW AND PRECLUDE PONDING.

SOIL TYPES

- UDORTHENS/ PIT MIX
- AQUENTS
- MERRIMAC SANDY LOAM

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

Crown Simsbury

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com matrisheketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

FAH

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Revisions:

CROWN PROPERTY HOLDINGS, LLC
CASTERBRIDGE CROSSING
SIMSBURY, CONNECTICUT

Date: 12-03-2021 Drawn by: DRT Job no: 04174
Scale: 1" = 30' Checked by: DSZ Sheet no: 1 OF 1
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GR-1

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH AN APPROVED "EROSION AND SEDIMENT CONTROL PLAN" TO PREVENT OR MINIMIZE SOIL EROSION.
2. THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR. TOWN OFFICIALS SHALL BE NOTIFIED IN WRITING OF THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR THIS WORK (INCLUDING ANY CHANGES) AT THE REQUIRED PRE-CONSTRUCTION CONFERENCE.
3. THE CONTRACTOR SHALL USE THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002), AS AMENDED AS A GUIDE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS. THE GUIDELINES MAY BE OBTAINED FROM THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION STORE, 79 ELM STREET, HARTFORD, CT 06106.
4. THE CONTRACTOR SHALL SCHEDULE ALL OPERATIONS TO LIMIT DISTURBANCE TO THE SMALLEST PRACTICAL AREA FOR THE SHORTEST POSSIBLE TIME. OVERALL SITE DISTURBANCE SHALL BE CONFINED TO THOSE LIMITS DELINEATED ON THE PLANS.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY INSTALLATION, INSPECTION, REPAIR OR REPLACEMENT OF EROSION CONTROL DEVICES TO INSURE PROPER OPERATION.
6. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF UNSATISFACTORY EROSION CONDITIONS NOT CONTROLLED BY THE EROSION AND SEDIMENT CONTROL PLAN AND SHALL INSTALL ADDITIONAL MEASURES AS REQUIRED.

7. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVEMENT, MULCH, PERMANENT RIP RAP EROSION CONTROL, OR GROUND COVER PLANTINGS SHALL BE PLANTED WITH GRASS.
8. ACCUMULATED SEDIMENT REMOVED FROM EROSION CONTROL DEVICES IS TO BE SPREAD AND STABILIZED IN LEVEL, EROSION RESISTANT LOCATIONS AS GENERAL FILL.
9. SPECIAL ATTENTION SHALL BE GIVEN TO THE CONSTRUCTION SEQUENCE AND PHASING OUTLINED ON THESE PLANS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY CONSTRUCTION DEBRIS OR SEDIMENT FROM EXISTING ROADS AS ORDERED BY THE TOWN AND/OR STATE, IF ANY DEBRIS OR SEDIMENT FROM CONSTRUCTION ACTIVITIES ENTER ONTO THESE ROADWAYS.
11. ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OR STATE STAFF DURING CONSTRUCTION SHALL BE IMPLEMENTED BY THE CONTRACTOR. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND/OR REPLACEMENT OF ALL REQUIRED CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF THE TOWN OR STATE.
12. SEE DETAIL AND NOTE SHEETS FOR ADDITIONAL DETAILS AND NOTES AND FOR CONSTRUCTION PHASING PLANS.
13. IN AREAS WHERE LIMITS OF DISTURBANCE ARE NOT DELINEATED BY SILT FENCE, INSTALL CONSTRUCTION FENCE FOR TREE PROTECTION AND DELINEATION OF LIMIT OF DISTURBANCE.
14. REFER TO SHEET NT-1 FOR ADDITIONAL NOTES.

LEGEND - PROPOSED

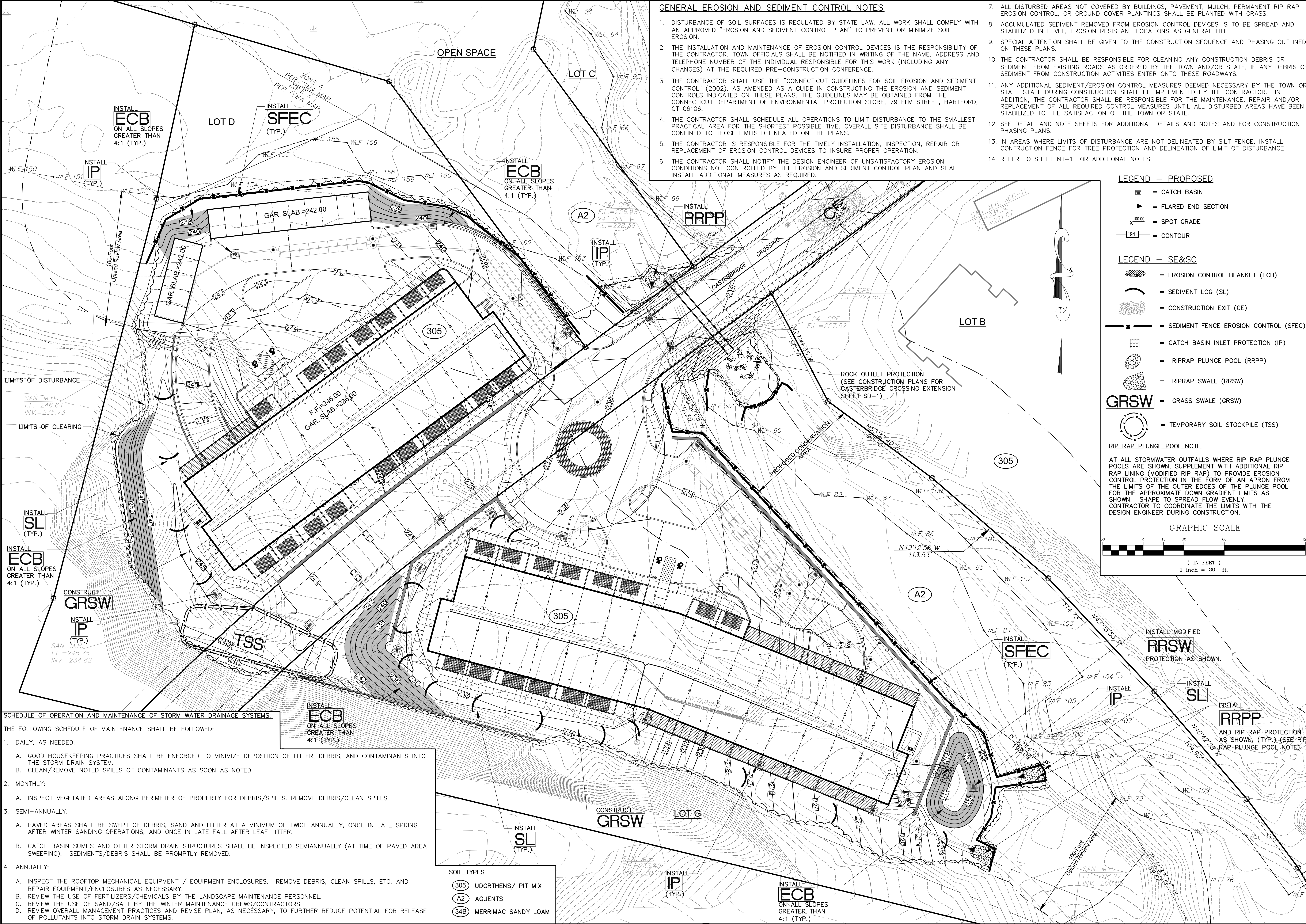
- ☐ = CATCH BASIN
 - ▶ = FLARED END SECTION
 - x 100.00 = SPOT GRADE
 - 184— = CONTOUR
- LEGEND - SE&SC**
- ▨ = EROSION CONTROL BLANKET (ECB)
 -) = SEDIMENT LOG (SL)
 - ▨ = CONSTRUCTION EXIT (CE)
 - x— = SEDIMENT FENCE EROSION CONTROL (SFEC)
 - ▨ = CATCH BASIN INLET PROTECTION (IP)
 - ▨ = RIPRAP PLUNGE POOL (RRPP)
 - ▨ = RIPRAP SWALE (RRSW)
 - GRSW = GRASS SWALE (GRSW)
 - ⊙ = TEMPORARY SOIL STOCKPILE (TSS)

RIP RAP PLUNGE POOL NOTE

AT ALL STORMWATER OUTFALLS WHERE RIP RAP PLUNGE POOLS ARE SHOWN, SUPPLEMENT WITH ADDITIONAL RIP RAP LINING (MODIFIED RIP RAP) TO PROVIDE EROSION CONTROL PROTECTION IN THE FORM OF AN APRON FOR THE LIMITS OF THE OUTER EDGES OF THE PLUNGE POOL FOR THE APPROXIMATE DOWN GRADIENT LIMITS AS SHOWN. SHAPE TO SPREAD FLOW EVENLY. CONTRACTOR TO COORDINATE THE LIMITS WITH THE DESIGN ENGINEER DURING CONSTRUCTION.

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.



SCHEDULE OF OPERATION AND MAINTENANCE OF STORM WATER DRAINAGE SYSTEMS:

- THE FOLLOWING SCHEDULE OF MAINTENANCE SHALL BE FOLLOWED:
1. DAILY, AS NEEDED:
 - A. GOOD HOUSEKEEPING PRACTICES SHALL BE ENFORCED TO MINIMIZE DEPOSITION OF LITTER, DEBRIS, AND CONTAMINANTS INTO THE STORM DRAIN SYSTEM.
 - B. CLEAN/REMOVE NOTED SPILLS OF CONTAMINANTS AS SOON AS NOTED.
 2. MONTHLY:
 - A. INSPECT VEGETATED AREAS ALONG PERIMETER OF PROPERTY FOR DEBRIS/SPILLS. REMOVE DEBRIS/CLEAN SPILLS.
 3. SEMI-ANNUALLY:
 - A. PAVED AREAS SHALL BE SWEEPED OF DEBRIS, SAND AND LITTER AT A MINIMUM OF TWICE ANNUALLY, ONCE IN LATE SPRING AFTER WINTER SANDING OPERATIONS, AND ONCE IN LATE FALL AFTER LEAF LITTER.
 - B. CATCH BASIN SUMPS AND OTHER STORM DRAIN STRUCTURES SHALL BE INSPECTED SEMIANNUALLY (AT TIME OF PAVED AREA SWEEPING). SEDIMENTS/DEBRIS SHALL BE PROMPTLY REMOVED.
 4. ANNUALLY:
 - A. INSPECT THE ROOFTOP MECHANICAL EQUIPMENT / EQUIPMENT ENCLOSURES. REMOVE DEBRIS, CLEAN SPILLS, ETC. AND REPAIR EQUIPMENT/ENCLOSURES AS NECESSARY.
 - B. REVIEW THE USE OF FERTILIZERS/CHEMICALS BY THE LANDSCAPE MAINTENANCE PERSONNEL.
 - C. REVIEW THE USE OF SAND/SALT BY THE WINTER MAINTENANCE CREWS/CONTRACTORS.
 - D. REVIEW OVERALL MANAGEMENT PRACTICES AND REVISE PLAN, AS NECESSARY, TO FURTHER REDUCE POTENTIAL FOR RELEASE OF POLLUTANTS INTO STORM DRAIN SYSTEMS.

SOIL TYPES

305	UDORTHENS/ PIT MIX
A2	AQUENTS
34B	MERRIMAC SANDY LOAM

Crown Simsbury

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3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com mail@fahsketh.com

FAH

CROWN PROPERTY HOLDINGS, LLC
Simsbury, Connecticut
Casterbridge Crossing

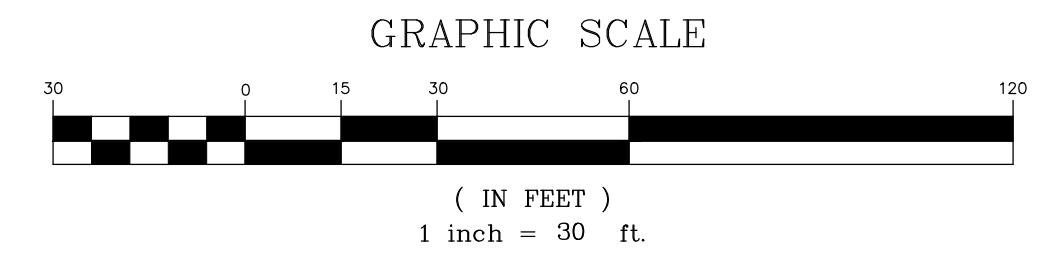
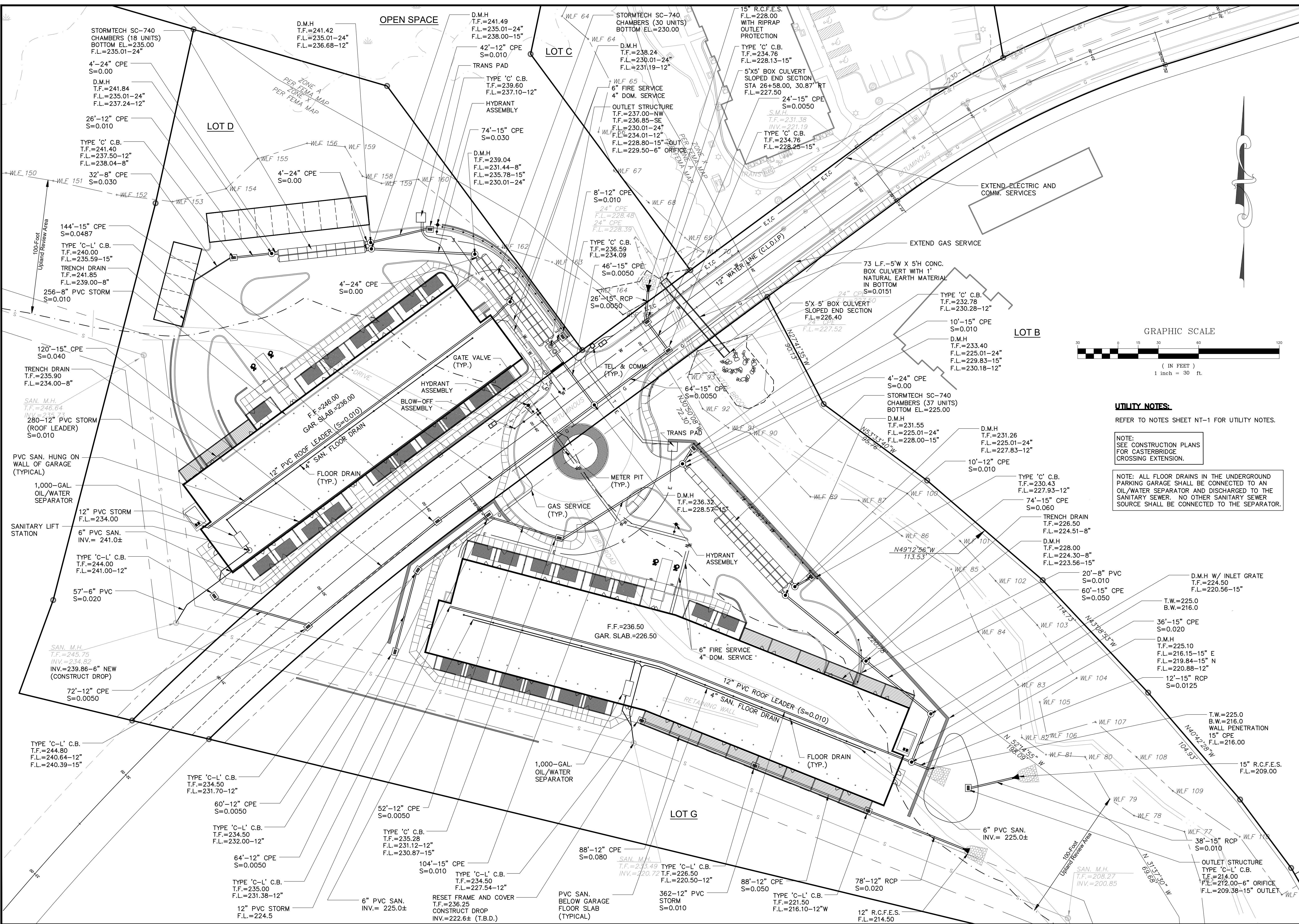
EC-1

No.	Date	Description
1	12-15-2021	Planning & Zoning Submission

Revisions:

Scale: 1" = 30'
Date: 12-03-2021
Checked by: DSZ
Drawn by: ERN
Job no: 04174
Sheet no: 7 OF 7

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UTILITY NOTES:
REFER TO NOTES SHEET NT-1 FOR UTILITY NOTES.

NOTE:
SEE CONSTRUCTION PLANS FOR CASTERBRIDGE CROSSING EXTENSION.

NOTE: ALL FLOOR DRAINS IN THE UNDERGROUND PARKING GARAGE SHALL BE CONNECTED TO AN OIL/WATER SEPARATOR AND DISCHARGED TO THE SANITARY SEWER. NO OTHER SANITARY SEWER SOURCE SHALL BE CONNECTED TO THE SEPARATOR.

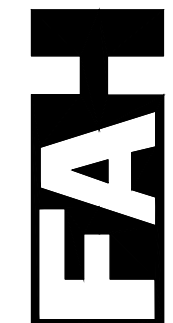
No.	Date	Description	Revisions:
1	12-15-2021	Planning & Zoning Submission	

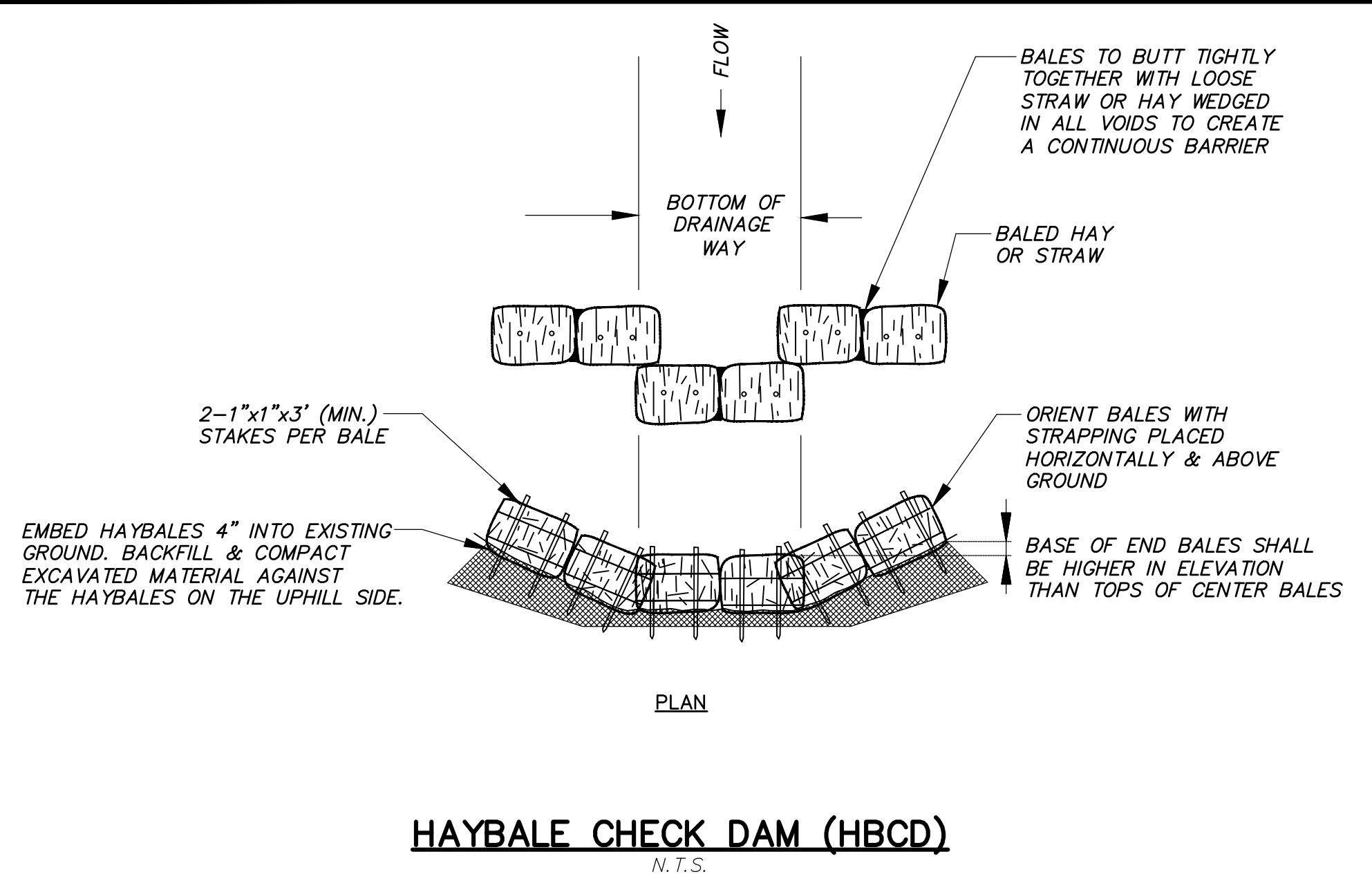
DRAINAGE AND UTILITY PLAN
PREPARED FOR
CROWN PROPERTY HOLDINGS, LLC
CASTERBRIDGE CROSSING
SIMSBURY, CONNECTICUT

Date: 12-03-2021 Drawn by: DRT Job no: 04174
Scale: 1" = 30' Checked by: DSZ Sheet no: 1 OF 1
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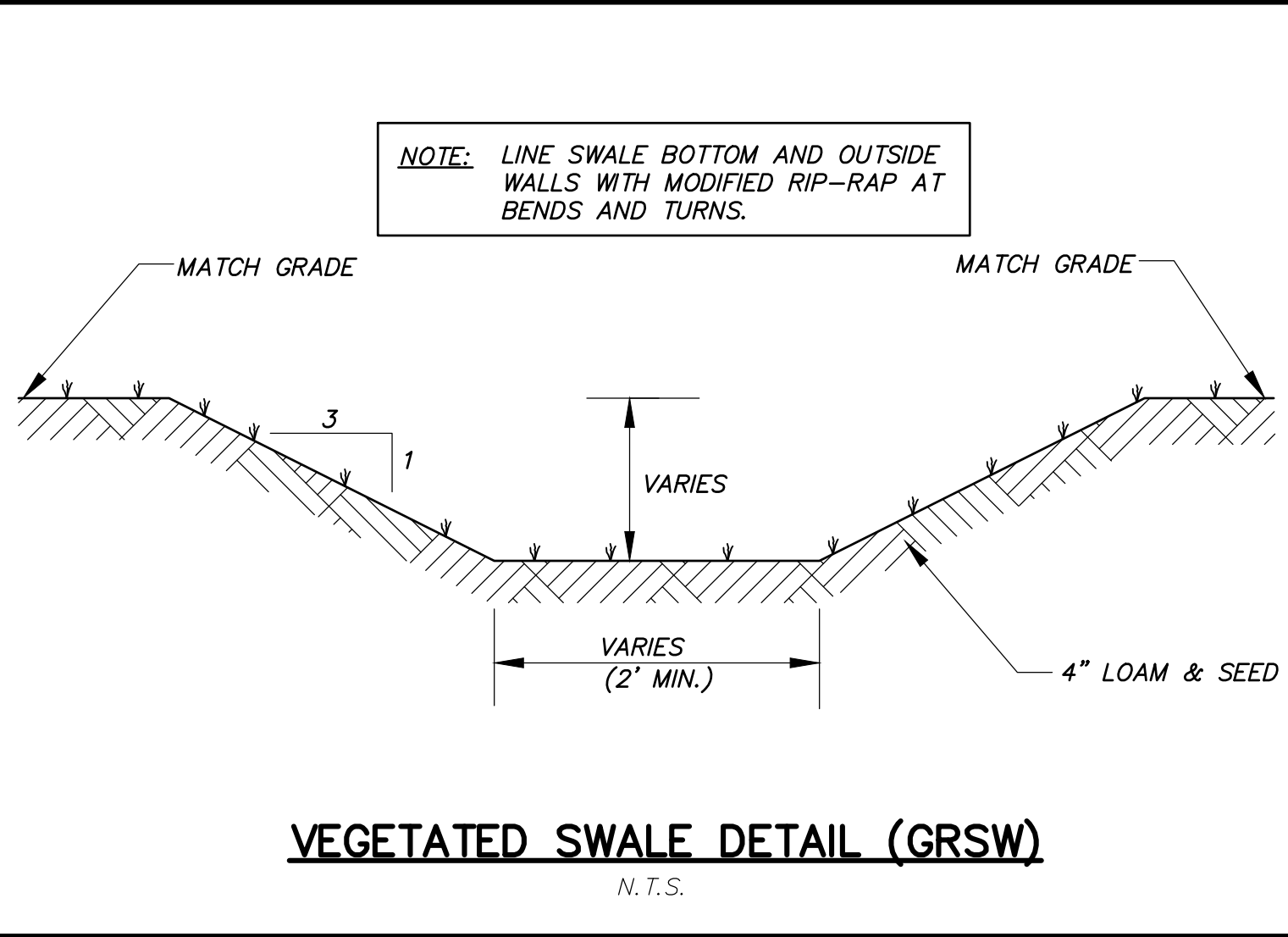
UT-1

Crown Simsbury
F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 644-8600
www.fahsketh.com mail@fahsketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

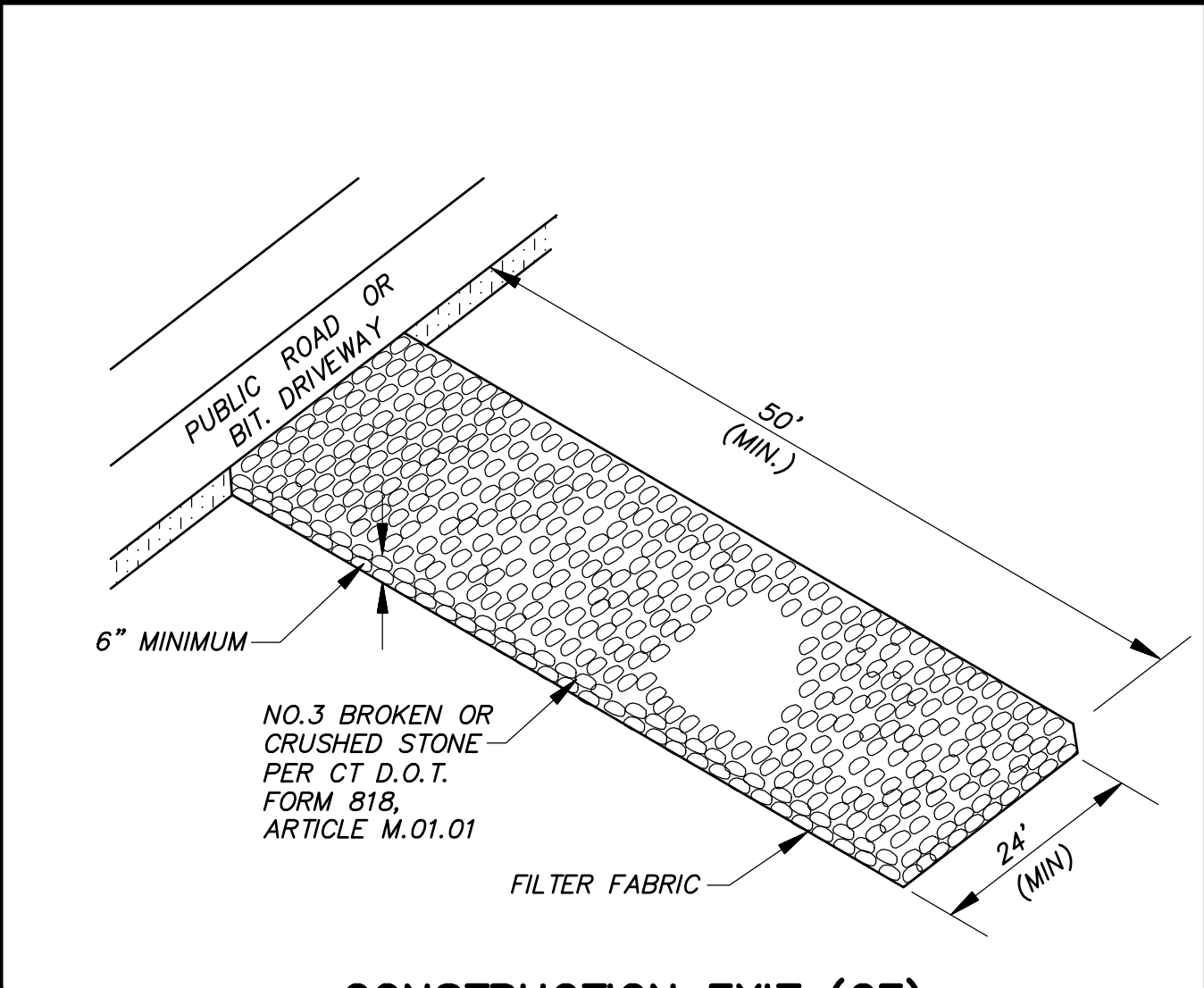




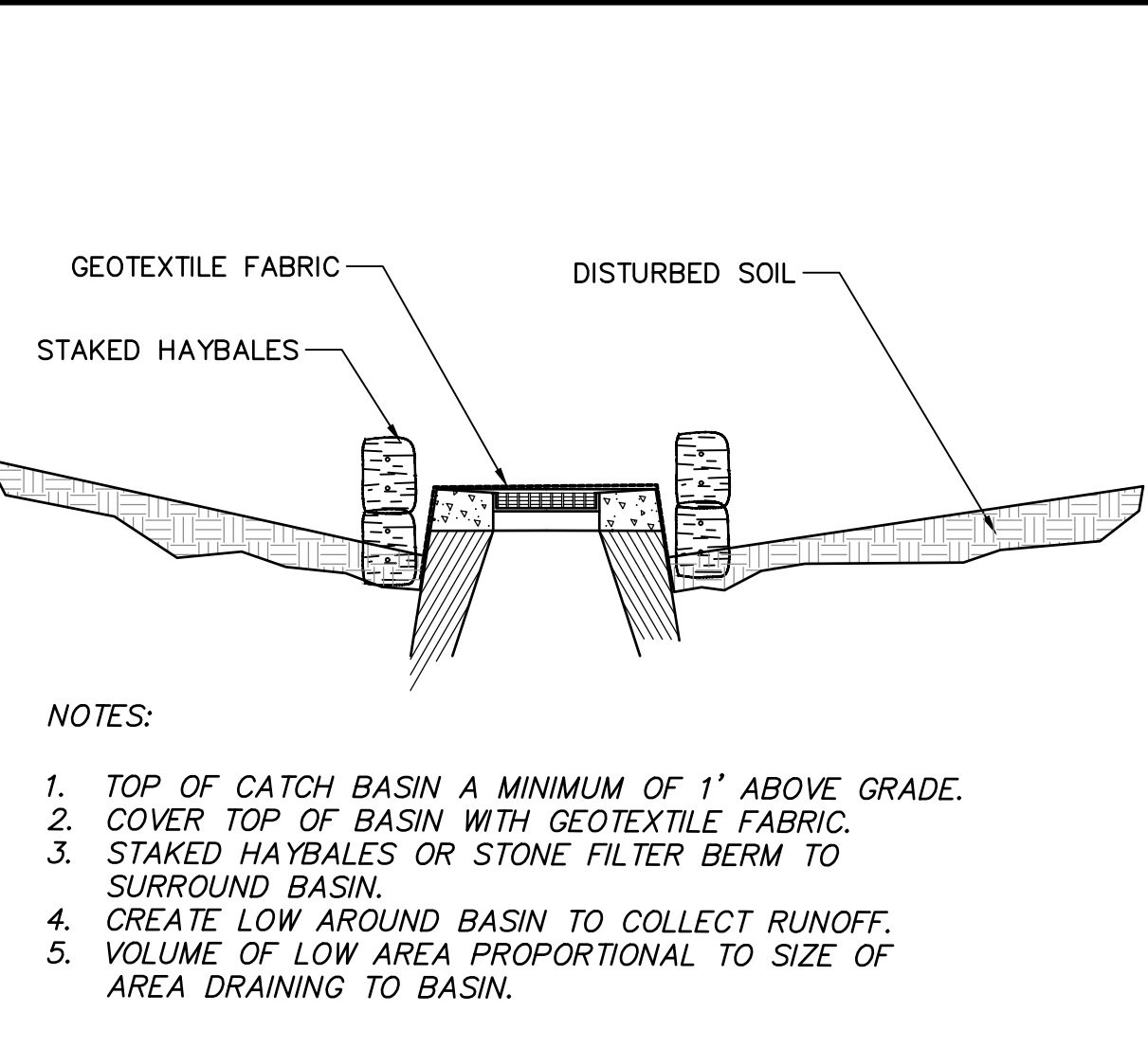
HAYBALE CHECK DAM (HBCD)
N.T.S.



VEGETATED SWALE DETAIL (GRSW)
N.T.S.

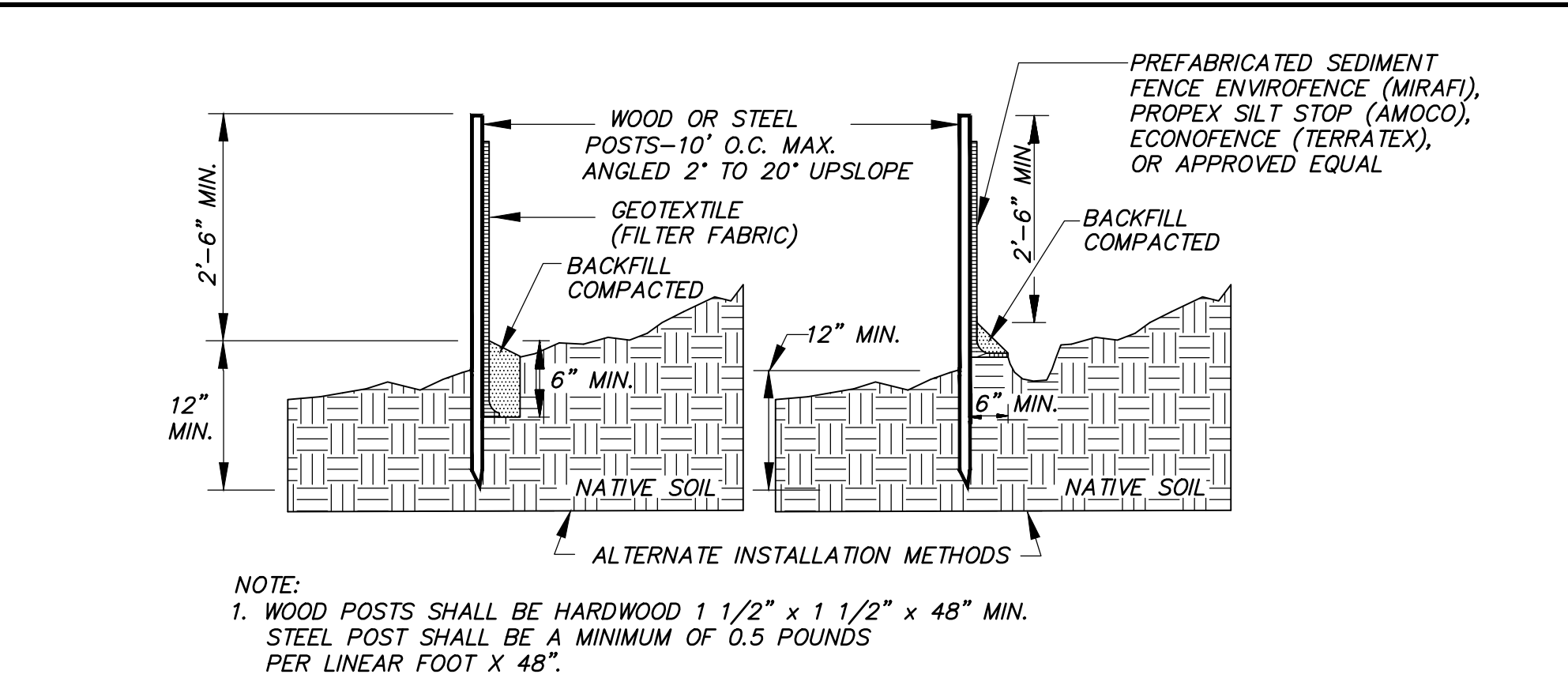


CONSTRUCTION EXIT (CE)
N.T.S.



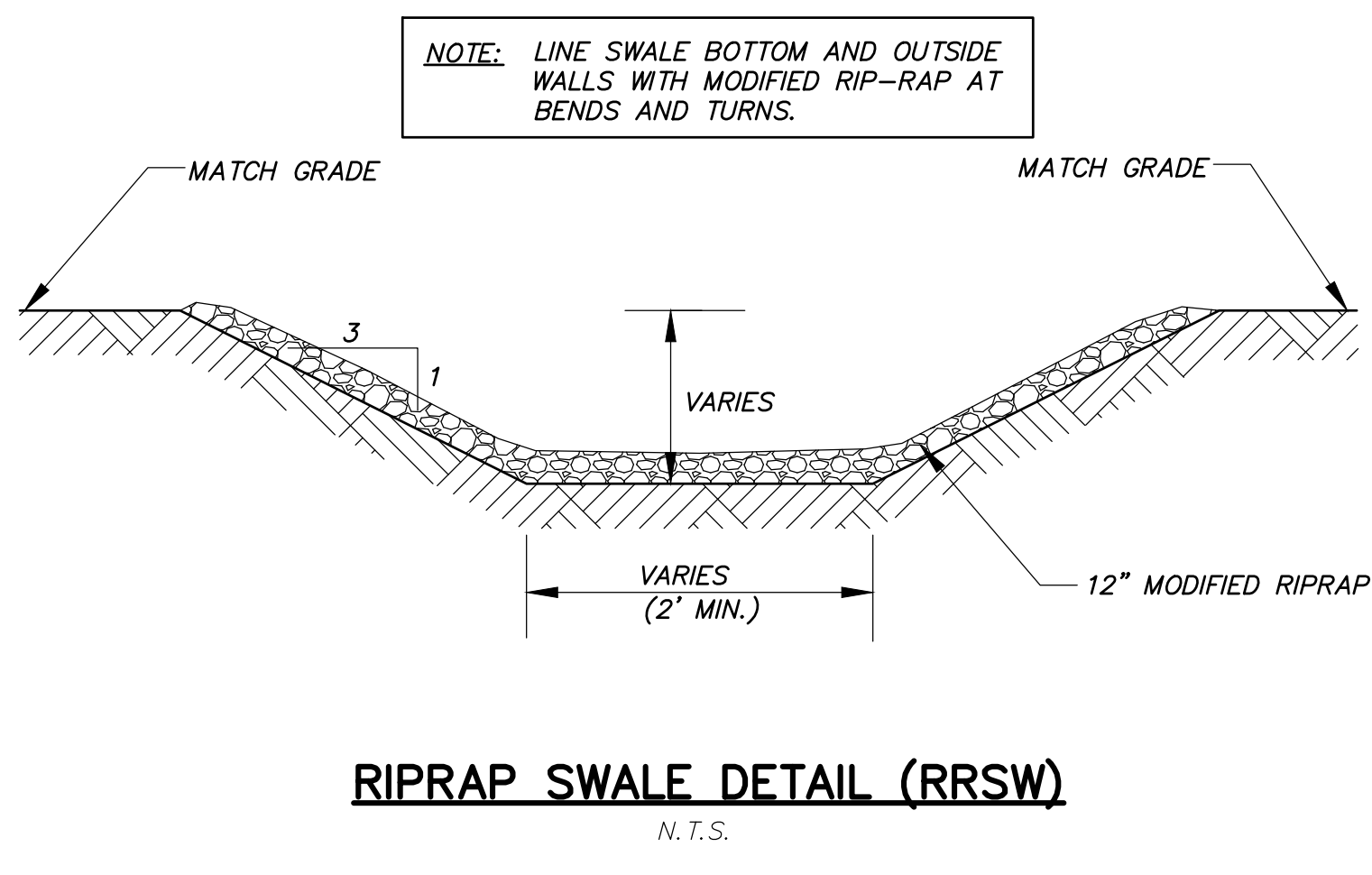
- NOTES:
1. TOP OF CATCH BASIN A MINIMUM OF 1' ABOVE GRADE.
 2. COVER TOP OF BASIN WITH GEOTEXTILE FABRIC.
 3. STAKED HAYBALES OR STONE FILTER BERM TO SURROUND BASIN.
 4. CREATE LOW AROUND BASIN TO COLLECT RUNOFF.
 5. VOLUME OF LOW AREA PROPORTIONAL TO SIZE OF AREA DRAINING TO BASIN.

TEMP. SEDIMENT TRAP AT CATCH BASIN
N.T.S.

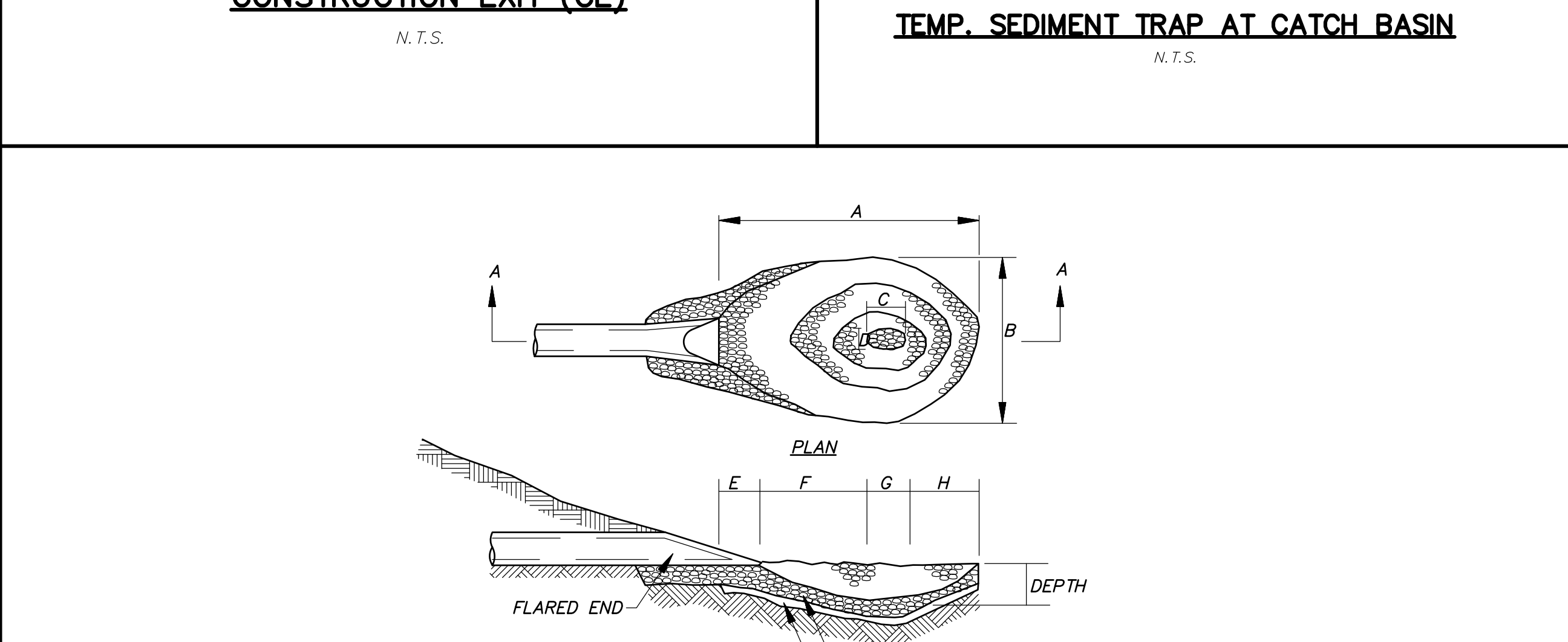


- NOTE:
1. WOOD POSTS SHALL BE HARDWOOD 1 1/2" x 1 1/2" x 48" MIN. STEEL POST SHALL BE A MINIMUM OF 0.5 POUNDS PER LINEAR FOOT X 48".
 2. JOINTS, WHEN REQUIRED, SHALL BE SPLICED & SECURELY SEALED TOGETHER, AT POST LOCATIONS ONLY, WITH A MINIMUM 6" OVERLAP.

SEDIMENT FENCE EROSION CONTROL (SFEC)
N.T.S.

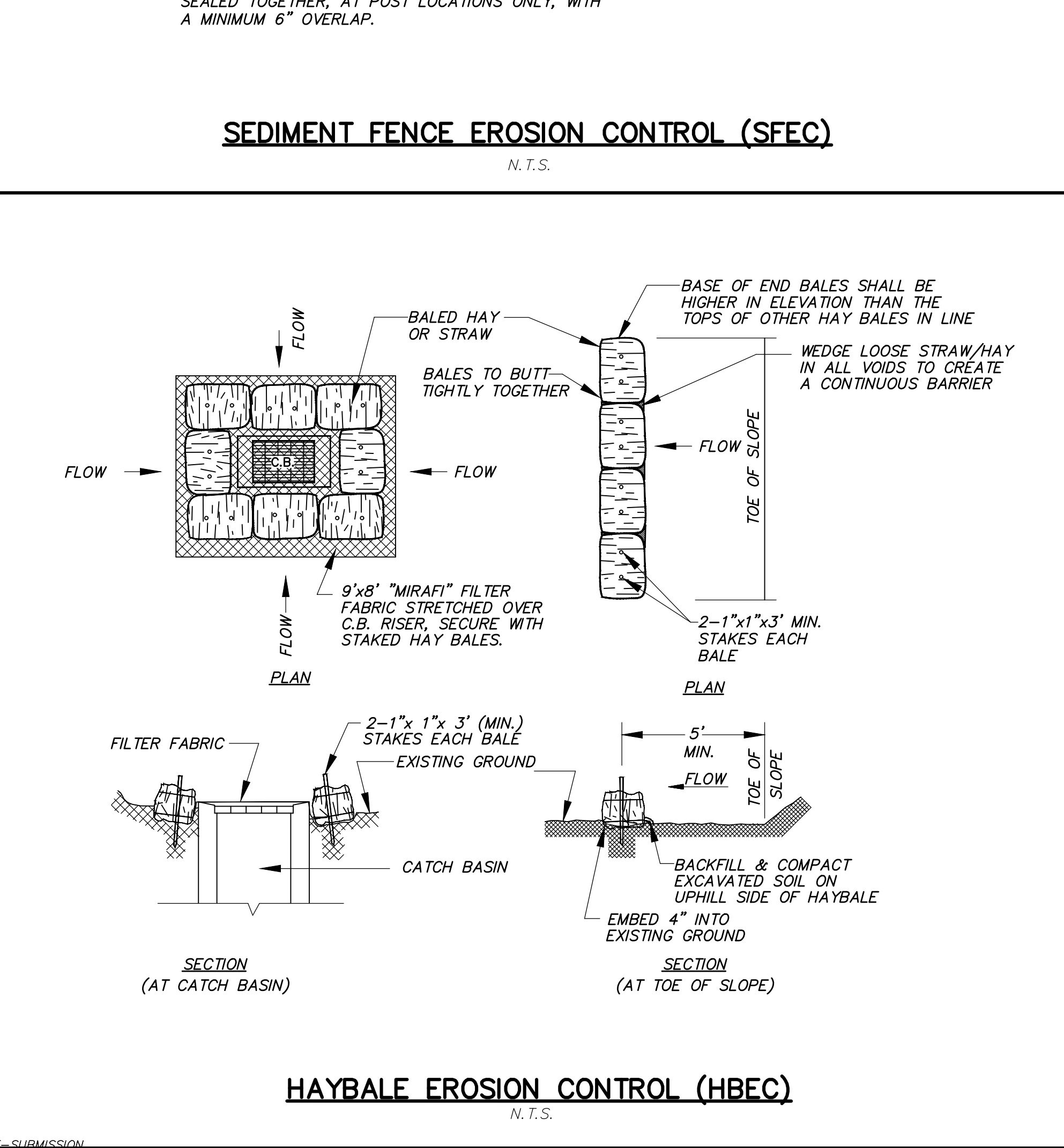


RIPRAP SWALE DETAIL (RRSW)
N.T.S.



PIPE SIZE	A	B	C	D	E	F	G	H	WT. RIPRAP TONS.	DEPTH
12"	8'	6'	1 1/2'	1'	1'	3 1/2'	1 1/2'	2'	4.5	1'-0"
15"	10'	7'	1 1/2'	1'	1'	4 1/2'	1 1/2'	3'	6	1'-0"
18"	12'	8'	2'	1'	1'	5'	2'	4'	8	1'-4"
21"	15'	9'	2 1/2'	1 1/2'	1'	7'	2 1/2'	4 1/2'	12	1'-6"
24"	17'	10'	2 1/2'	1 1/2'	1'	8'	2 1/2'	5 1/2'	15	1'-10"

RIPRAP PLUNGE POOL (RRPP)
N.T.S.



HAYBALE EROSION CONTROL (HBEC)
N.T.S.

Waterway Installation

1. Always lay jute in the direction of water flow.
2. Jute staples are needed in waterways. Staples must be driven flush with soil surface.
3. Check slots should be placed every 25' to 50' depending on the velocity of the water flow. A row of staples should be placed on either side of the check slot.
4. Provide drains as needed.

Helpful Hints

- Keep dry in storage. When ready to lay ANTIWASH®/GEOJUTE®, loosely, do not stretch.
- Check slots may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.
- TO ESTABLISH A CHECK SLOT:
 1. Dig 6" deep trench perpendicular to water flow.
 2. Roll ANTIWASH®/GEOJUTE® in two or three folds (see diagram) and set into trench.
 3. Staple fabric securely in bottom of trench and continue rolling down hill.
- Because ANTIWASH®/GEOJUTE® has 60 to 65% of open area, additional seed can be broadcast over the matting to cover bare spots that may appear due to improper seeding or poor germination.
- Recommended usage: Approximately 200 staples per 100 sq. yds.

Specifications

Property	Results
Fabric structure	Woven
Yarn	3/16" undyed and unbleached
Fabric width	48"
Weight	52 lbs./yd ²
Yarn count/kip	70 per width, minimum
Wet	42 per linear yard, minimum
Water Absorption	>450% of fabric weight
Open Area	60-65%
Durability	1-2 years
Coverage	approximately 50 rolls per acre (using 100 yd rolls)

Staples

Type	Weight per Carton	Staples per Carton
11 gauge 6"	43 lbs.	1000
8 gauge 6"	39 lbs.	500
8 gauge 8"	50 lbs.	500

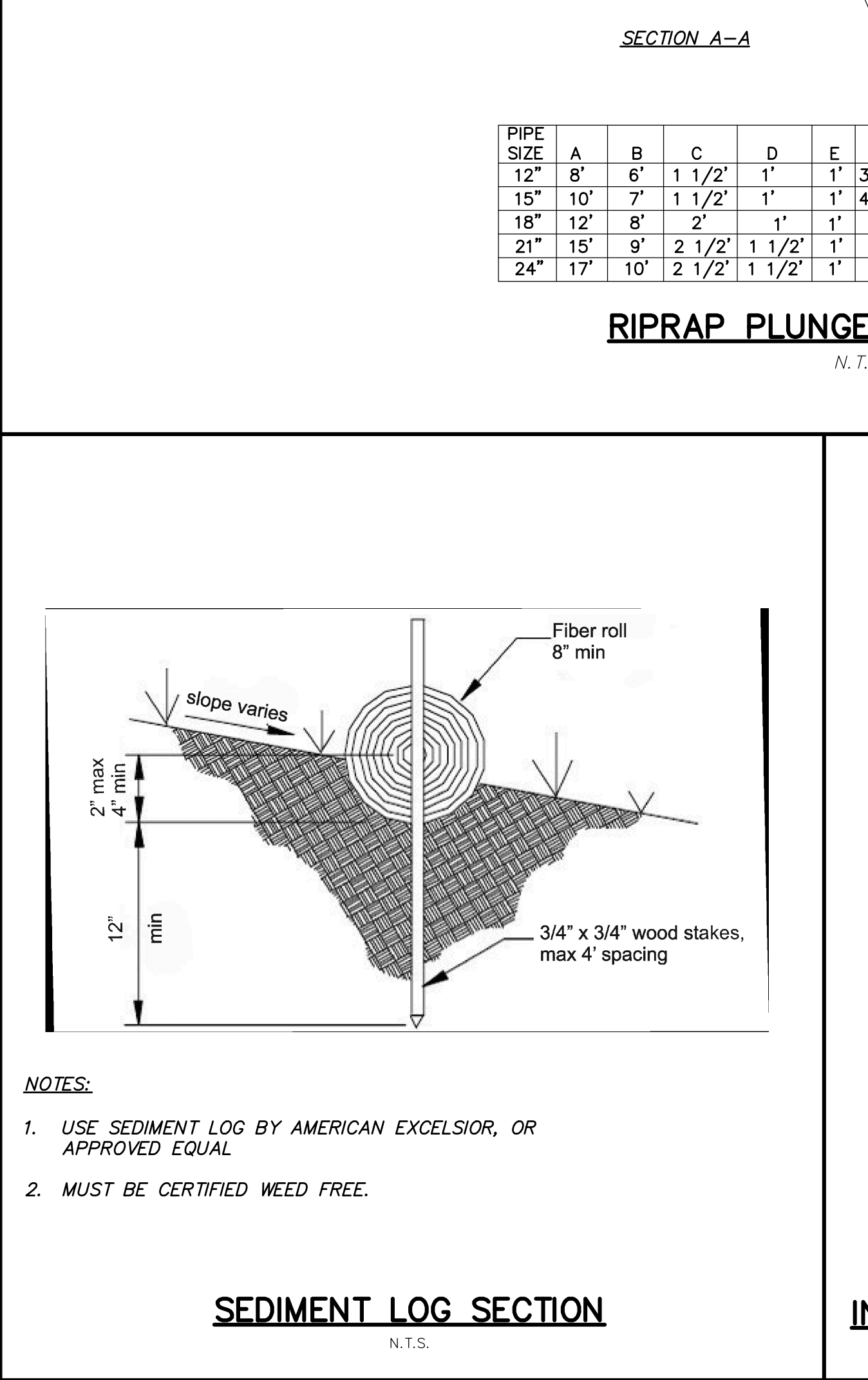
Roll Packaging

Width x length	Type	Sq. Yards	Weight
48" x 225'	Regular	100	92 lbs.
48" x 225'	Smolder resistant	100	97 lbs.
48" x 147'	LPS size roll	65	60 lbs.

Roll Installation

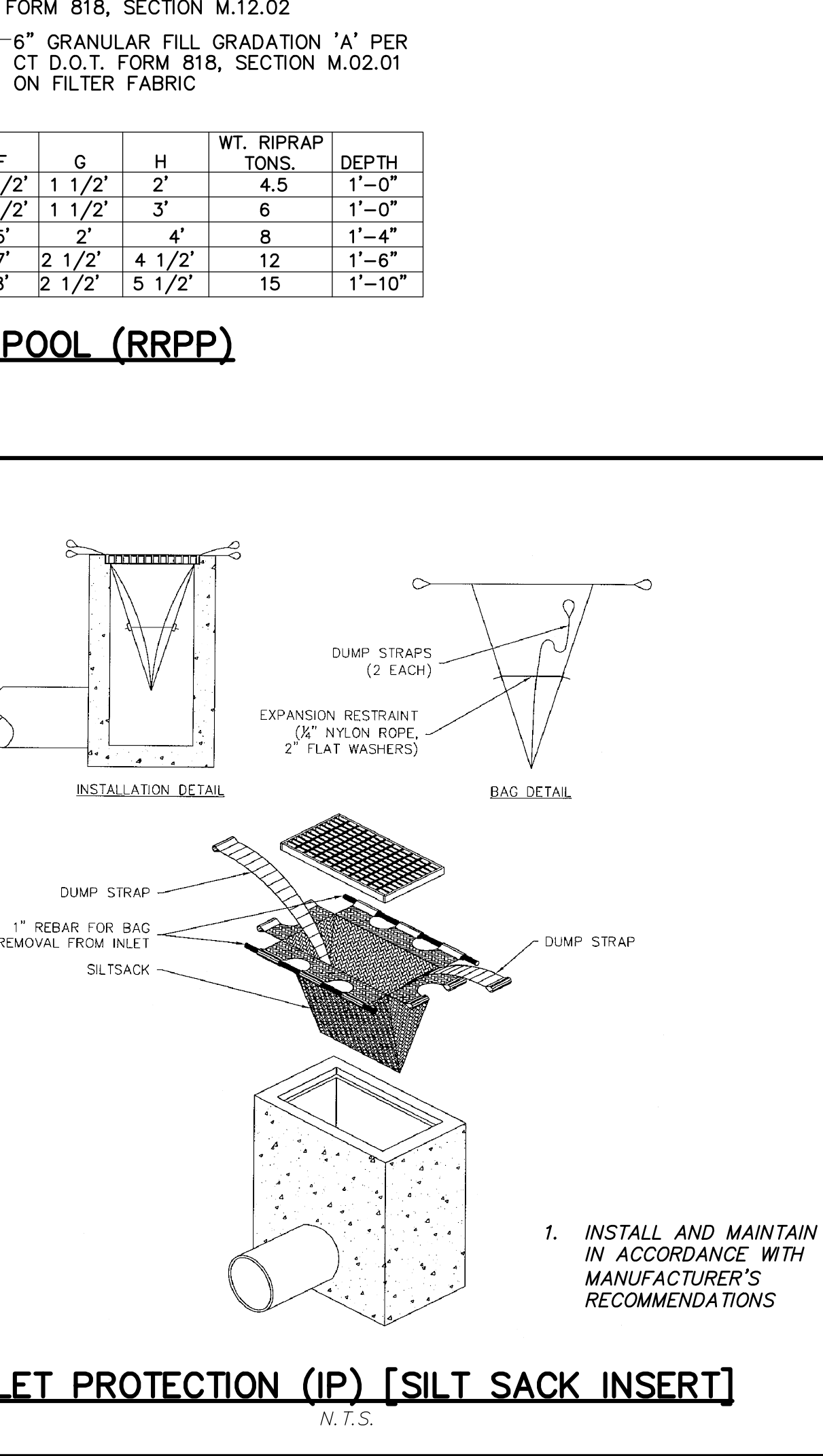
NOTE: USE ANTI-WASH/GEOJUTE PRODUCT OR APPROVED EQUAL

EROSION CONTROL BLANKET (ECB)
N.T.S.



- NOTES:
1. USE SEDIMENT LOG BY AMERICAN EXCELSIOR, OR APPROVED EQUAL.
 2. MUST BE CERTIFIED WEED FREE.

SEDIMENT LOG SECTION
N.T.S.



INLET PROTECTION (IP) [SILT SACK INSERT]
N.T.S.

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F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com · maffra@sketh.com

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No.	Date	Description

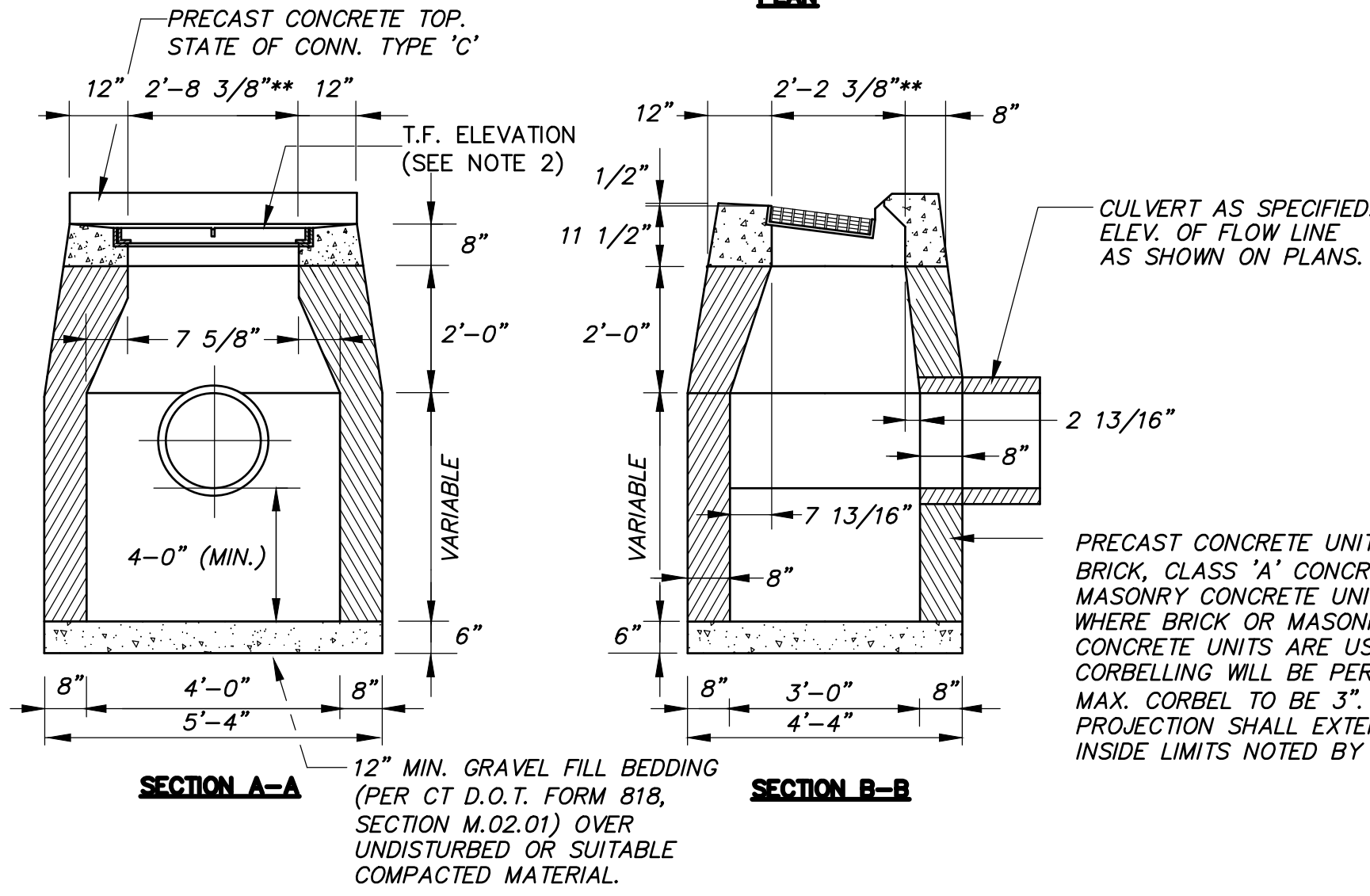
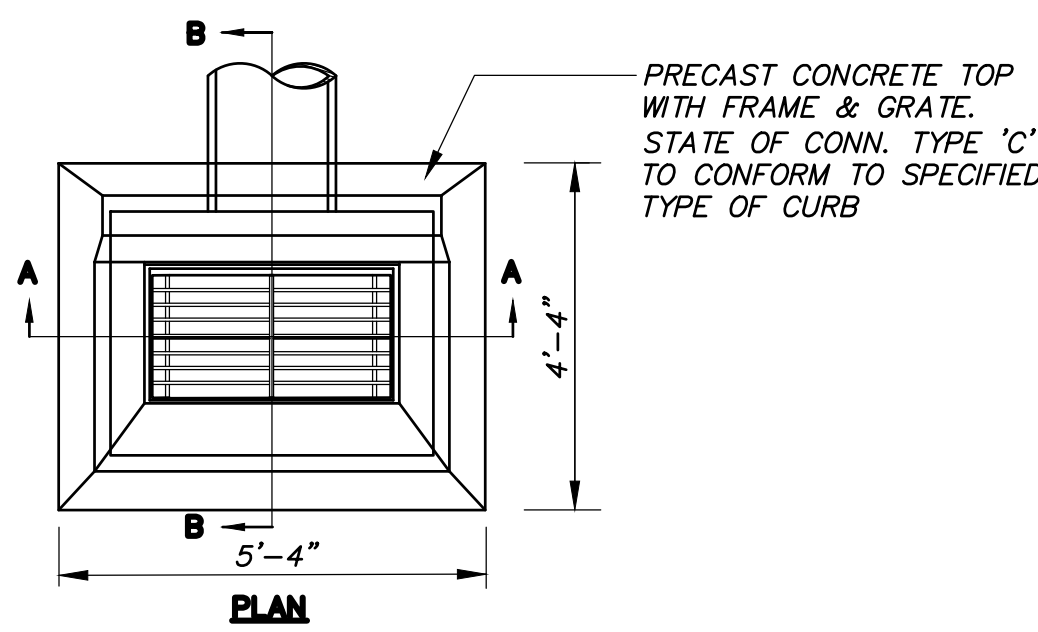
CROWN PROPERTY HOLDINGS, LLC
CASTERIDGE CROSSING
SIMSBURY, CONNECTICUT

Job no: 04174
Drawn by: ERN
Checked by: DSZ
Sheet no: 1 OF 5
Date: 12-03-2021
Scale: N.T.S.
Submitted: 12-24-2021

SD-1

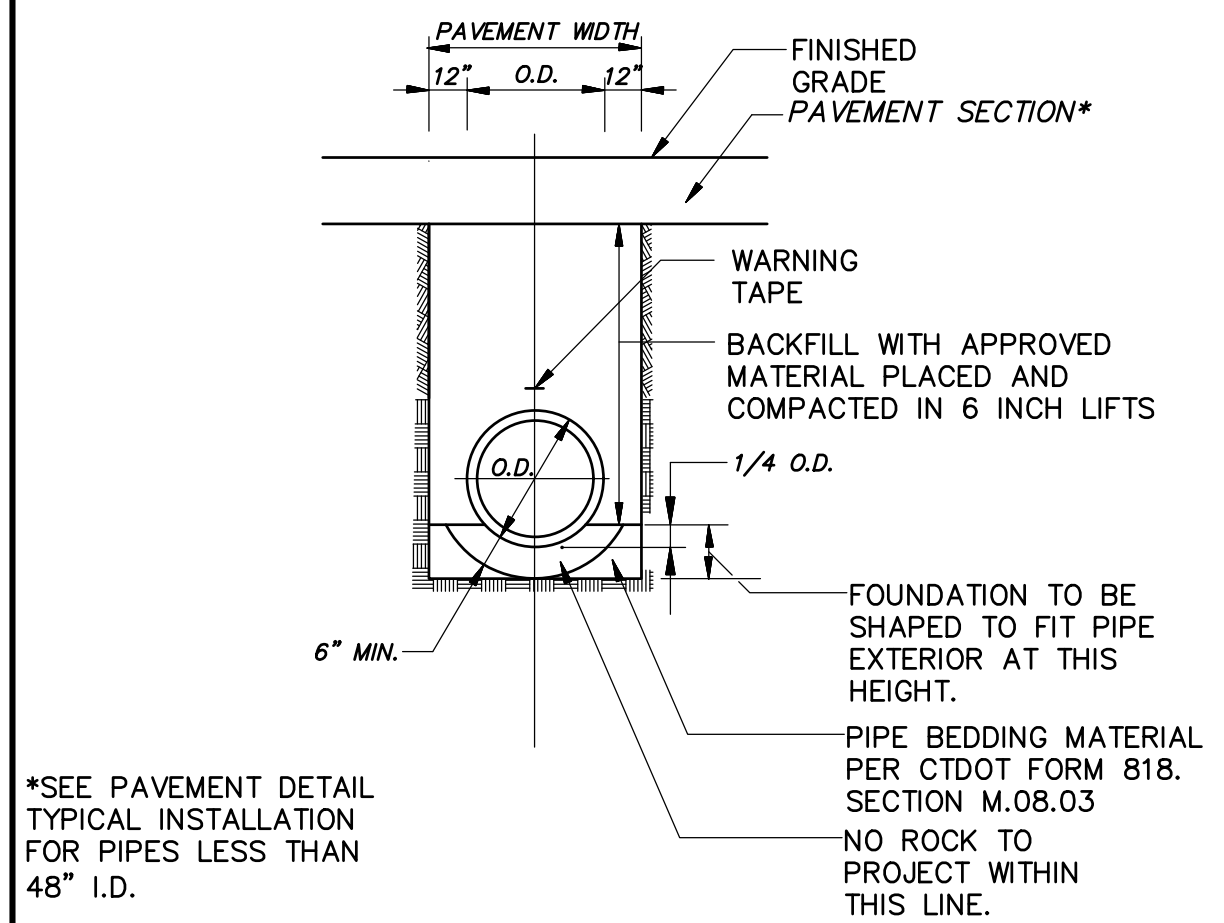
NOTES:

1. ALL MATERIALS SHALL CONFORM TO CT D.O.T. FORM 818, SECTION M.08.02
2. T.F. ELEV. SHOWN ON PLAN IS TOP-OF-FRAME ELEVATION OF THE CATCH BASIN GRATE AT THE GUTTERLINE. THIS T.F. ELEV. IS 2-INCHES BELOW GUTTERLINE ELEVATION AT CURB LINE.
3. UNLESS NOTED OTHERWISE, SUMPS SHALL BE 2.0' MINIMUM.
4. INSTALL TRAP HOODS ON OUTLETS.



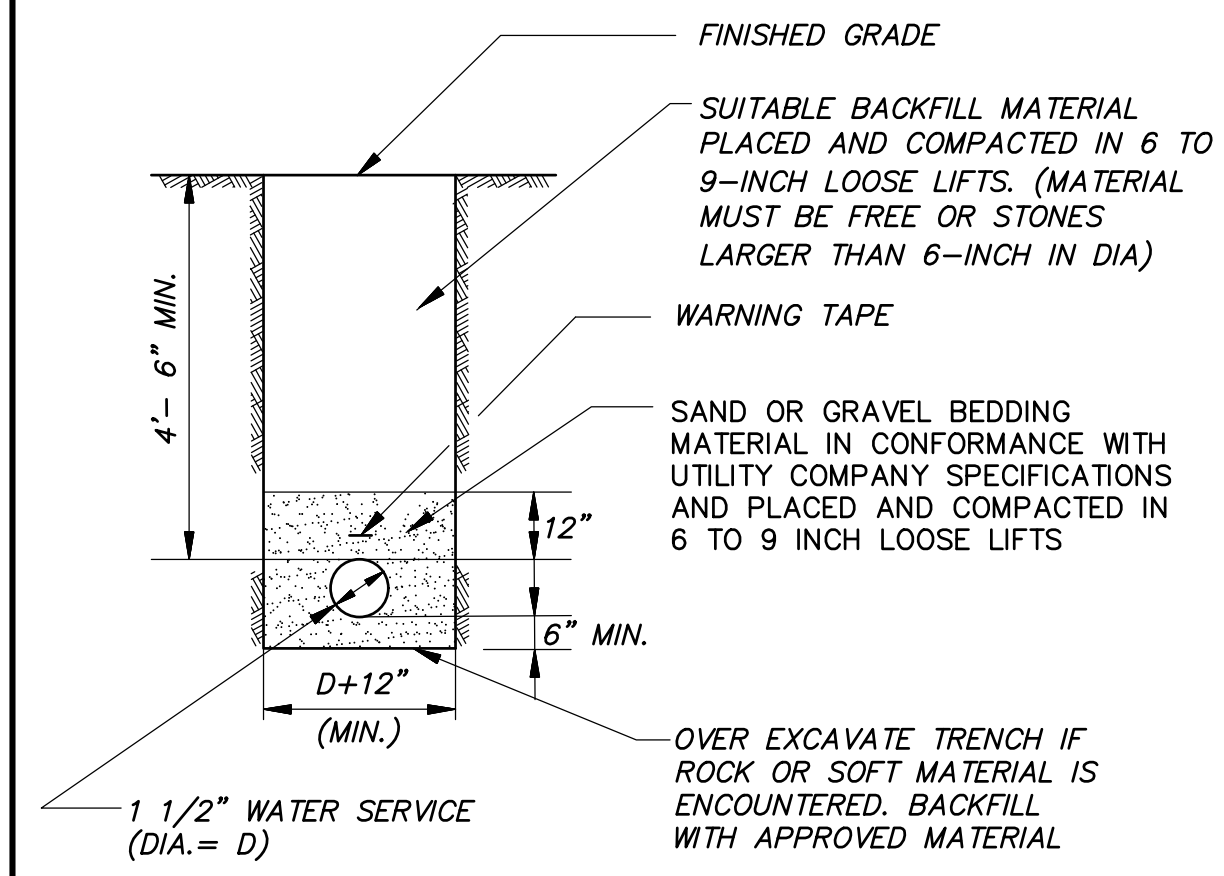
TYPE 'C' CATCH BASIN

N.T.S.



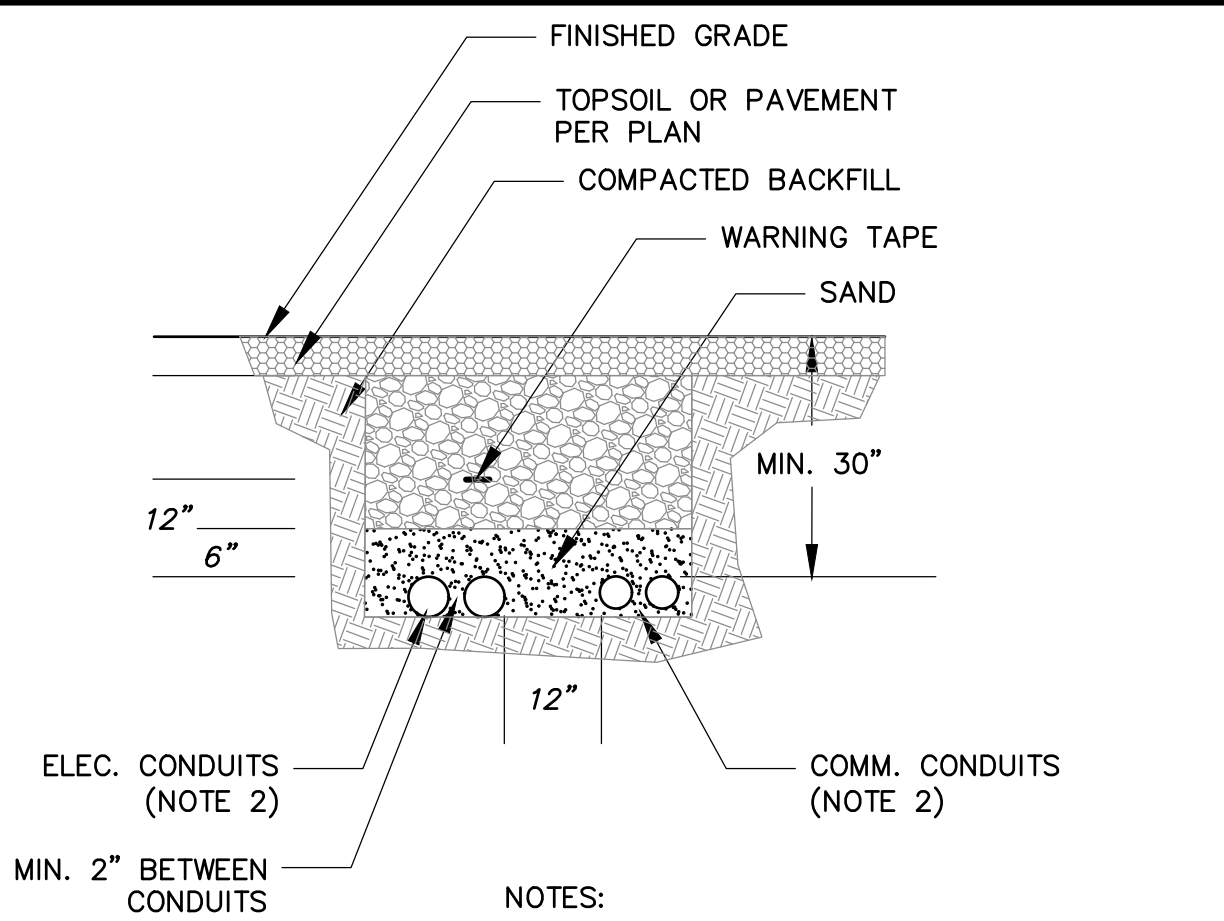
STORM SEWER TRENCH

N.T.S.



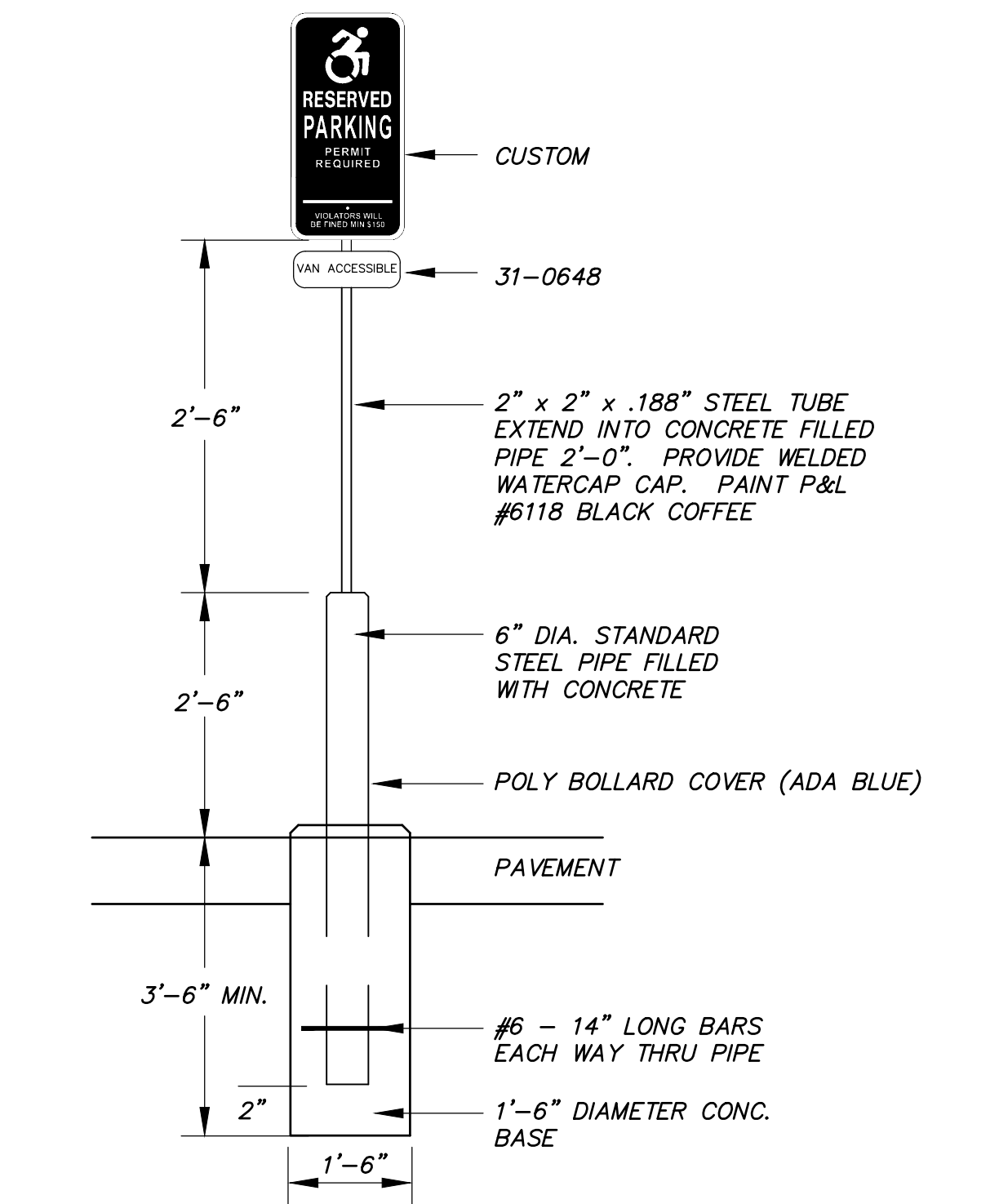
WATER SERVICE TRENCH

N.T.S.



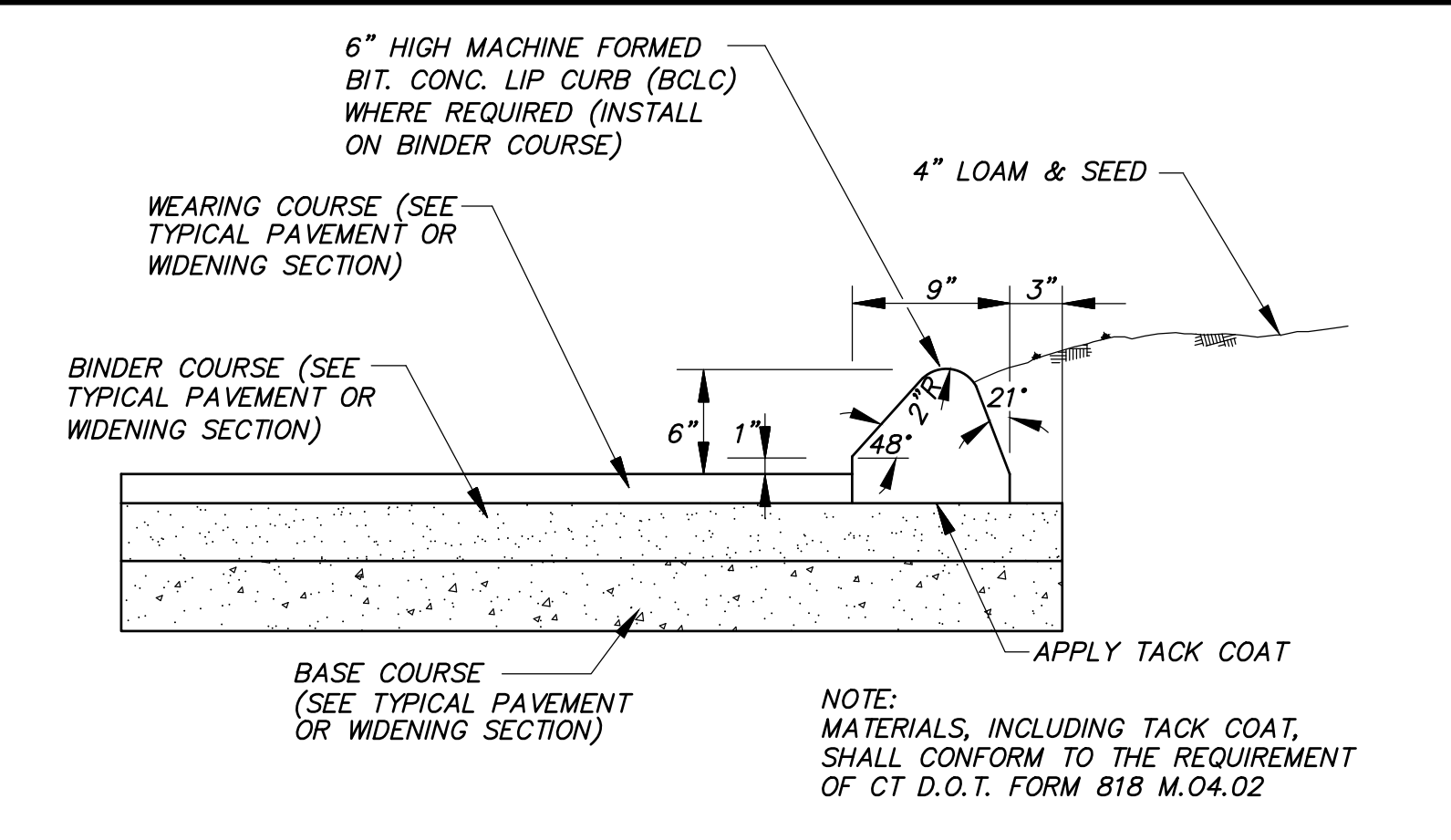
ELECTRIC/COMMUNICATION TRENCH

N.T.S.



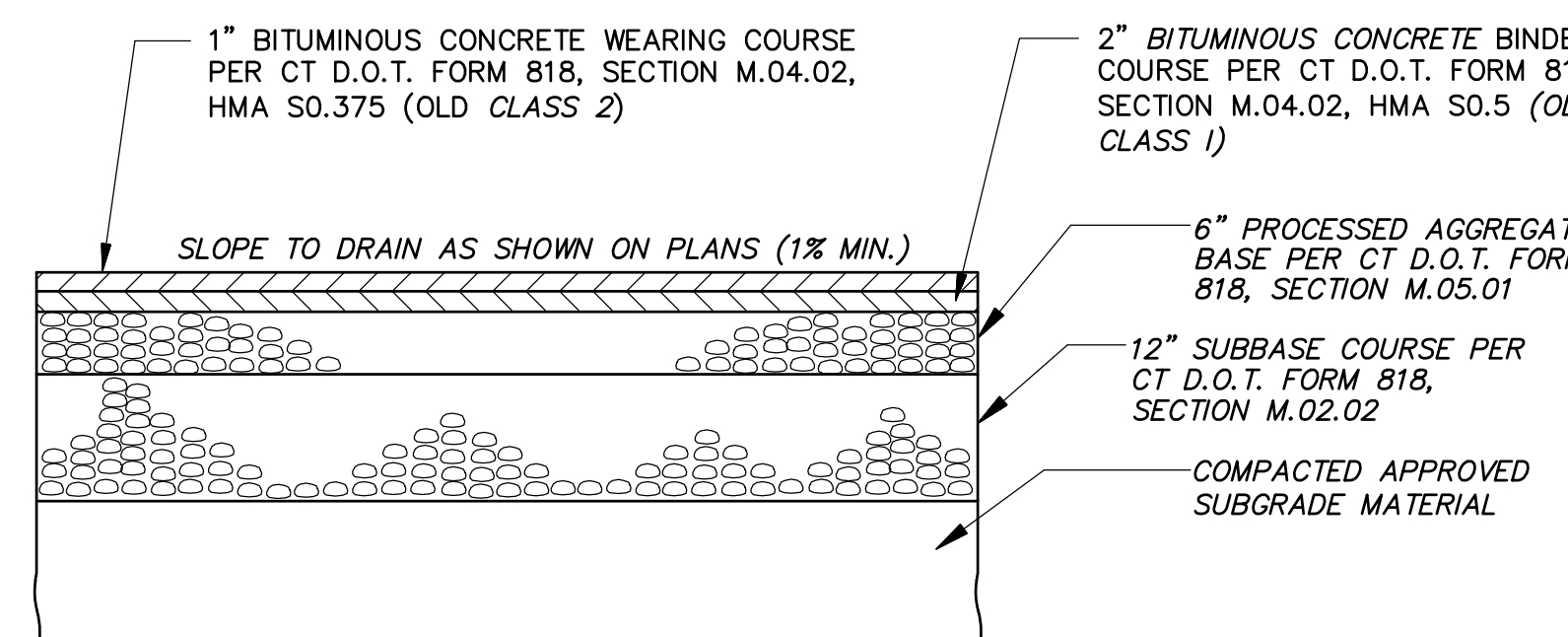
ACCESSIBLE SPACE SIGN POST/BASE

N.T.S.



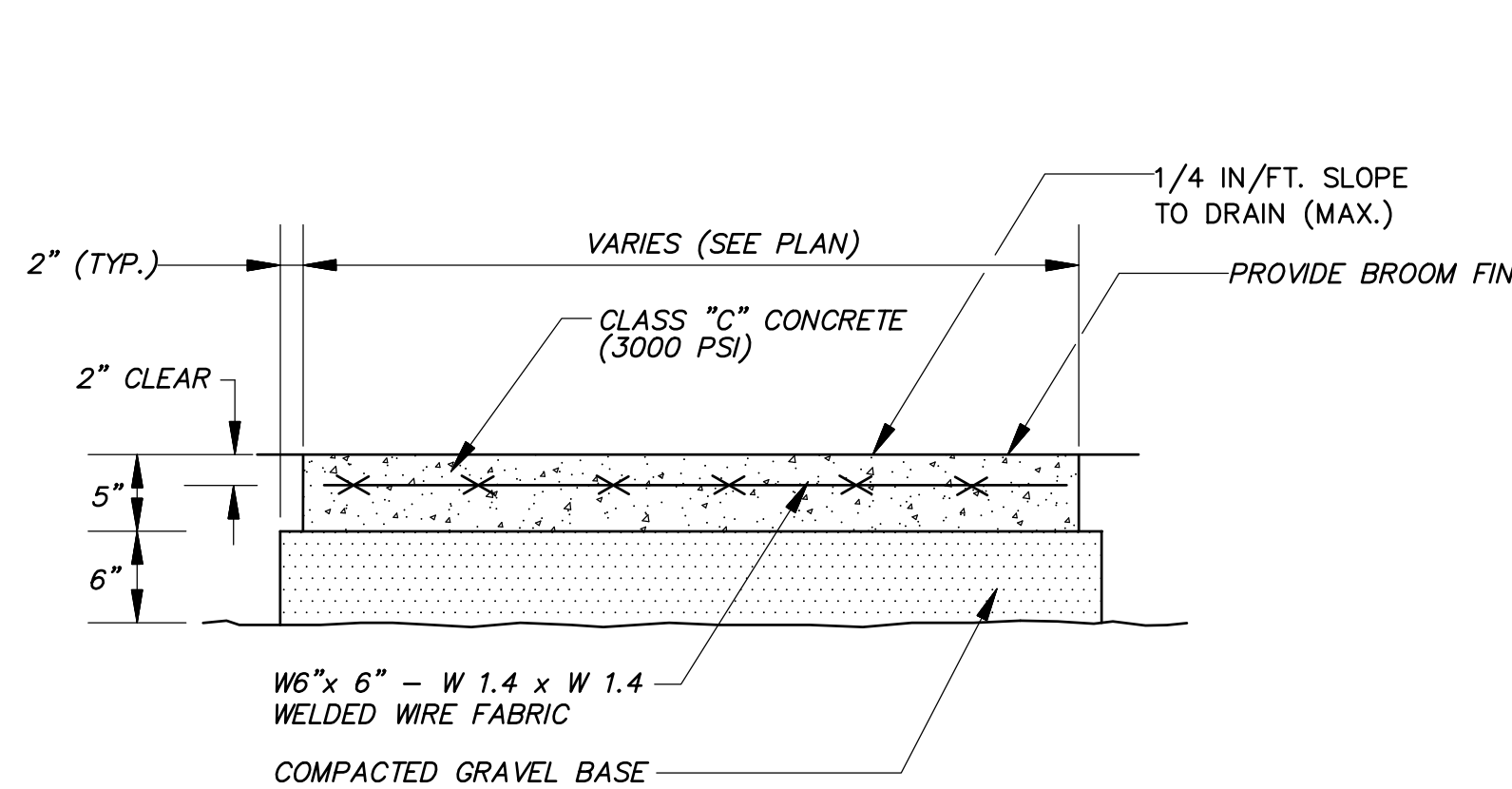
BITUMINOUS CONCRETE LIP CURBING (BCLC)

N.T.S.



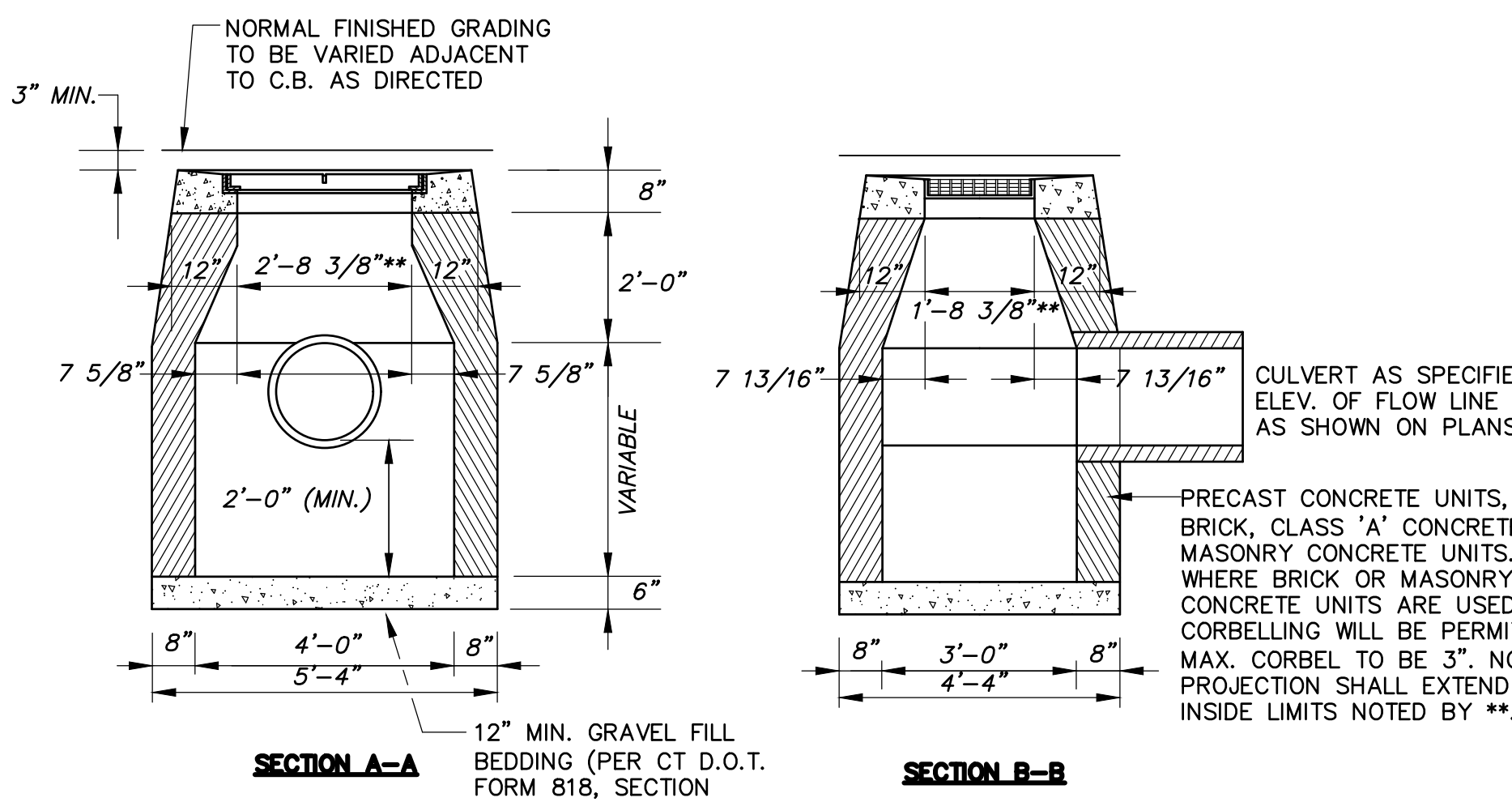
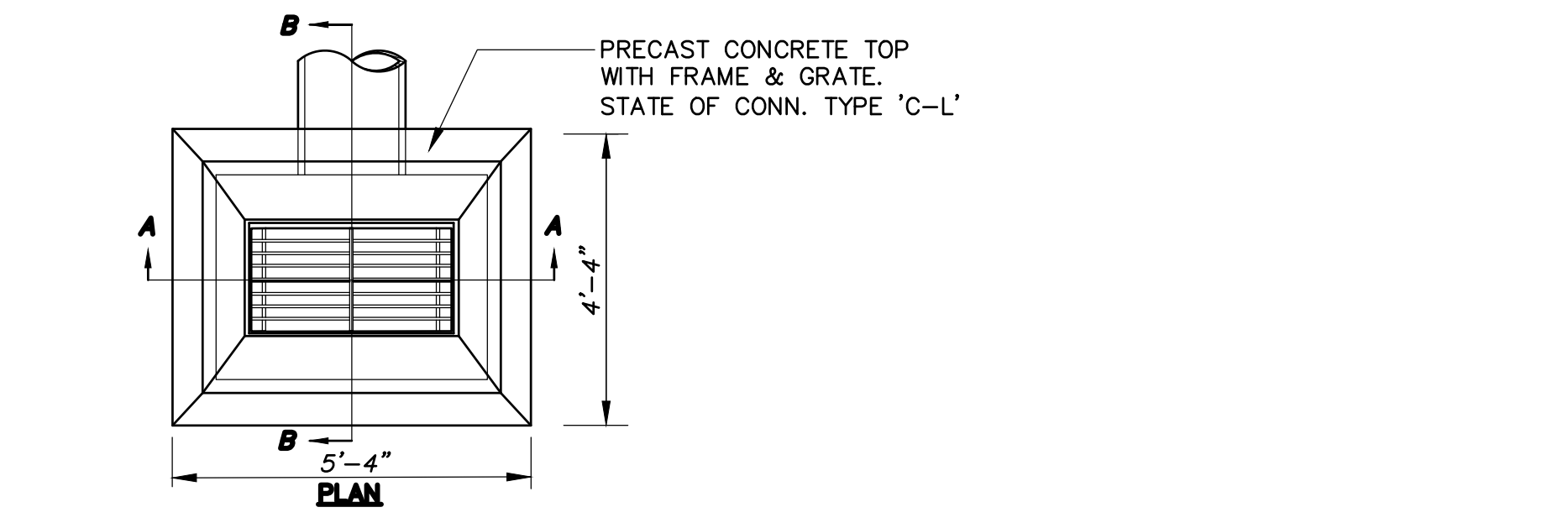
STANDARD DUTY PAVEMENT SECTION

N.T.S.



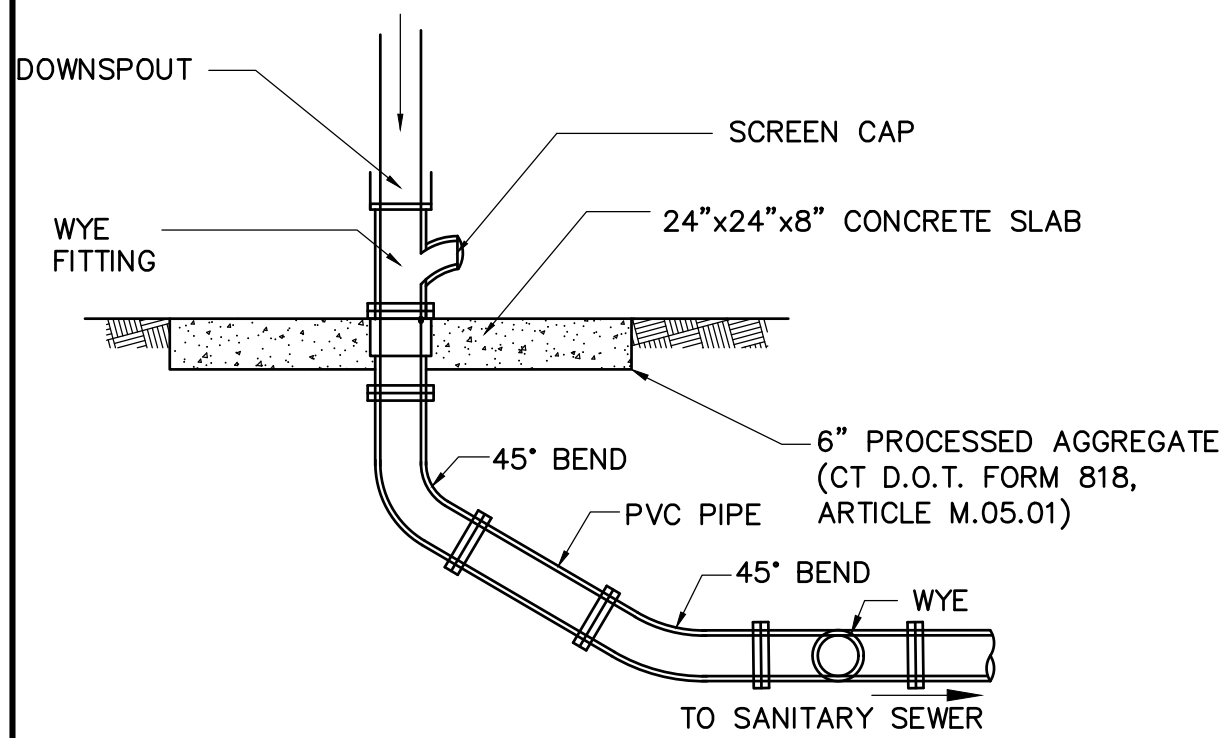
CONCRETE SIDEWALK

N.T.S.



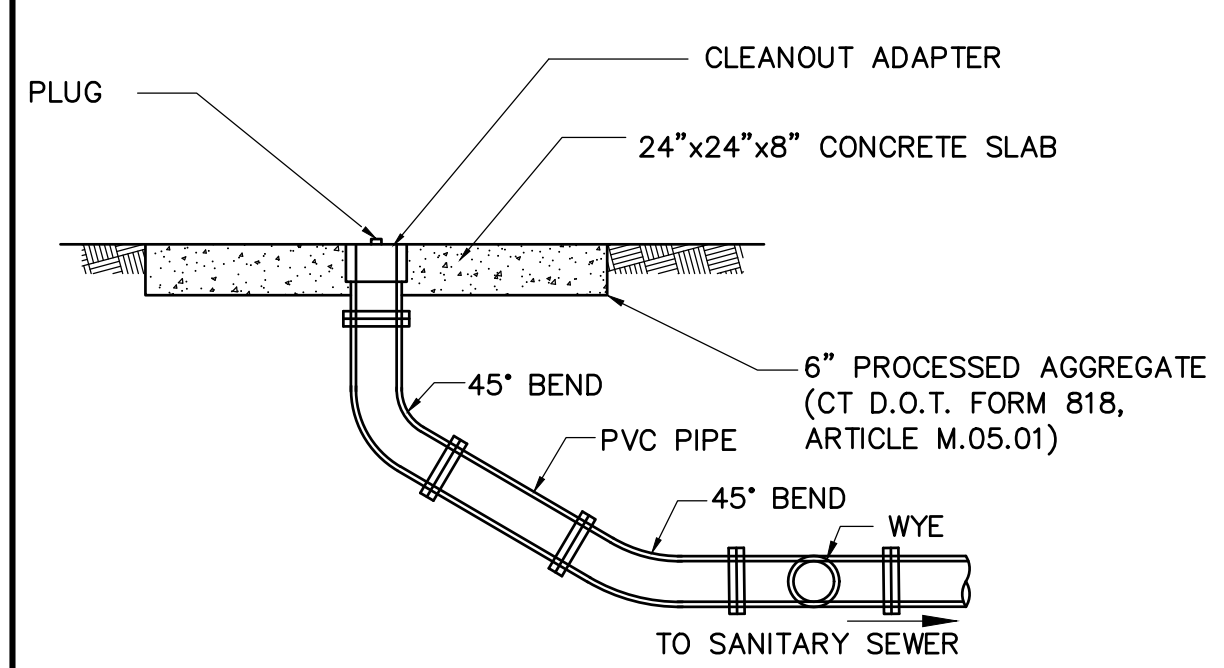
TYPE 'C-L' CATCH BASIN

N.T.S.



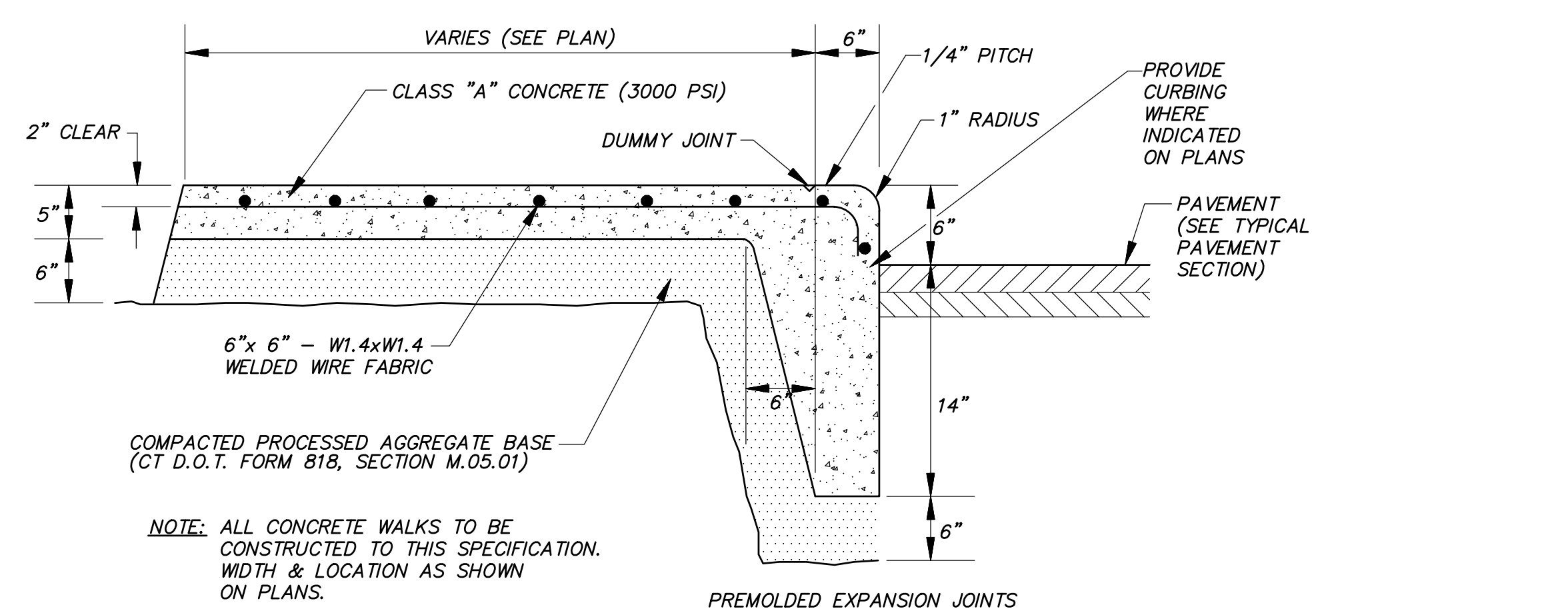
**STORM DRAIN/ROOFLEADER/
DOWNSPOUT CLEANOUT DETAIL**

N.T.S.



SANITARY CLEANOUT DETAIL

N.T.S.



CONCRETE SIDEWALK & CURB - ICCW

N.T.S.

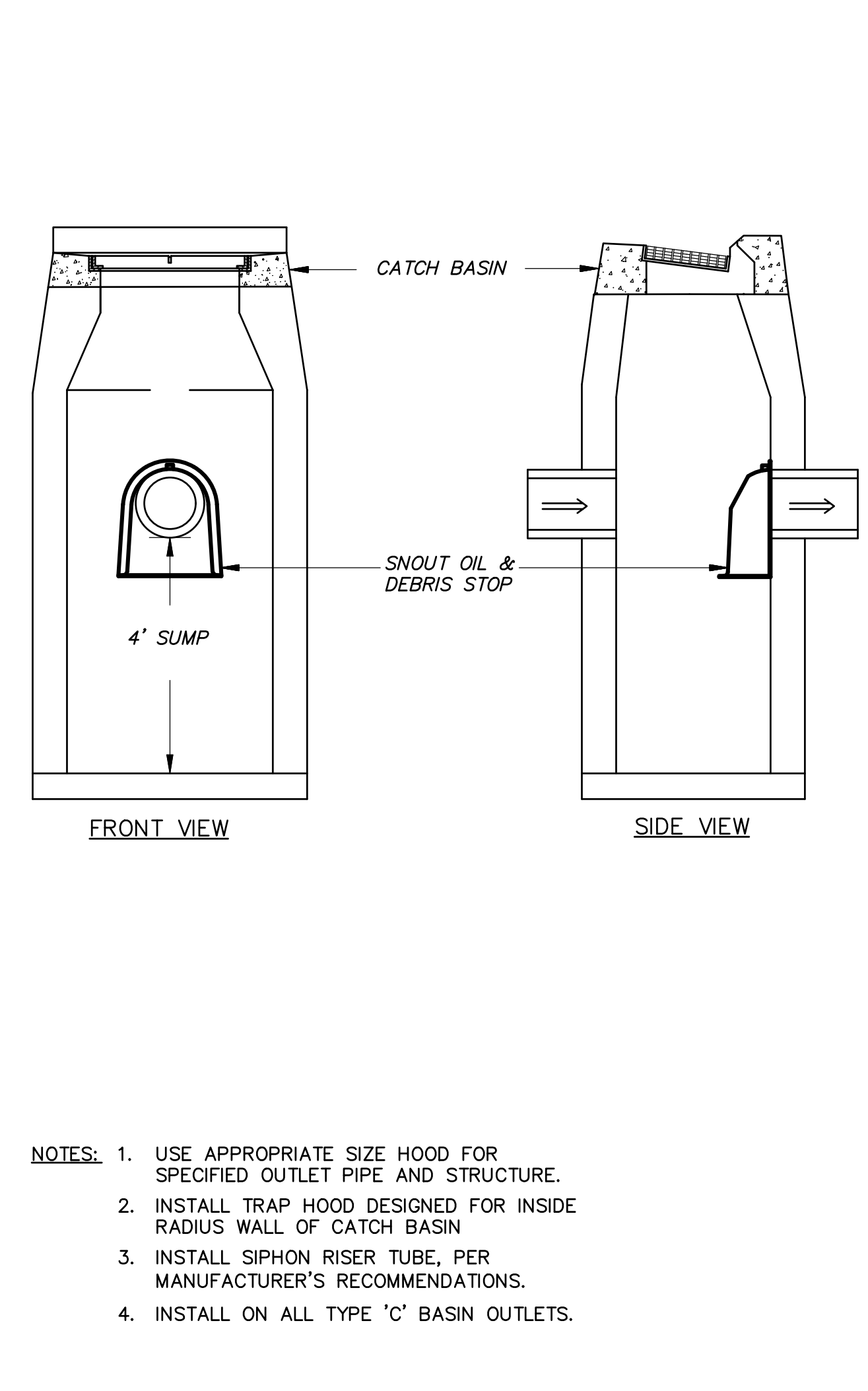
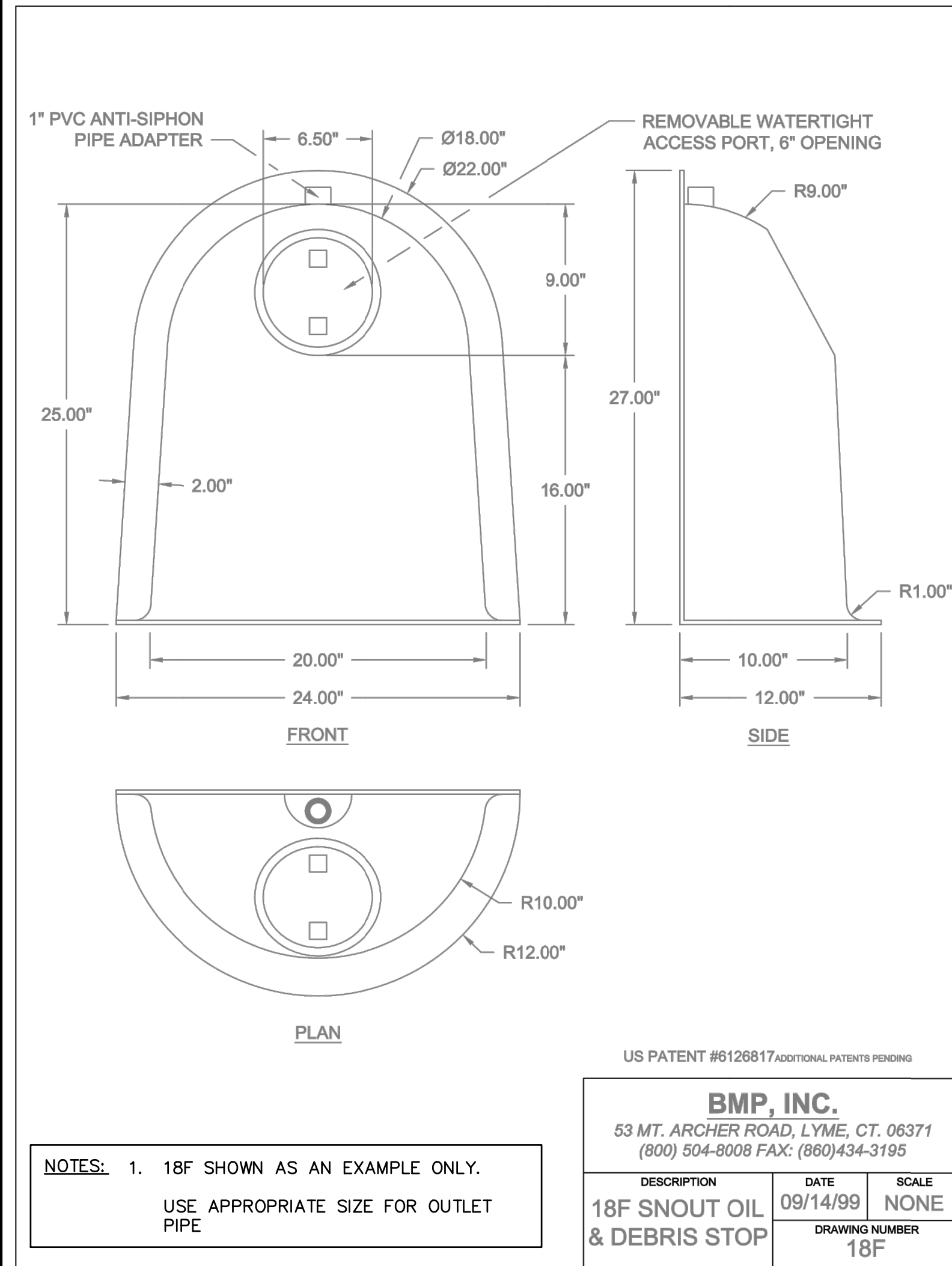
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F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 644-8600
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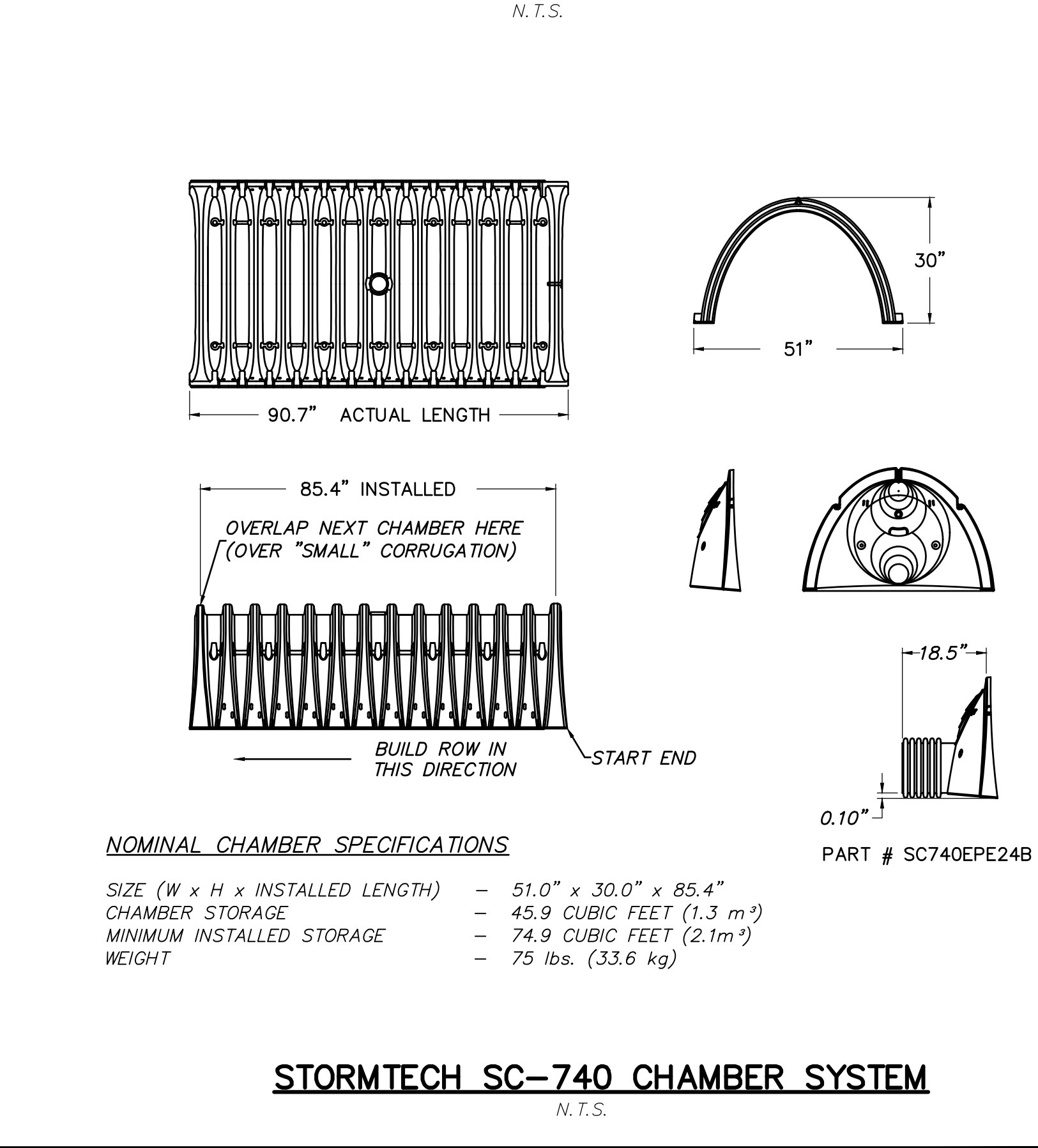
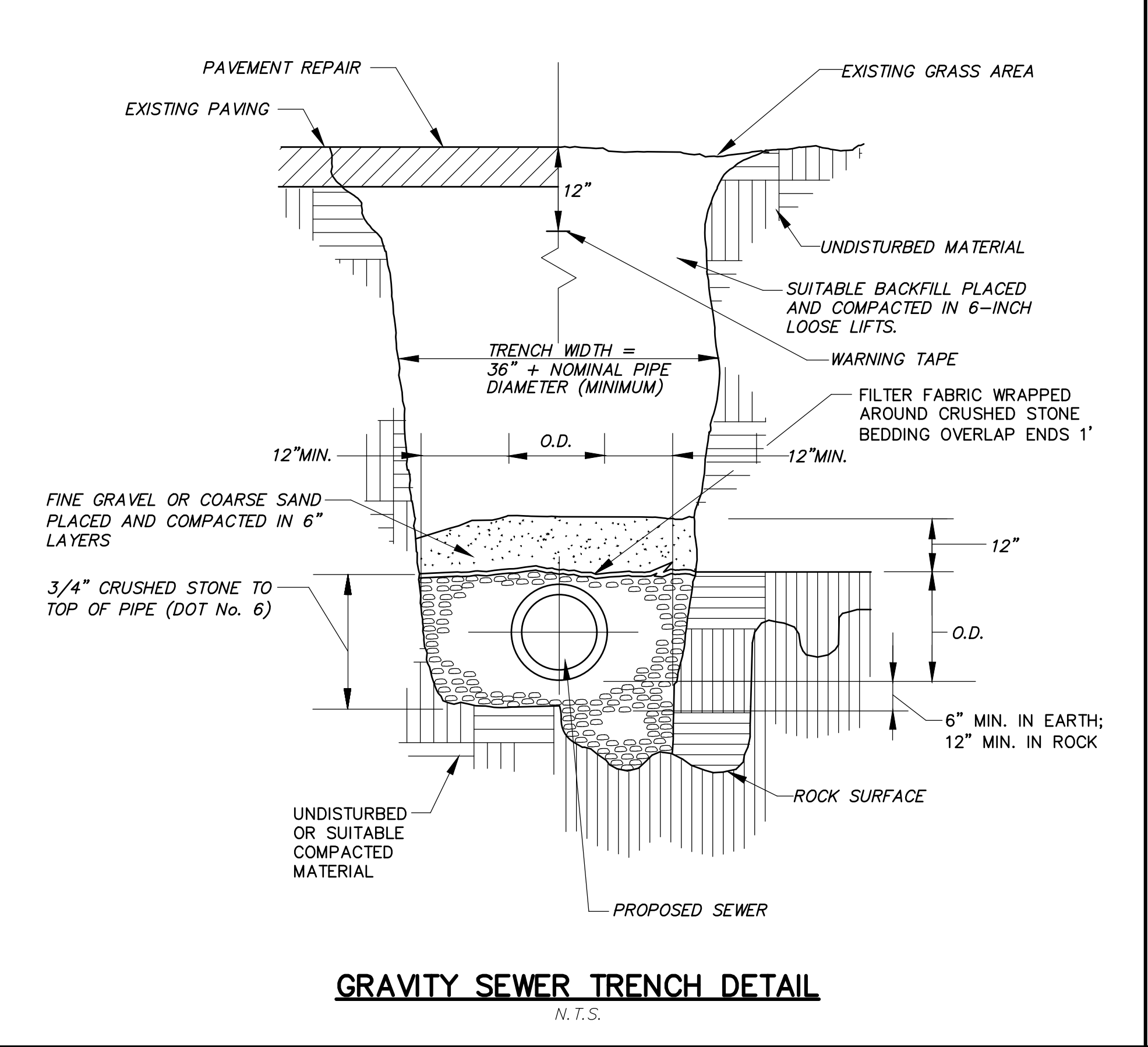
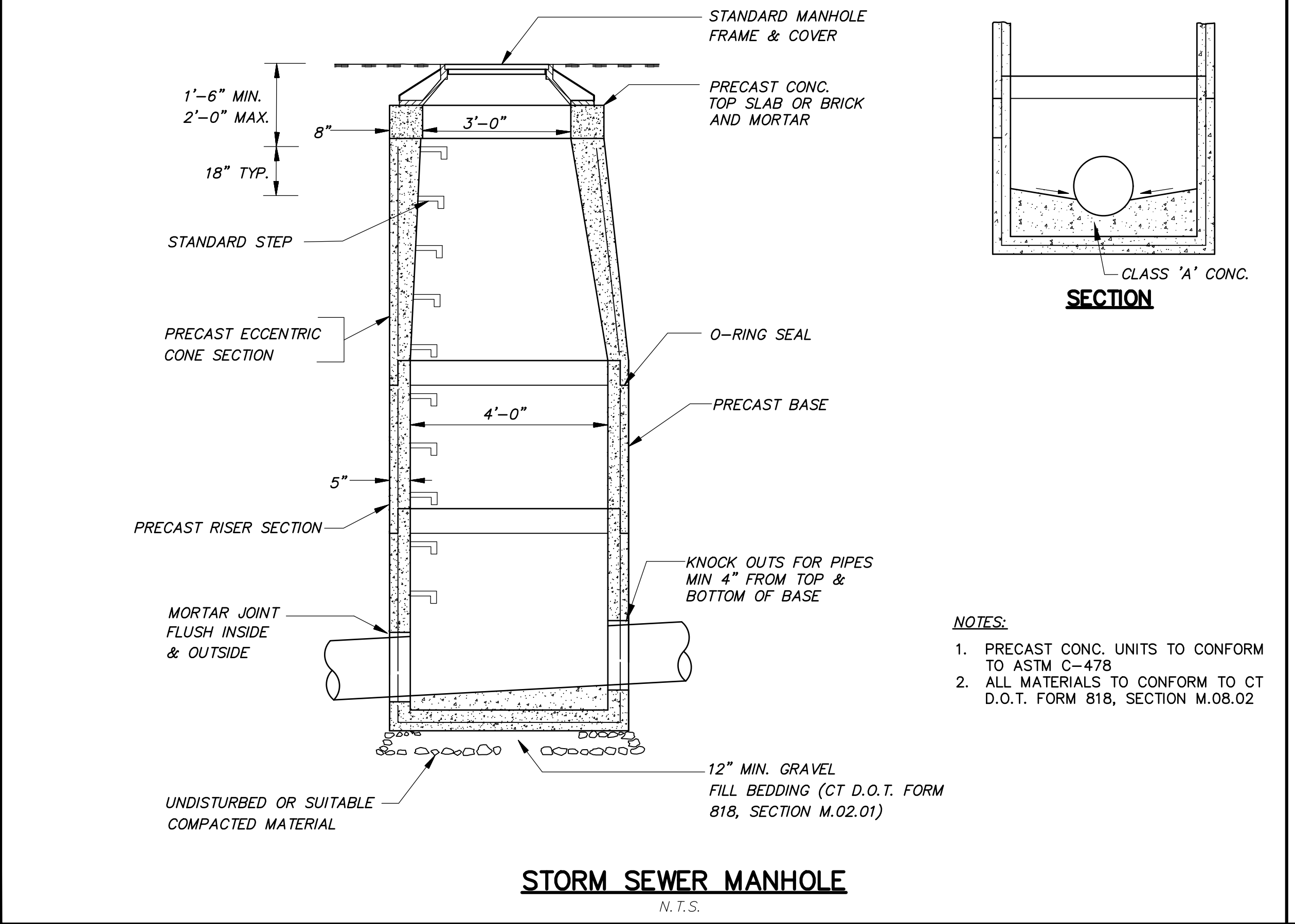
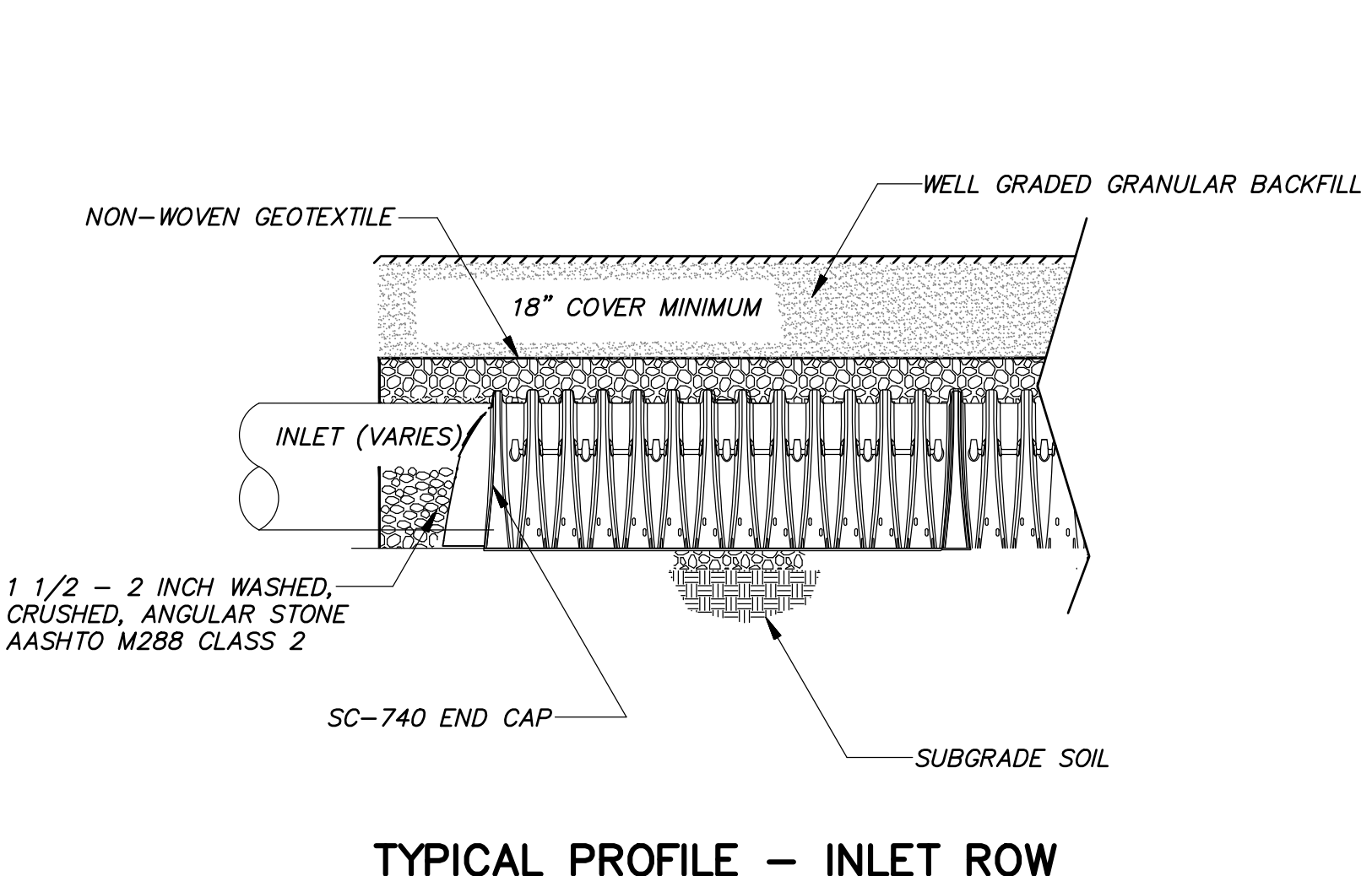
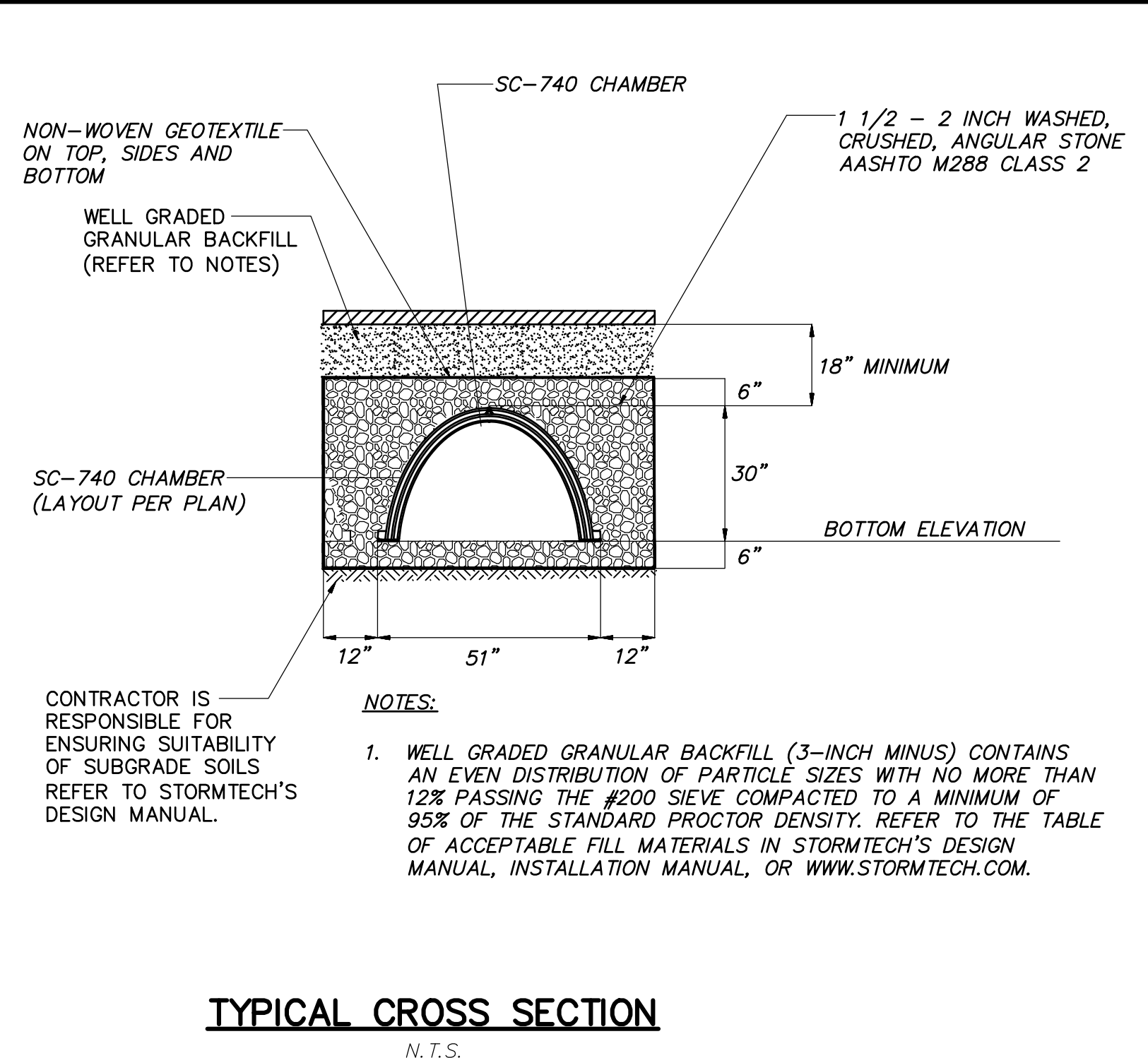
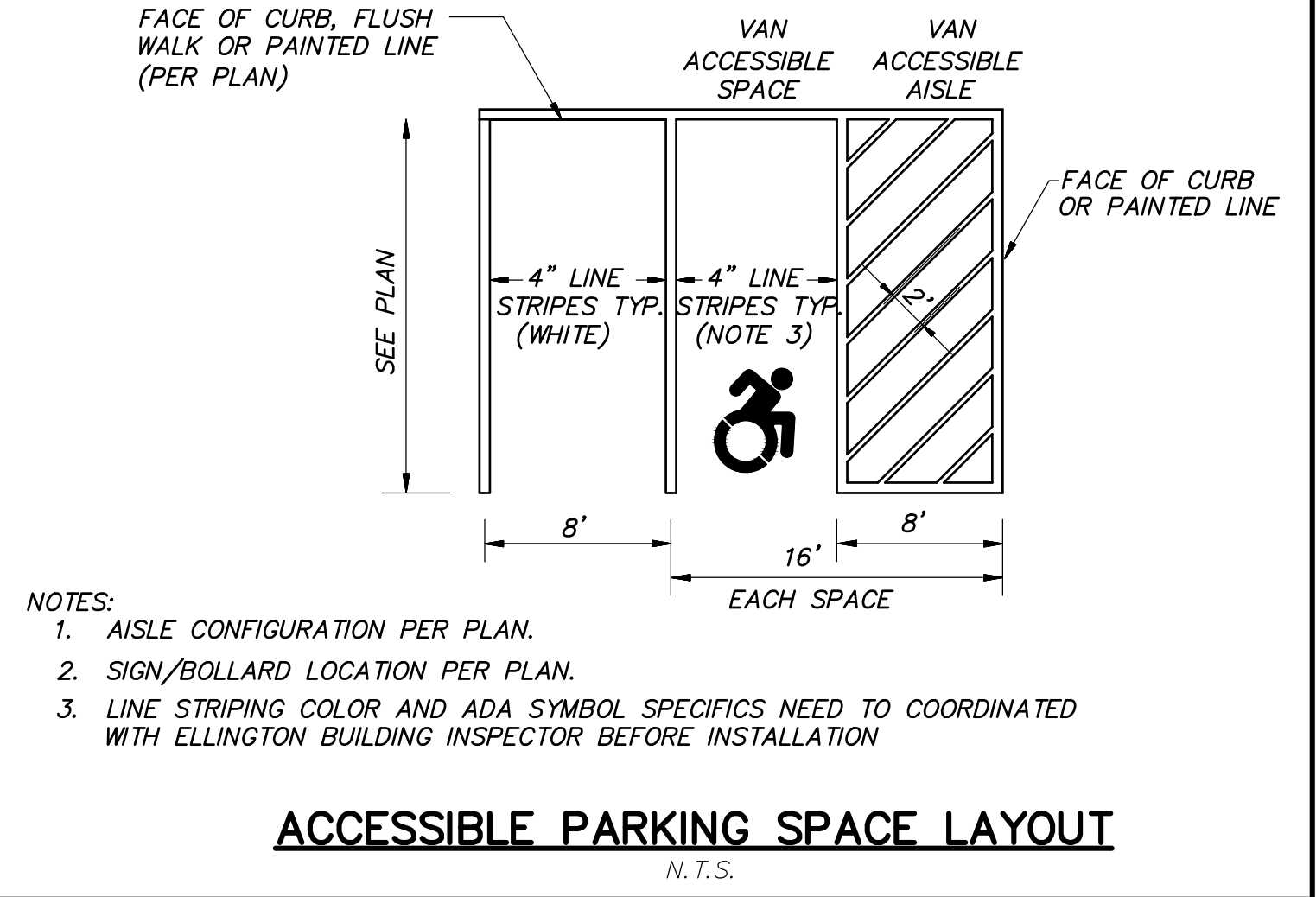
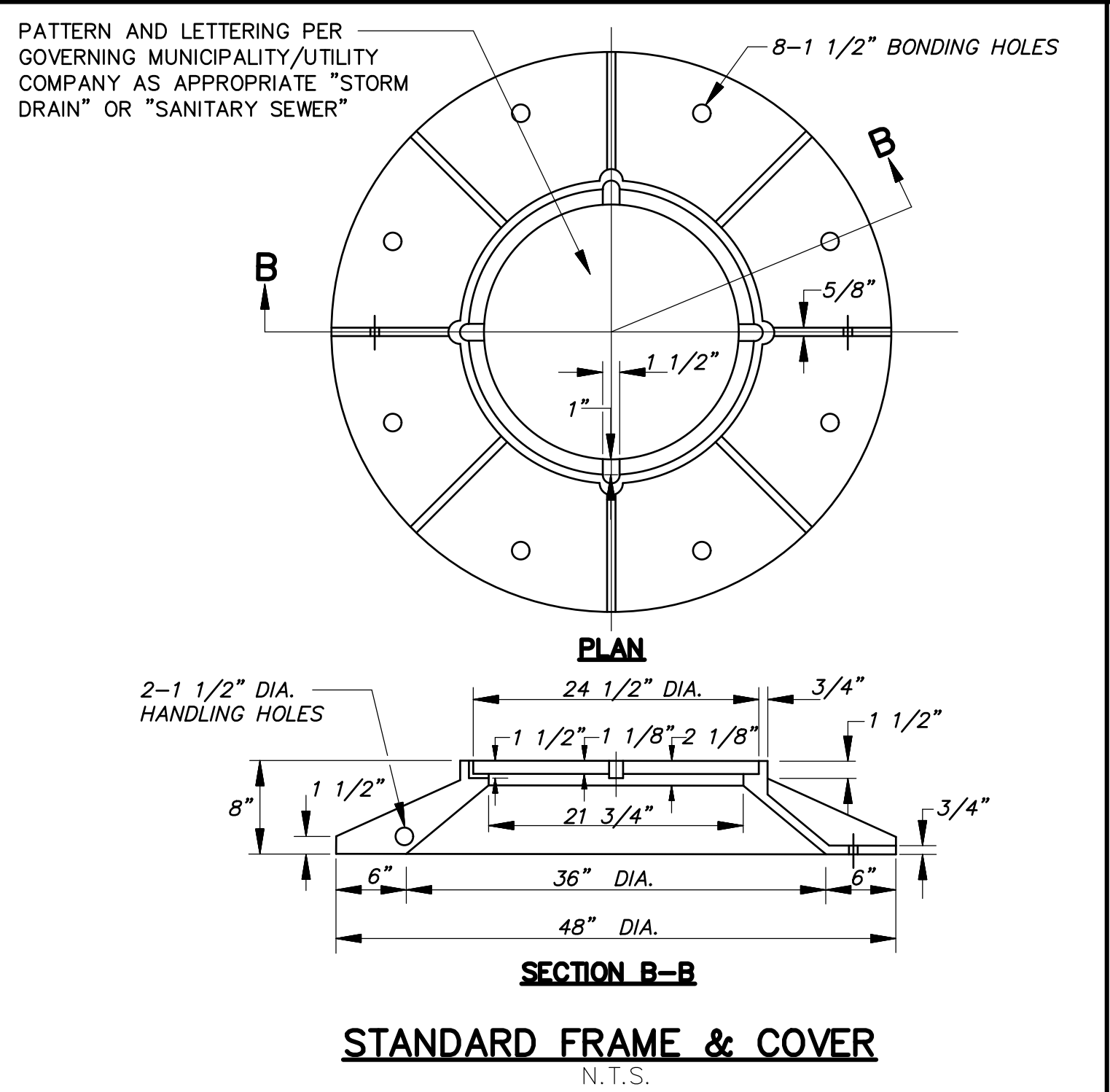
No.	Date	Description

DETAILS PREPARED FOR
CROWN PROPERTY HOLDINGS, LLC
CASTERBRIDGE CROSSING
SIMSBURY, CONNECTICUT
Date: 12-03-2021 Drawn by: ERN Job no: 04174
Scale: N.T.S. Checked by: DSZ Sheet no: 2 OF 5
C:\2004\04174.30 - Lots 6 and 8\Topsoil\Submittal\2021-11-24\dwg. SD-1 2021-11-24.dwg. SD-2, Dec. 02, 2021 - 4:11:13 PM

SD-2

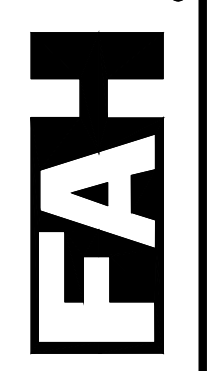


TRAP HOOD INSTALLATION DETAIL (TYPICAL)
N.T.S.



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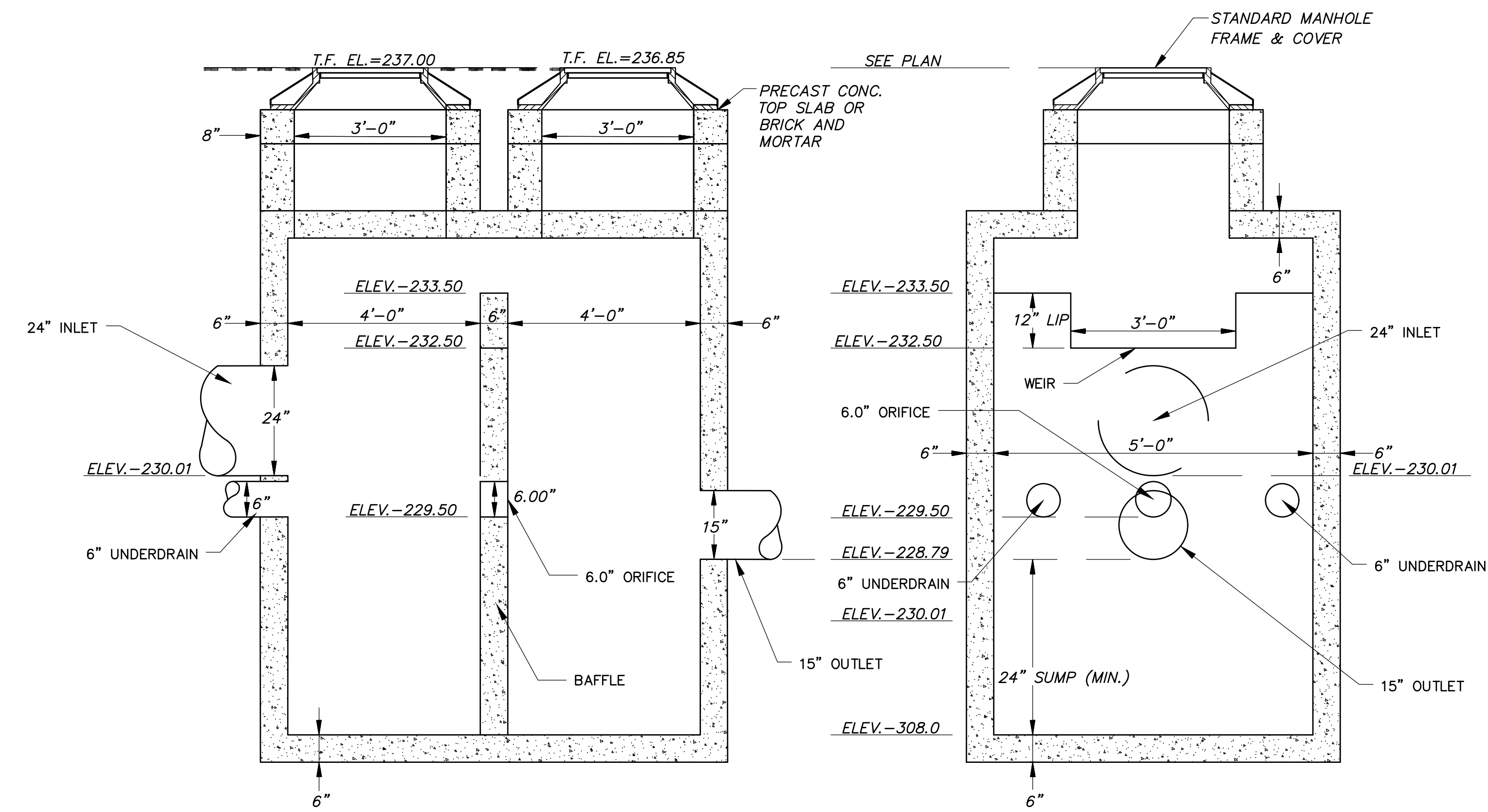


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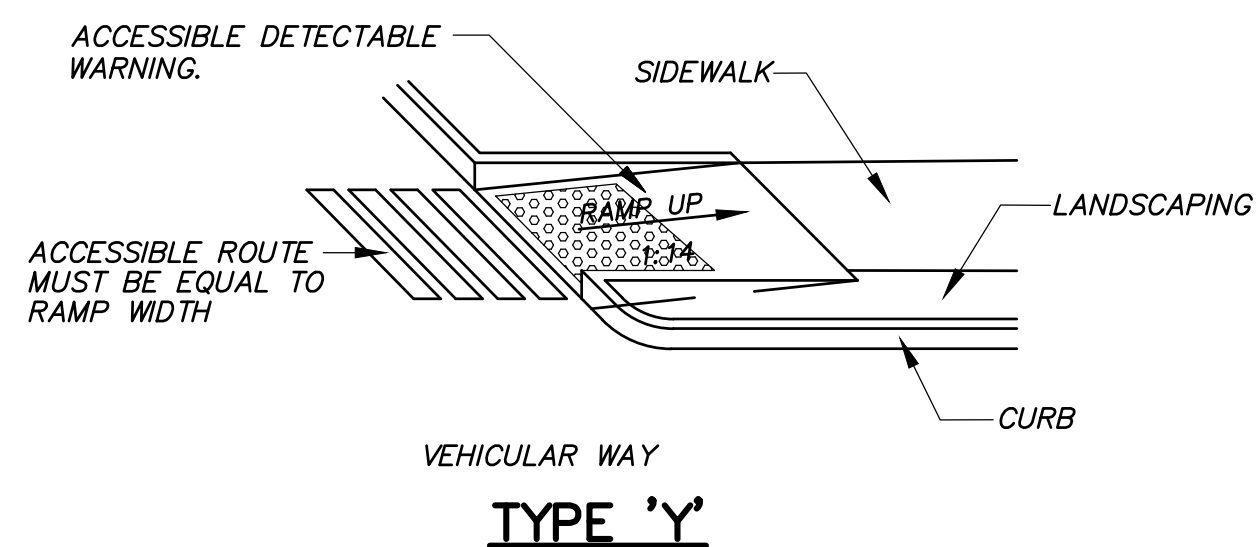
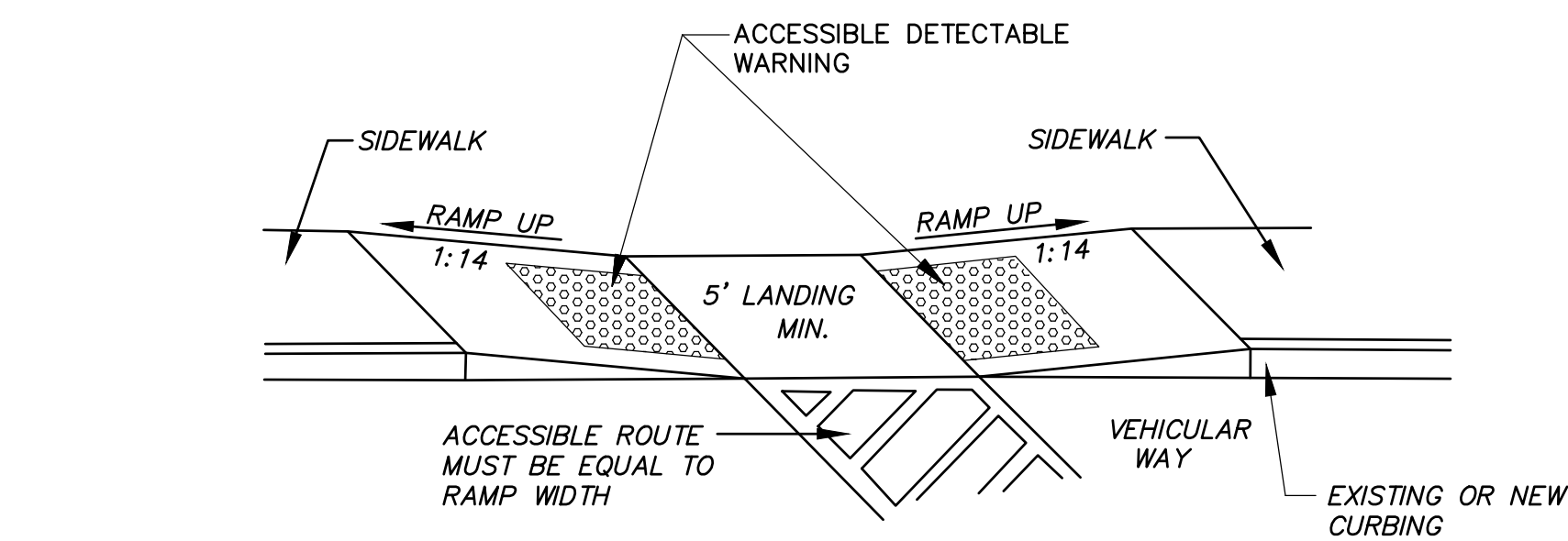
DETAILS PREPARED FOR
CROWN PROPERTY HOLDINGS, LLC
CASTERBRIDGE CROSSING
SIMSBURY, CONNECTICUT

Date: 12-03-2021 Drawn by: ERN Job no: 04174
Checked by: DSZ Sheet no: 3 OF 5
Scale: N.T.S. Submitted: 2021-11-24.dwg, SD-3, Dec. 02, 2021 - 3:38:22 PM

SD-3



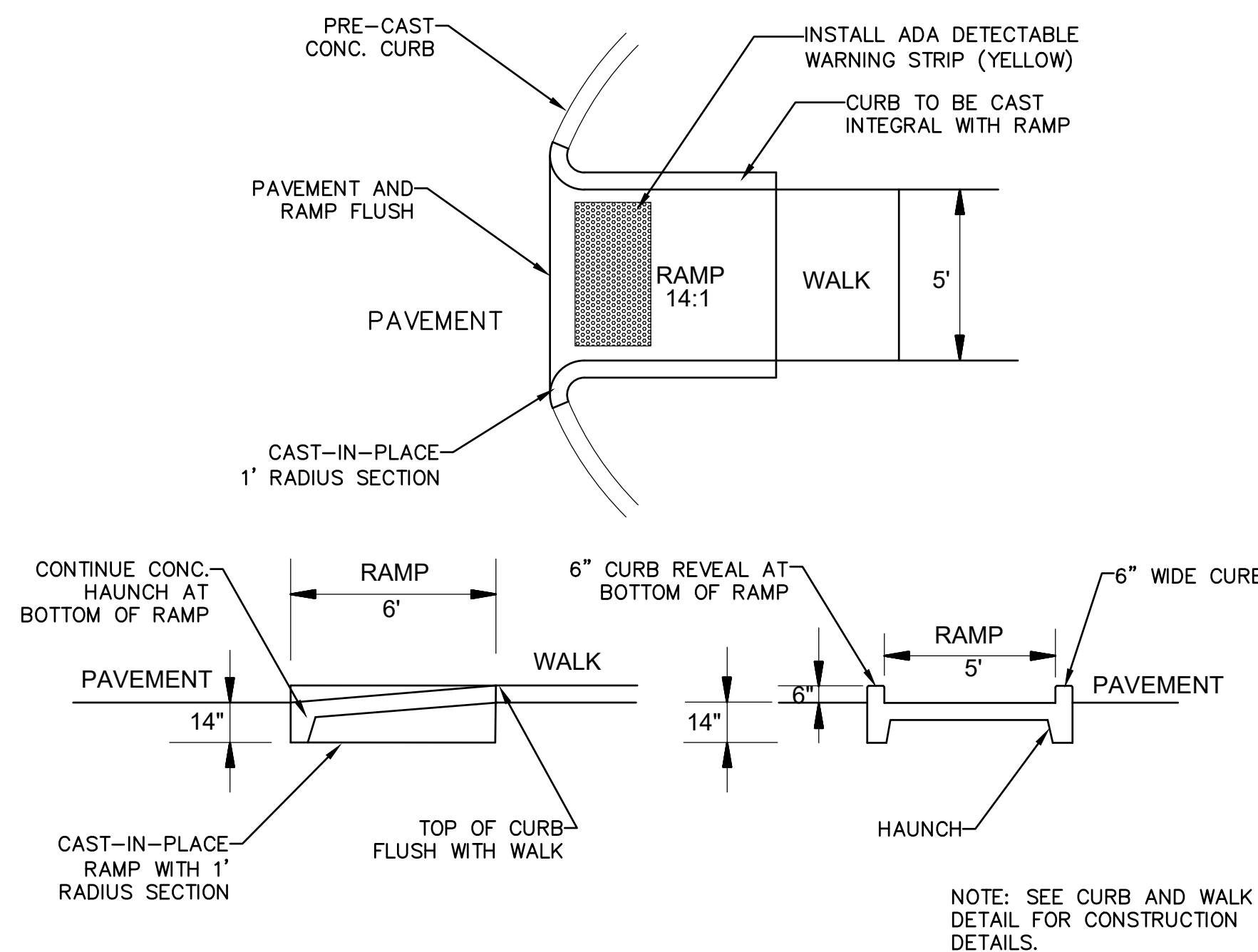
CONCRETE OUTLET STRUCTURE
N.T.S.



NOTES:

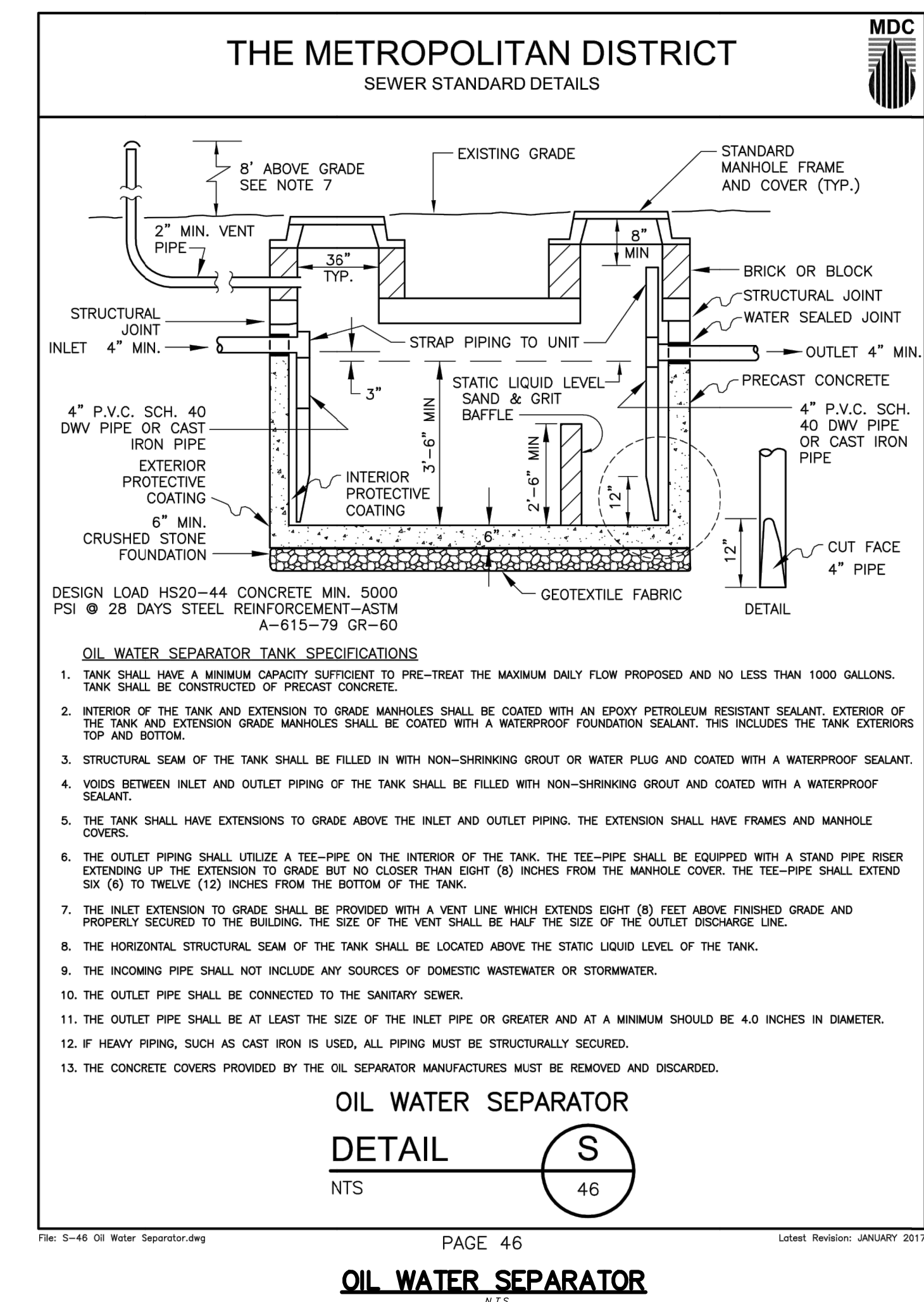
1. CT DOT CLASS 'C' CONCRETE.
2. ALL ACCESSIBLE RAMPS TO RECEIVE BROOM FINISH 90° TO THE SLOPE OF THE RAMP.
3. IF CURRENT BUILDING CODE REQUIRES ALTERNATE DESIGN, CONSTRUCT RAMP TO MEET CURRENT CODE REQUIREMENTS.
4. INTEGRATE TRUNCATED DOME TACTILE STRIPS IN ACCORDANCE WITH THE LATEST ADA STANDARDS.
5. CONSTRUCT FULL 14-INCH HAUNCH AT EDGE OF PAVEMENT.

ACCESSIBLE RAMPS
N.T.S.



NOTE: SEE CURB AND WALK DETAIL FOR CONSTRUCTION DETAILS.

SIDEWALK RAMP 'Y'
N.T.S.



OIL WATER SEPARATOR

DETAIL

NTS

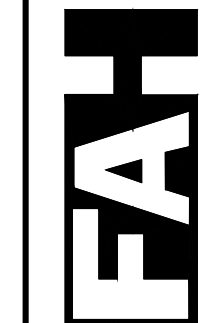
No.	Date	Description

DETAILS PREPARED FOR
CROWN PROPERTY HOLDINGS, LLC
CASTERIDGE CROSSING
SIMSBURY, CONNECTICUT
Date: 12-03-2021 Drawn by: ERN Job no: 04174
Checked by: DSZ Sheet no: 4 OF 5
Scale: N.T.S.

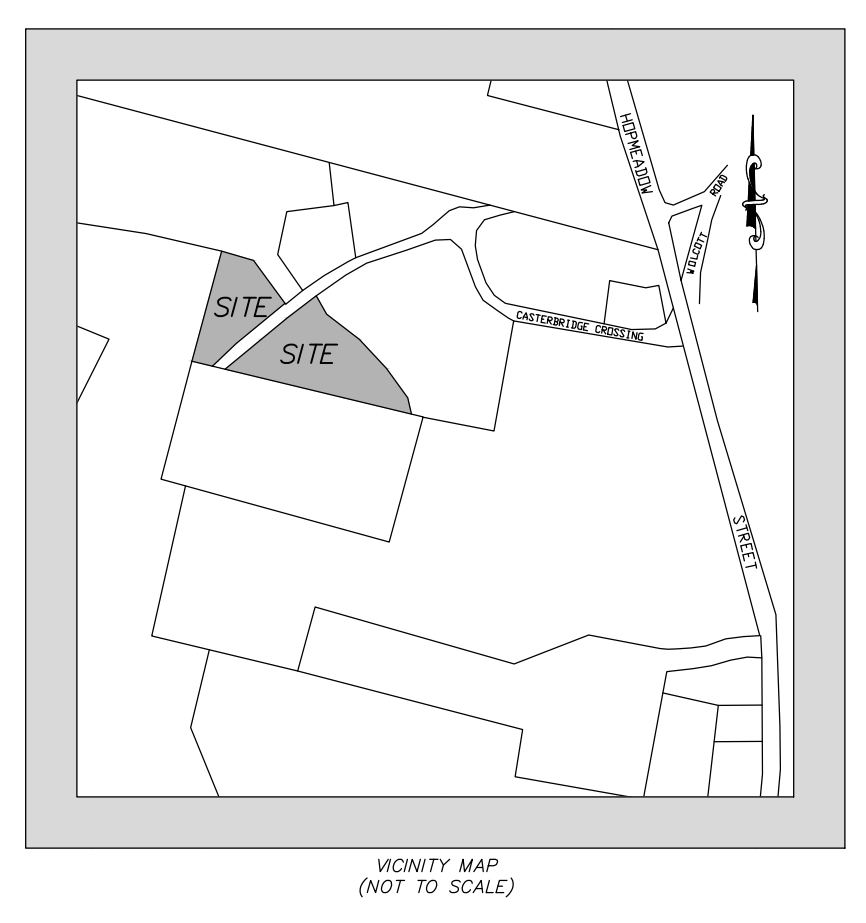
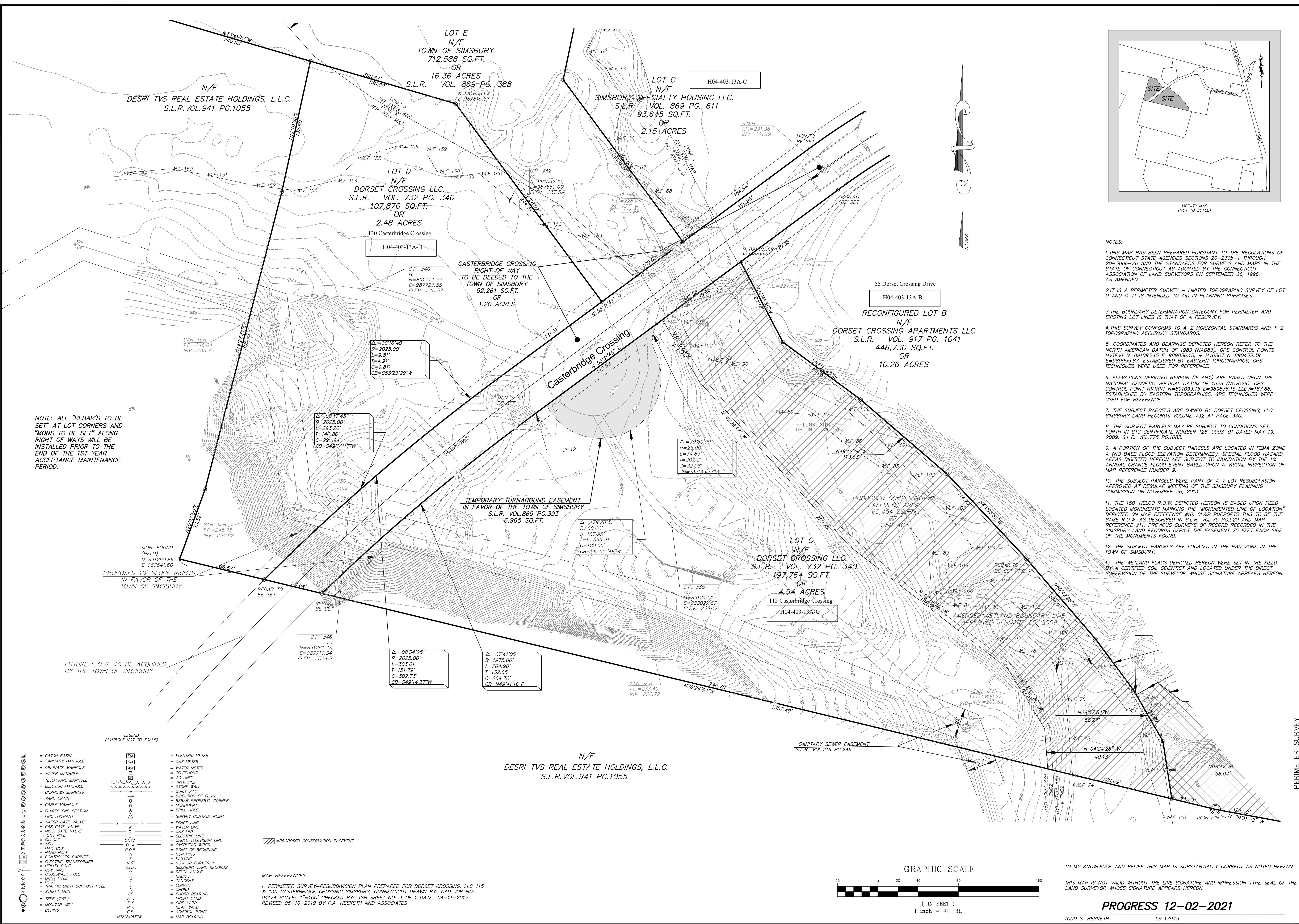
SD-5

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- NOTES:
1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-230b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS ON SEPTEMBER 26, 1996. AS AMENDED.
 2. IT IS A PERIMETER SURVEY - LIMITED TOPOGRAPHIC SURVEY OF LOT D AND G. IT IS INTENDED TO AID IN PLANNING PURPOSES.
 3. THE BOUNDARY DETERMINATION CATEGORY FOR PERIMETER AND EXISTING LOT LINES IS THAT OF A RESURVEY.
 4. THIS SURVEY CONFORMS TO A-2 HORIZONTAL STANDARDS AND T-2 TOPOGRAPHIC ACCURACY STANDARDS.
 5. COORDINATES AND BEARINGS DEPICTED HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD83). GPS CONTROL POINTS HVTRV1 N=891093.15 E=989836.15 & HV0507 N=890433.39 E=989955.87. ESTABLISHED BY EASTERN TOPOGRAPHICS, GPS TECHNIQUES WERE USED FOR REFERENCE.
 6. ELEVATIONS DEPICTED HEREON (IF ANY) ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). GPS CONTROL POINT HVTRV1 N=891093.15 E=989836.15 ELEV=187.68. ESTABLISHED BY EASTERN TOPOGRAPHICS, GPS TECHNIQUES WERE USED FOR REFERENCE.
 7. THE SUBJECT PARCELS ARE OWNED BY DORSET CROSSING, LLC SIMSBURY LAND RECORDS VOLUME 732 AT PAGE 340.
 8. THE SUBJECT PARCELS MAY BE SUBJECT TO CONDITIONS SET FORTH IN STC CERTIFICATE NUMBER 128-0903-01 DATED MAY 19, 2009. S.L.R. VOL. 775 PG. 1083.
 9. A PORTION OF THE SUBJECT PARCELS ARE LOCATED IN FEMA ZONE A (NO BASE FLOOD ELEVATION DETERMINED). SPECIAL FLOOD HAZARD AREAS DIGITIZED HEREON ARE SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT BASED UPON A VISUAL INSPECTION OF MAP REFERENCE NUMBER 9.
 10. THE SUBJECT PARCELS WERE PART OF A 7 LOT RESUBDIVISION APPROVED AT REGULAR MEETING OF THE SIMSBURY PLANNING COMMISSION ON NOVEMBER 26, 2013.
 11. THE 150' HELCO R.O.W. DEPICTED HEREON IS BASED UPON FIELD LOCATED MONUMENTS MARKING THE "MONUMENTED LINE OF LOCATION" DEPICTED ON MAP REFERENCE #10. CL&P PURPORTS THIS TO BE THE SAME R.O.W. AS DESCRIBED IN S.L.R. VOL. 75 PG. 520 AND MAP REFERENCE #11. PREVIOUS SURVEYS OF RECORD RECORDED IN THE SIMSBURY LAND RECORDS DEPICT THE EASEMENT 75 FEET EACH SIDE OF THE MONUMENTS FOUND.
 12. THE SUBJECT PARCELS ARE LOCATED IN THE PAD ZONE IN THE TOWN OF SIMSBURY.
 13. THE WETLAND FLAGS DEPICTED HEREON WERE SET IN THE FIELD BY A CERTIFIED SOIL SCIENTIST AND LOCATED UNDER THE DIRECT SUPERVISION OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

NOTE: ALL "REBAR'S TO BE SET" AT LOT CORNERS AND "MONS TO BE SET" ALONG RIGHT OF WAYS WILL BE INSTALLED PRIOR TO THE END OF THE 1ST YEAR ACCEPTANCE MAINTENANCE PERIOD.

No.	Date	Description

PERIMETER SURVEY
TOPOGRAPHIC SURVEY
PREPARED FOR
DORSET CROSSING, LLC
115 & 130 CASTERBRIDGE CROSSING
SIMSBURY, CONNECTICUT

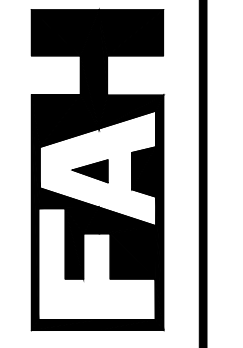
Date: 09-30-2021
Drawn by: BAB
Job no: 04174
Checked by: TSH
Sheet no: 1 OF 1
Scale: 1" = 40'

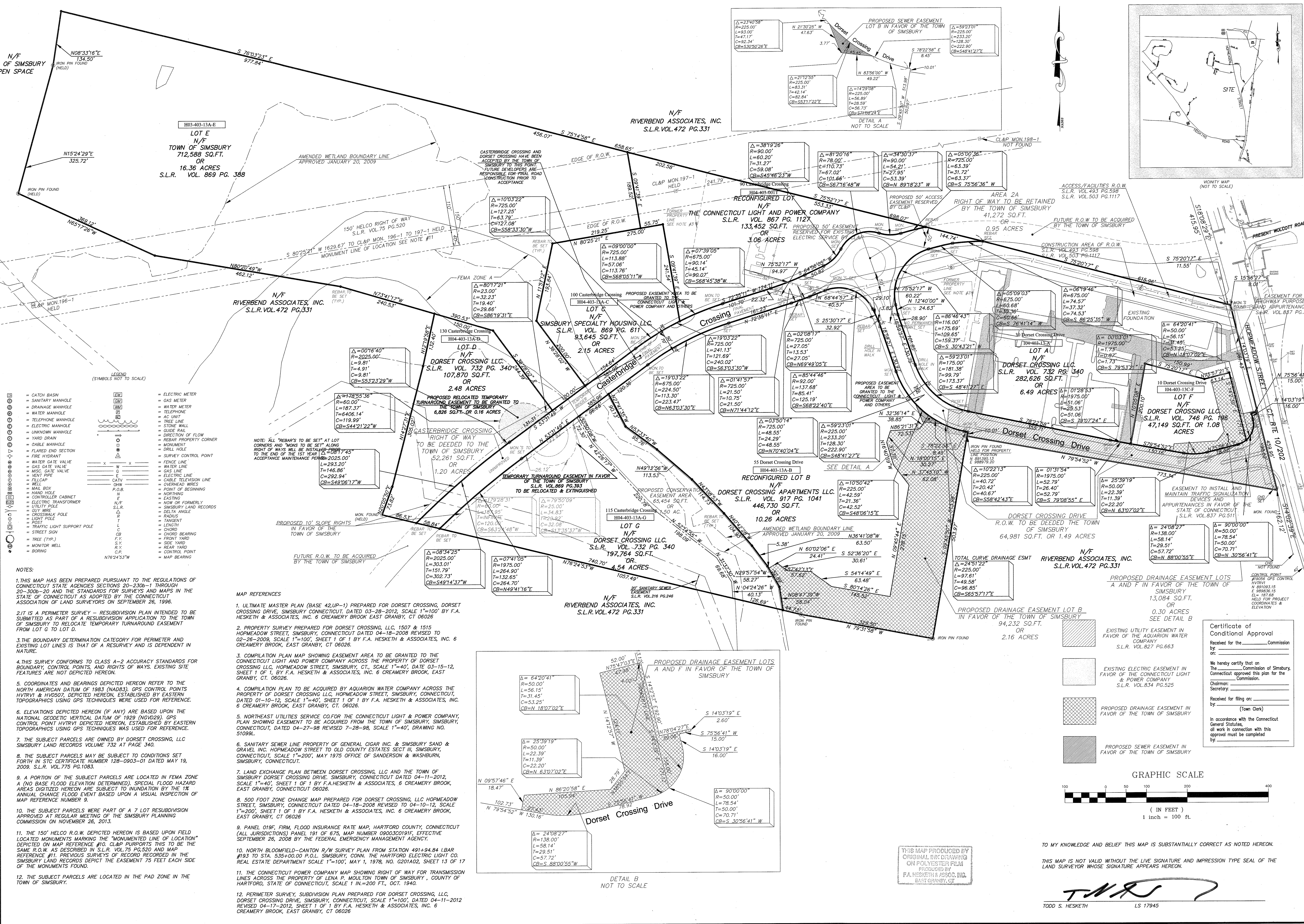
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

T-1

PROGRESS 12-02-2021
TODD S. HESKETH LS 17945

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026 · 146 N W Broad Street, Southern Pines, NC 28887
Phone (860) 653-8000 · Fax (860) 844-8600 · Phone (910) 692-2844 · Fax (910) 692-3356
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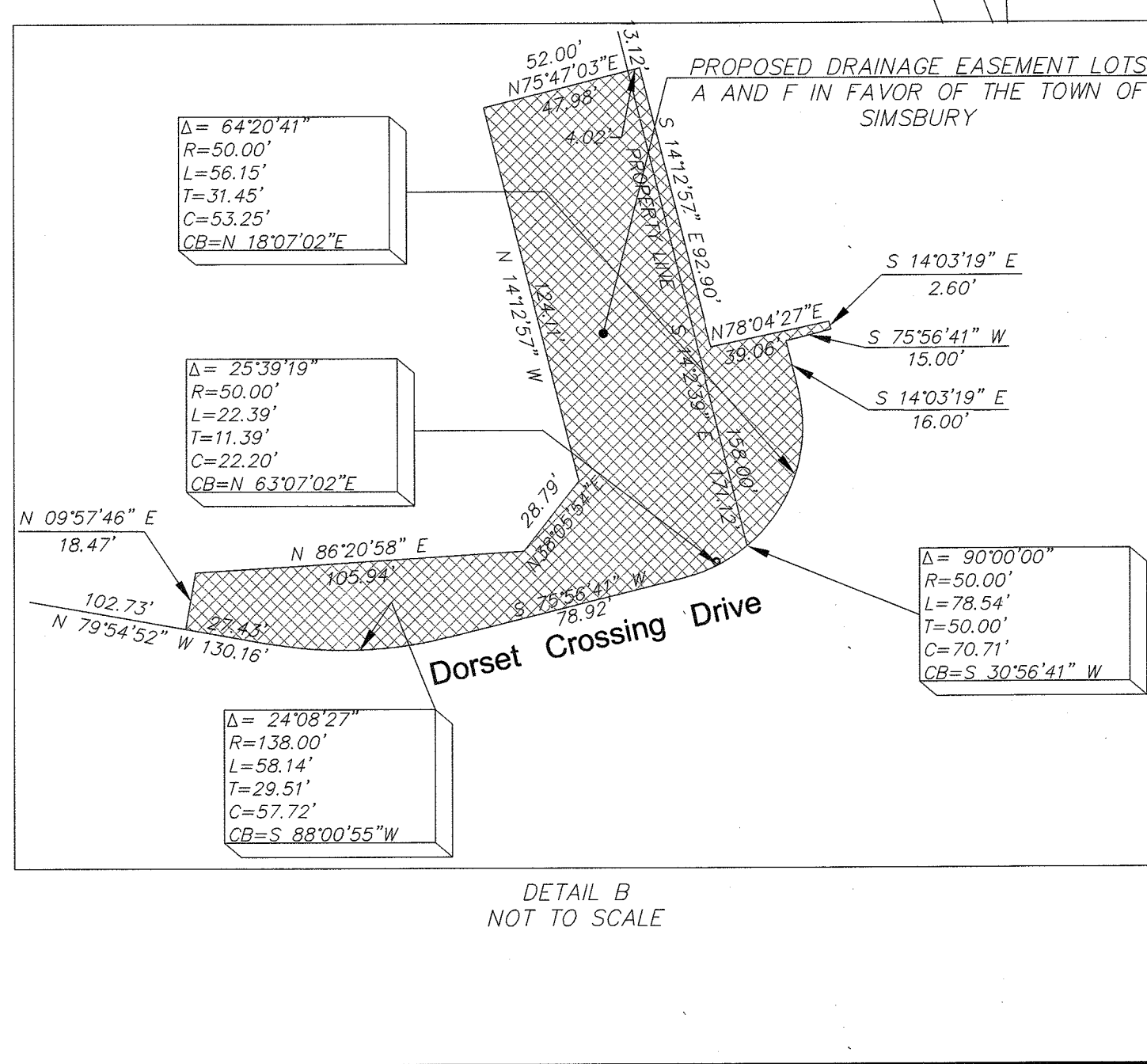




- LEGEND**
(SYMBOLS NOT TO SCALE)
- CATCH BASIN
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - WATER MANHOLE
 - TELEPHONE
 - TELEPHONE MANHOLE
 - ELECTRIC MANHOLE
 - UNKNOWN MANHOLE
 - YARD DRAIN
 - CABLE MANHOLE
 - FLARED END SECTION
 - FIRE HYDRANT
 - WATER GATE VALVE
 - GAS GATE VALVE
 - MISC. GATE VALVE
 - WELL PIPE
 - FILLCAP
 - WELL
 - MAIL BOX
 - HAND HOLE
 - CONTROLLER CABINET
 - ELECTRIC TRANSFORMER
 - UTILITY POLE
 - GYE WIRE
 - CROSSWALK POLE
 - LIGHT POLE
 - POST
 - STREET LIGHT SUPPORT POLE
 - TRAFFIC SIGN
 - TREE (TYP.)
 - MONITOR WELL
 - BORING
- ELECTRIC METER
 - GAS METER
 - WATER METER
 - AC UNIT
 - TREE LINE
 - STONE WALL
 - GUIDE RAIL
 - DIRECTION OF FLOW
 - REBAR PROPERTY CORNER
 - MONUMENT
 - DRILL HOLE
 - SURVEY CONTROL POINT
 - WATER LINE
 - GAS LINE
 - ELECTRIC LINE
 - CABLE TELEVISION LINE
 - OVERHEAD WIRE
 - POINT OF BEGINNING
 - NORTHING
 - EASTING
 - NOW OR FORMERLY
 - SIMSURY LAND RECORDS
 - DELTA ANGLE
 - RADIUS
 - TANGENT
 - LENGTH
 - CHORD
 - CHORD BEARING
 - FRONT YARD
 - SIDE YARD
 - REAR YARD
 - C.P.
 - MAP BEARING

- NOTES:**
- THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-230b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS ON SEPTEMBER 26, 1996.
 - THIS IS A PERIMETER SURVEY - RESUBDIVISION PLAN INTENDED TO BE SUBMITTED AS PART OF A RESUBDIVISION APPLICATION TO THE TOWN OF SIMSBURY TO RELOCATE TEMPORARY TURNAROUND EASEMENT FROM LOT G TO LOT D.
 - THE BOUNDARY DETERMINATION CATEGORY FOR PERIMETER AND EXISTING LOT LINES IS THAT OF A RESURVEY AND IS DEPENDENT IN NATURE.
 - THIS SURVEY CONFORMS TO CLASS A-2 ACCURACY STANDARDS FOR BOUNDARY, CONTROL POINTS, AND RIGHTS OF WAYS. EXISTING SITE FEATURES ARE NOT DEPICTED HEREON.
 - COORDINATES AND BEARINGS DEPICTED HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD83). GPS CONTROL POINTS HVTM1 & HVTM07, DEPICTED HEREON, ESTABLISHED BY EASTERN TOPOGRAPHICS USING GPS TECHNIQUES WERE USED FOR REFERENCE.
 - ELEVATIONS DEPICTED HEREON (IF ANY) ARE BASED UPON THE NATIONAL GEODETIC DATUM OF 1929 (NGVD29). GPS CONTROL POINT HVTM1 & HVTM07, DEPICTED HEREON, ESTABLISHED BY EASTERN TOPOGRAPHICS USING GPS TECHNIQUES WERE USED FOR REFERENCE.
 - THE SUBJECT PARCELS ARE OWNED BY DORSET CROSSING, LLC SIMSBURY LAND RECORDS VOLUME 732 AT PAGE 340.
 - THE SUBJECT PARCELS MAY BE SUBJECT TO CONDITIONS SET FORTH IN STC CERTIFICATE NUMBER 128-0903-01 DATED MAY 19, 2009. S.L.R. VOL. 775 PG. 1083.
 - A PORTION OF THE SUBJECT PARCELS ARE LOCATED IN FEMA ZONE A (NO BASE FLOOD ELEVATION DETERMINED). SPECIAL FLOOD HAZARD AREAS DIGITIZED HEREON ARE SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT BASED UPON A VISUAL INSPECTION OF MAP REFERENCE NUMBER 9.
 - THE SUBJECT PARCELS WERE PART OF A 7 LOT RESUBDIVISION APPROVED AT REGULAR MEETING OF THE SIMSBURY PLANNING COMMISSION ON NOVEMBER 26, 2013.
 - THE 150' HELCO R.O.W. DEPICTED HEREON IS BASED UPON FIELD LOCATED MONUMENTS MARKING THE "MONUMENTED LINE OF LOCATION" DEPICTED ON MAP REFERENCE #10. CL&P PLURIPLOTS THIS TO BE THE SAME R.O.W. AS DESCRIBED IN S.L.R. VOL. 75 PG. 520 AND MAP REFERENCE #11. PREVIOUS SURVEYS OF RECORD RECORDED IN THE SIMSBURY LAND RECORDS DEPICT THE EASEMENT 75 FEET EACH SIDE OF THE MONUMENTS FOUND.
 - THE SUBJECT PARCELS ARE LOCATED IN THE PAD ZONE IN THE TOWN OF SIMSBURY.

- MAP REFERENCES**
- ULTIMATE MASTER PLAN (BASE 42UP-1) PREPARED FOR DORSET CROSSING, DORSET CROSSING DRIVE, SIMSBURY CONNECTICUT, DATED 03-28-2012, SCALE 1"=100' BY F.A. HESKETH & ASSOCIATES, INC. 6 CREAMERY BROOK EAST GRANBY, CT 06026
 - PROPERTY SURVEY PREPARED FOR DORSET CROSSING, LLC, 1507 & 1515 HOPMEADOW STREET, SIMSBURY, CONNECTICUT DATED 04-18-2008 REVISED TO 02-26-2009, SCALE 1"=100', SHEET 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC. 6 CREAMERY BROOK, EAST GRANBY, CT 06026.
 - COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF DORSET CROSSING LLC, HOPMEADOW STREET, SIMSBURY, CT., SCALE 1"=40', DATE 03-15-12, SHEET 1 OF 1, BY F.A. HESKETH & ASSOCIATES, INC. 6 CREAMERY BROOK, EAST GRANBY, CT. 06026.
 - COMPILATION PLAN TO BE ACQUIRED BY AQUARIUM WATER COMPANY ACROSS THE PROPERTY OF DORSET CROSSING LLC, HOPMEADOW STREET, SIMSBURY, CONNECTICUT, DATED 01-10-12, SCALE 1"=40', SHEET 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC. 6 CREAMERY BROOK, EAST GRANBY, CT. 06026.
 - NORTHEAST UTILITIES SERVICE CO. FOR THE CONNECTICUT LIGHT & POWER COMPANY, PLAN SHOWING EASEMENT TO BE ACQUIRED FROM THE TOWN OF SIMSBURY, SIMSBURY, CONNECTICUT, DATED 04-27-98 REVISED 7-28-98, SCALE 1"=40', DRAWING NO. 51099L.
 - SANITARY SEWER LINE PROPERTY OF GENERAL CIGAR INC. & SIMSBURY SAND & GRAVEL INC. HOPMEADOW STREET TO OLD COUNTY ESTATES SECT II, SIMSBURY, CONNECTICUT, SCALE 1"=200', MAY 1975 OFFICE OF SANDERSON & WASHBURN, SIMSBURY, CONNECTICUT.
 - LAND EXCHANGE PLAN BETWEEN DORSET CROSSING, LLC AND THE TOWN OF SIMSBURY DORSET CROSSING DRIVE, SIMSBURY, CONNECTICUT DATED 04-11-2012, SCALE 1"=40', SHEET 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC. 6 CREAMERY BROOK, EAST GRANBY, CONNECTICUT 06026.
 - 500 FOOT ZONE CHANGE MAP PREPARED FOR DORSET CROSSING, LLC HOPMEADOW STREET, SIMSBURY, CONNECTICUT DATED 04-18-2008 REVISED TO 04-10-12, SCALE 1"=200', SHEET 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC. 6 CREAMERY BROOK, EAST GRANBY, CT 06026
 - PANEL 019F, FIRM, FLOOD INSURANCE RATE MAP, HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 191 OF 675, MAP NUMBER 090030191F, EFFECTIVE SEPTEMBER 26, 2008 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - NORTH BLOOMFIELD-CANTON R/W SURVEY PLAN FROM STATION 491+94.84 I.BAR #193 TO STA. 535+00.00 P.O.L. SIMSBURY, CONN. THE HARTFORD ELECTRIC LIGHT CO. REAL ESTATE DEPARTMENT SCALE 1"=100', MAY 1, 1978, NO. G201A02, SHEET 13 OF 37
 - THE CONNECTICUT POWER COMPANY MAP SHOWING RIGHT OF WAY FOR TRANSMISSION LINES ACROSS THE PROPERTY OF LENA P. MOULTON TOWN OF SIMSBURY, COUNTY OF HARTFORD, STATE OF CONNECTICUT, SCALE 1 IN.=200 FT., OCT. 1940.
 - PERIMETER SURVEY, SUBDIVISION PLAN PREPARED FOR DORSET CROSSING, LLC, DORSET CROSSING DRIVE, SIMSBURY, CONNECTICUT, SCALE 1"=100', DATED 04-11-2012 REVISED 04-17-2012, SHEET 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC. 6 CREAMERY BROOK, EAST GRANBY, CT 06026



Certificate of Conditional Approval

Received for the _____ Commission by: _____

We hereby certify that on the _____ day of _____, 2012, the Commission of Simsbury, Connecticut approved this plan for the _____ Commission.

Chairman: _____ Secretary: _____

Received for filing on: _____ by: _____ (Town Clerk)

In accordance with the Connecticut General Statutes, this approval must be completed by _____

GRAPHIC SCALE
(IN FEET)
1 inch = 100 ft.

PERIMETER SURVEY

RESUBDIVISION PLAN FOR **DORSET CROSSING, LLC** 115 & 130 CASTERBRIDGE CROSSING, SIMSBURY, CONNECTICUT

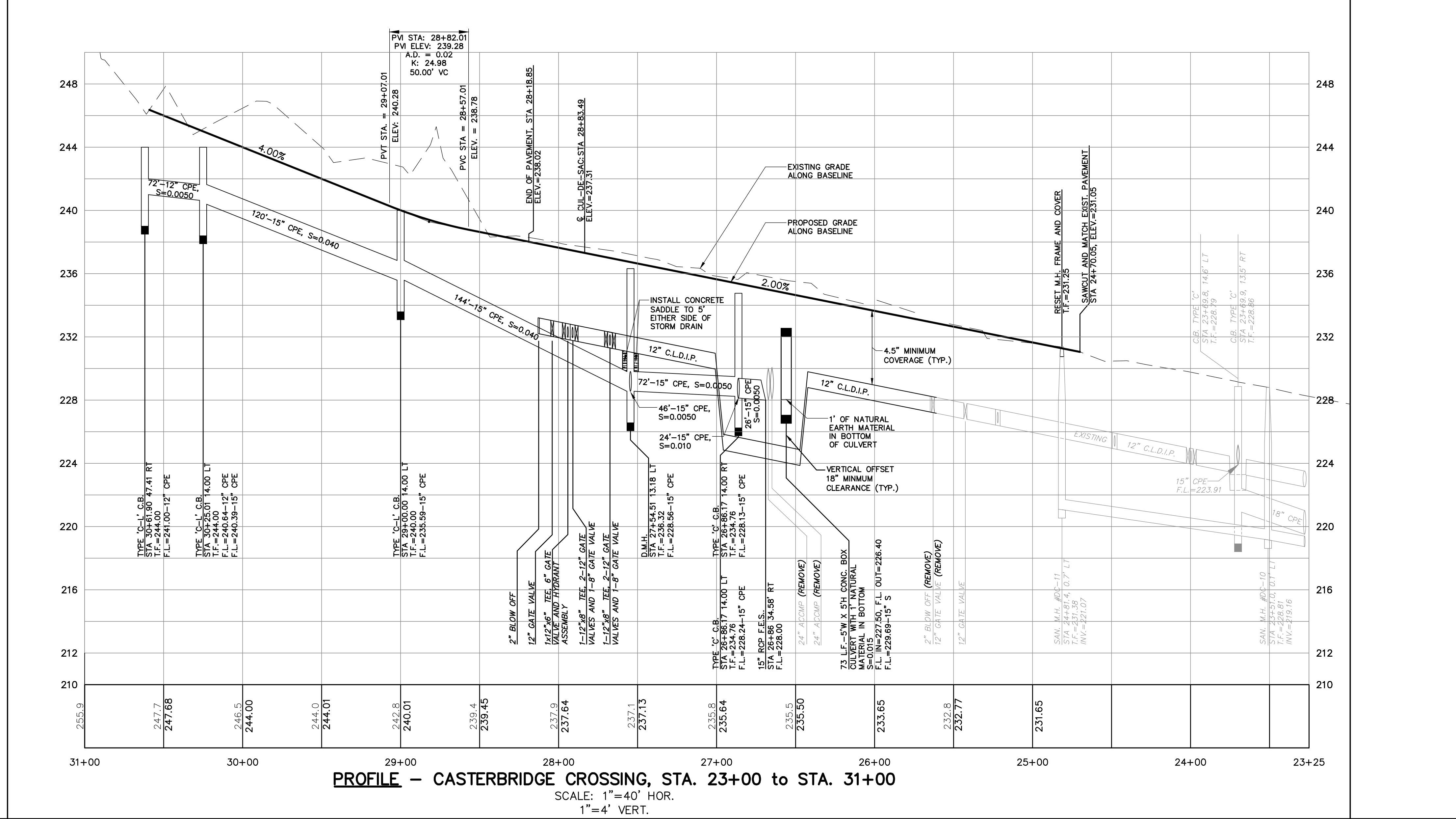
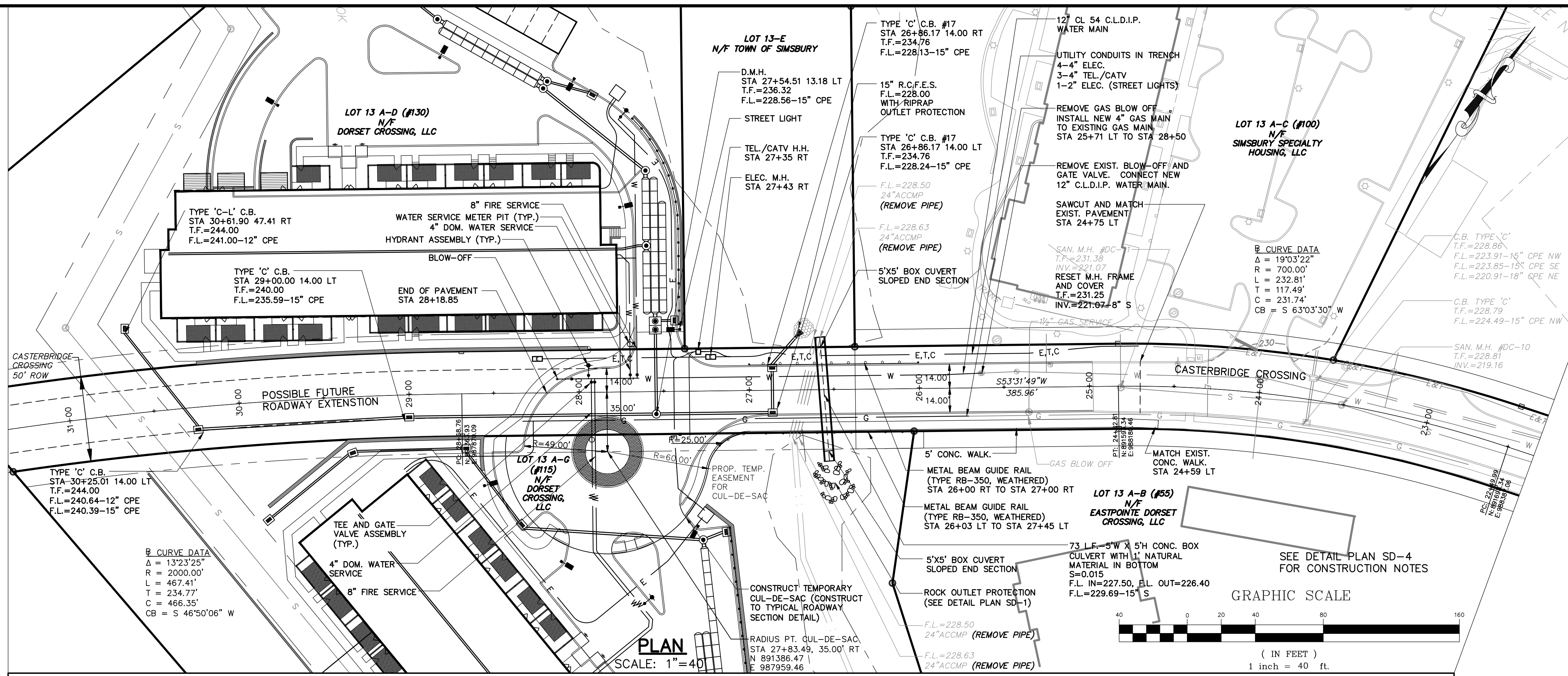
No.	Date	Description
1	04-17-2012	Add Lot F
2	02-05-2013	Resubdivision Application Submittal
3	02-14-2013	Reconfig. Lot A&B&F&G Lot G
4	10-03-2013	Approval/Town Comments
5	12-06-2013	Town Approval Letter
6	06-10-2019	Relocation of Temp. Turnaround
7	09-20-2019	Easement/Title Conditional Approval

Date: 04-11-2012 Drawn by: CAD Job no: 04174
Scale: 1"=100' Checked by: TSH Sheet no: 1 OF 1
Scale: 1"=100' approval.dwg, RESUB-3, Oct. 14, 2019 11:56:39 PM

RESUB-2

F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 • Fax (860) 844-8600
www.fahinc.com • info@fahinc.com

F.A.H.
Civil & Traffic Engineers • Surveyors • Landscapers • Architects



PROFILE - CASTERBRIDGE CROSSING, STA. 23+00 TO STA. 31+00
 SCALE: 1" = 40' HOR.
 1" = 4' VERT.

Crown Simsbury

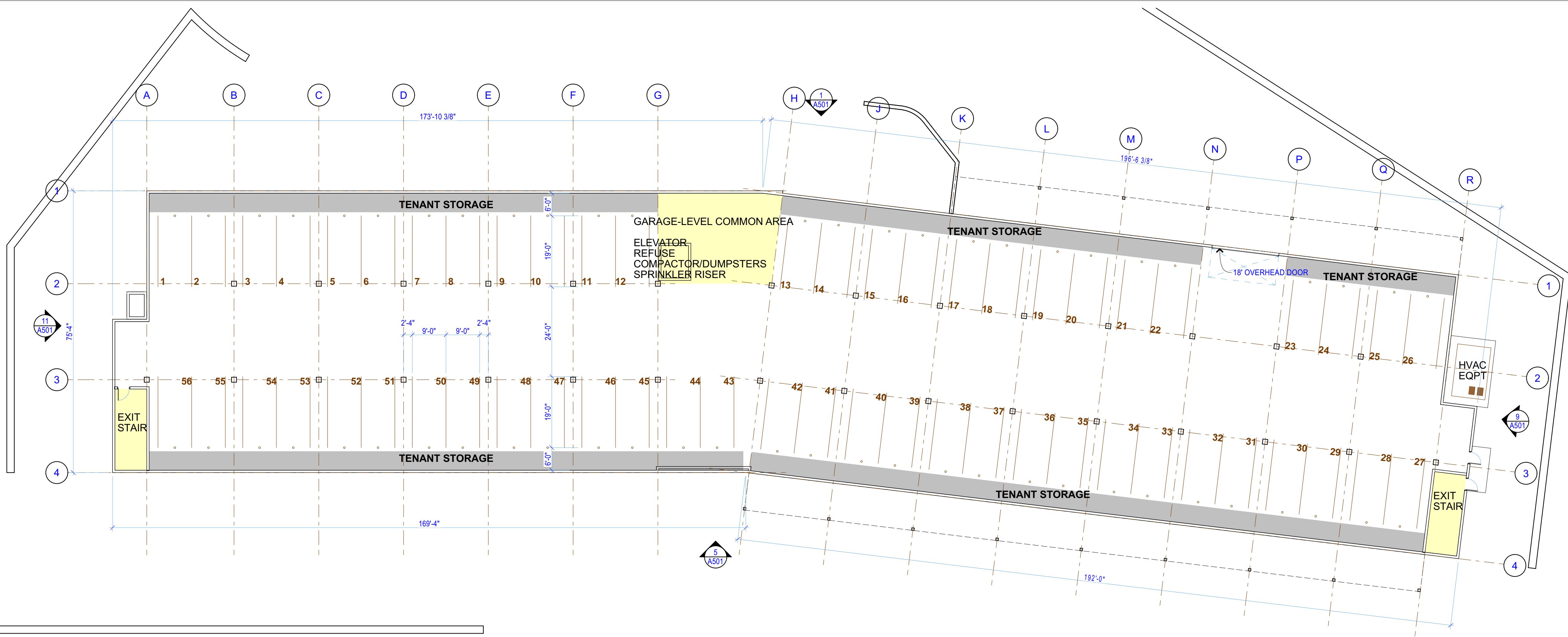
FAH F. A. Hesketh & Associates, Inc.
 6 Creamery Brook, East Granby, CT 06026
 Civil & Traffic Engineers • Planners • Landscape Architects

Phone (860) 653-8000
 Fax (860) 644-8600
 e-mail: fah@faheinc.com

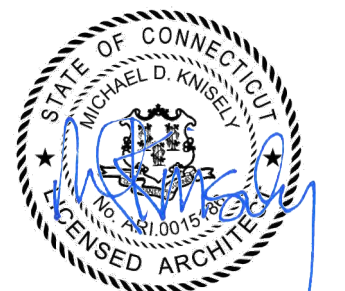
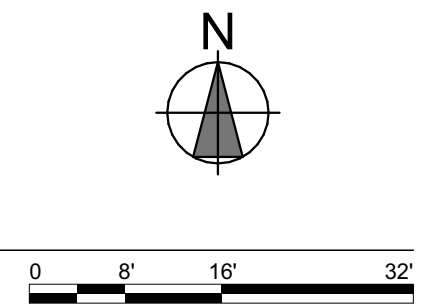
ROADWAY PLAN & PROFILE		Revisions:	
No.	Date	Description	
1	02-05-2016	Town Comments	
2	06-21-2016	Misc. Revisions	
3	08-19-2016	Town Applications	
4	01-10-2017	Town comments	
5	03-08-2017	Welland comments	
6	09-20-2019	Town Engr. & WPCA comments	
7	12-03-2021	IWCC Submittal Set	

PREPARED FOR: **CROWN PROPERTY HOLDINGS, LLC**
 PROJECT: **CASTERBRIDGE CROSSING**
 LOCATION: **SIMSBURY, CONNECTICUT**
 Date: 12-23-2015 Drawn by: DRT Job no: 04174
 Checked by: GAH Sheet no: 1 OF 1
 Scale: AS SHOWN Submission\TAP_PP-1-24_Conservation_Submission\TAP_PP-3_Rev_03_2021 - 6:59:15 AM

Crown Simsbury
CASTERBRIDGE CROSSING
SIMSBURY, CONNECTICUT



5
A100 FLOOR PLAN - GARAGE LEVEL BUILDING G
SCALE: 1/16" = 1'-0"



12/15/2021

-	Site Plan Review	12/15/2021
No.	Description	Date

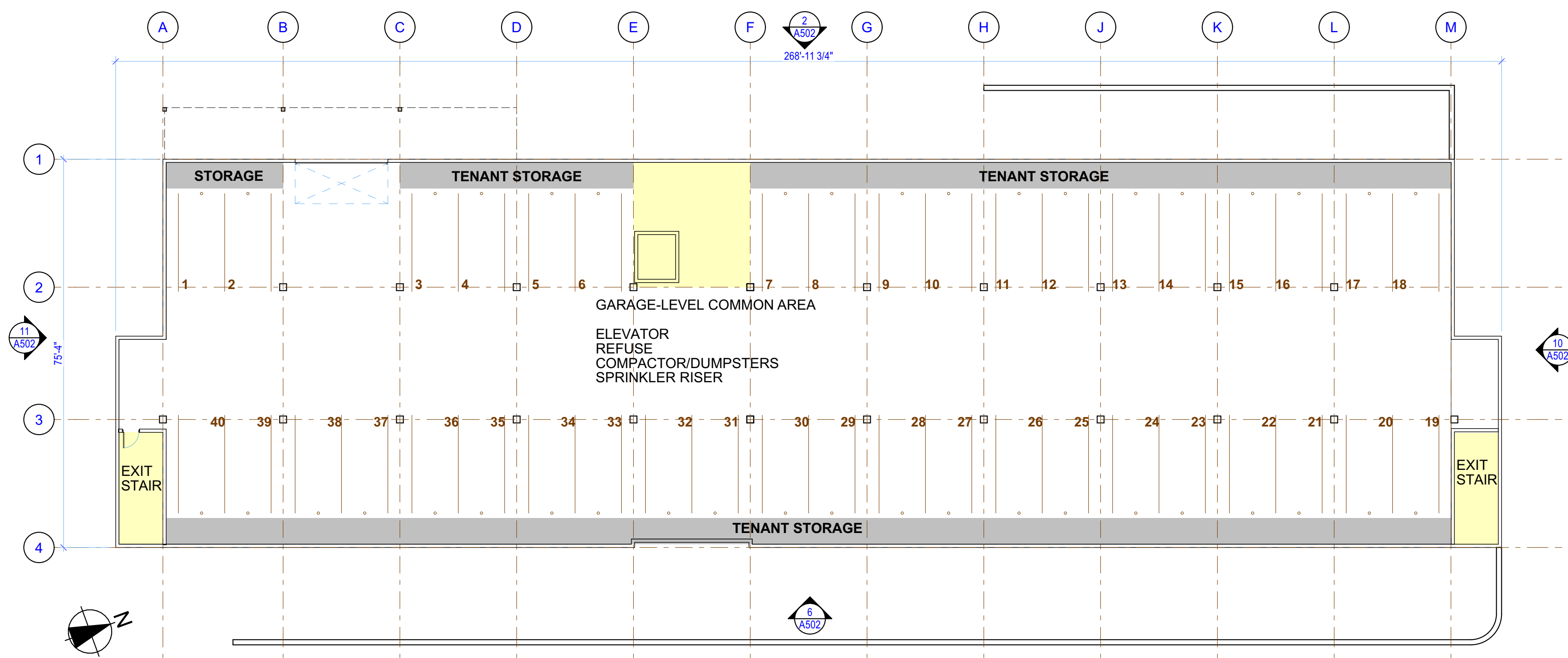
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**GARAGE LEVEL
FLOOR PLAN**

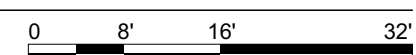
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PROJECT NO: 21.12.07
DRAWN BY: DLK
CHECKED BY: MDK
CAD/BIM PUBLISH DATE: 12/15/2021

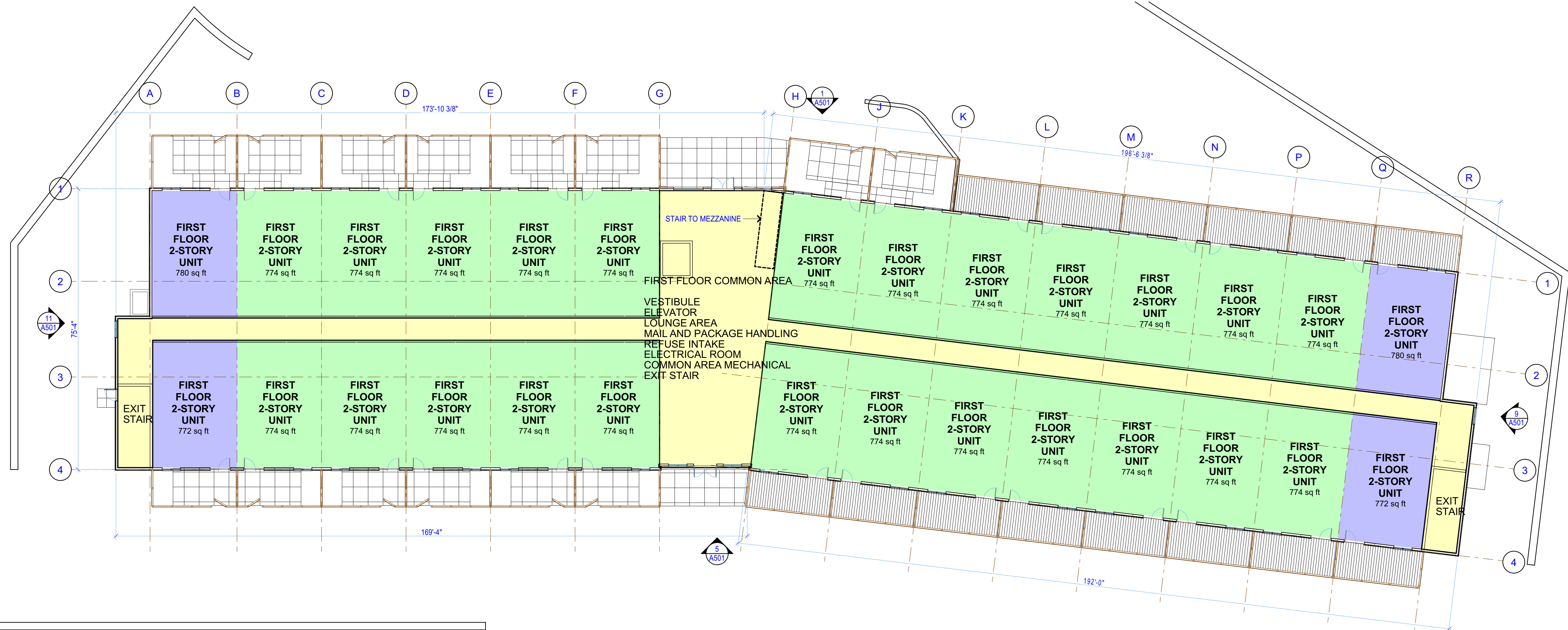
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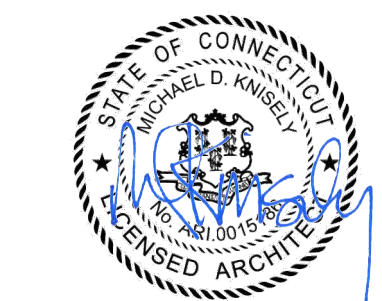
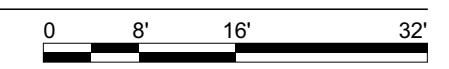
13
A100 FLOOR PLAN - GARAGE LEVEL BUILDING D
SCALE: 1/16" = 1'-0"



Crown Simsbury
CASTERBRIDGE CROSSING
SIMSBURY, CONNECTICUT



5 FLOOR PLAN - ENTRY LEVEL BUILDING G
SCALE: 1/16" = 1'-0"



12/15/2021

No.	Description	Date
-	Site Plan Review	12/15/2021

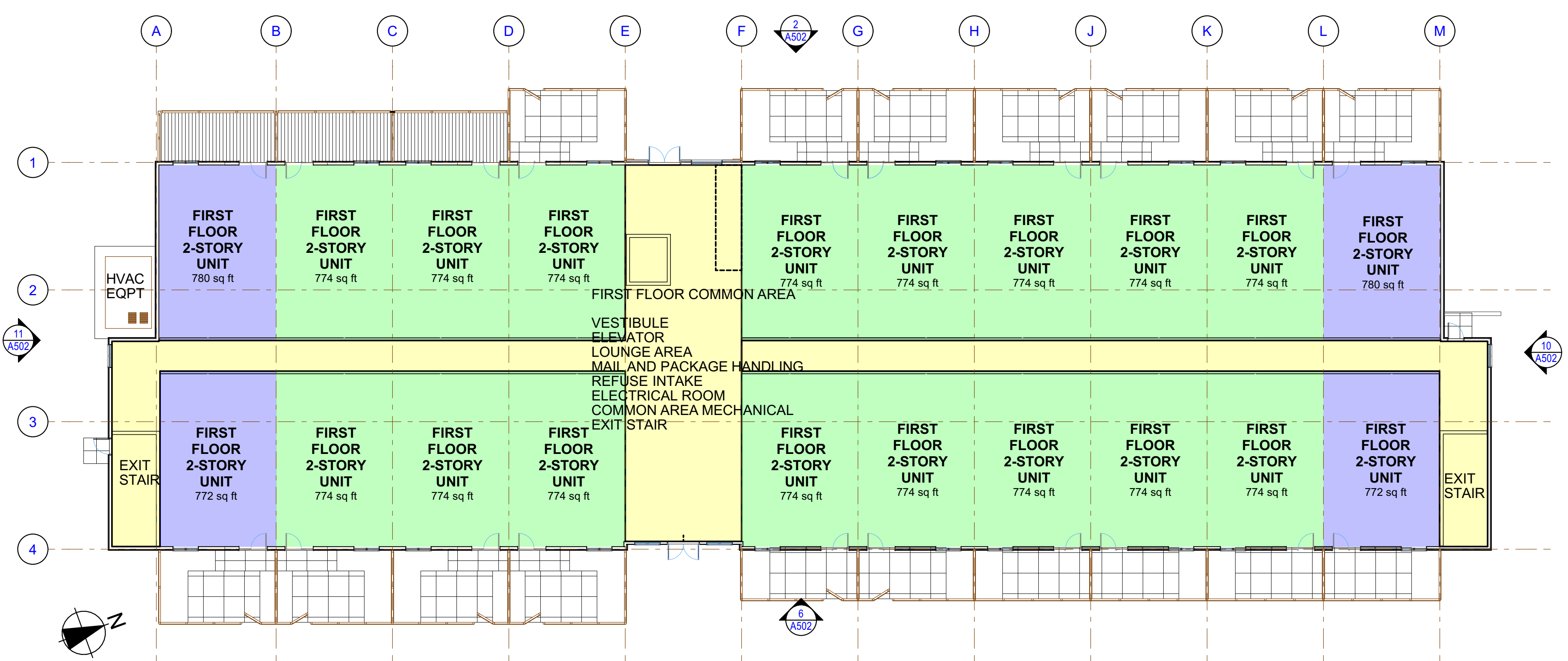
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FIRST FLOOR PLAN

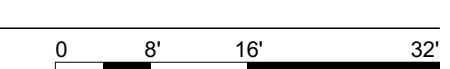
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PROJECT NO:	21.12.07
DRAWN BY:	DLK
CHECKED BY:	MDK
CAD/BIM PUBLISH DATE:	12/15/2021

A101



13 FLOOR PLAN - ENTRY LEVEL BUILDING D
SCALE: 1/16" = 1'-0"





12/15/2021

No.	Description	Date
-	Site Plan Review	12/15/2021

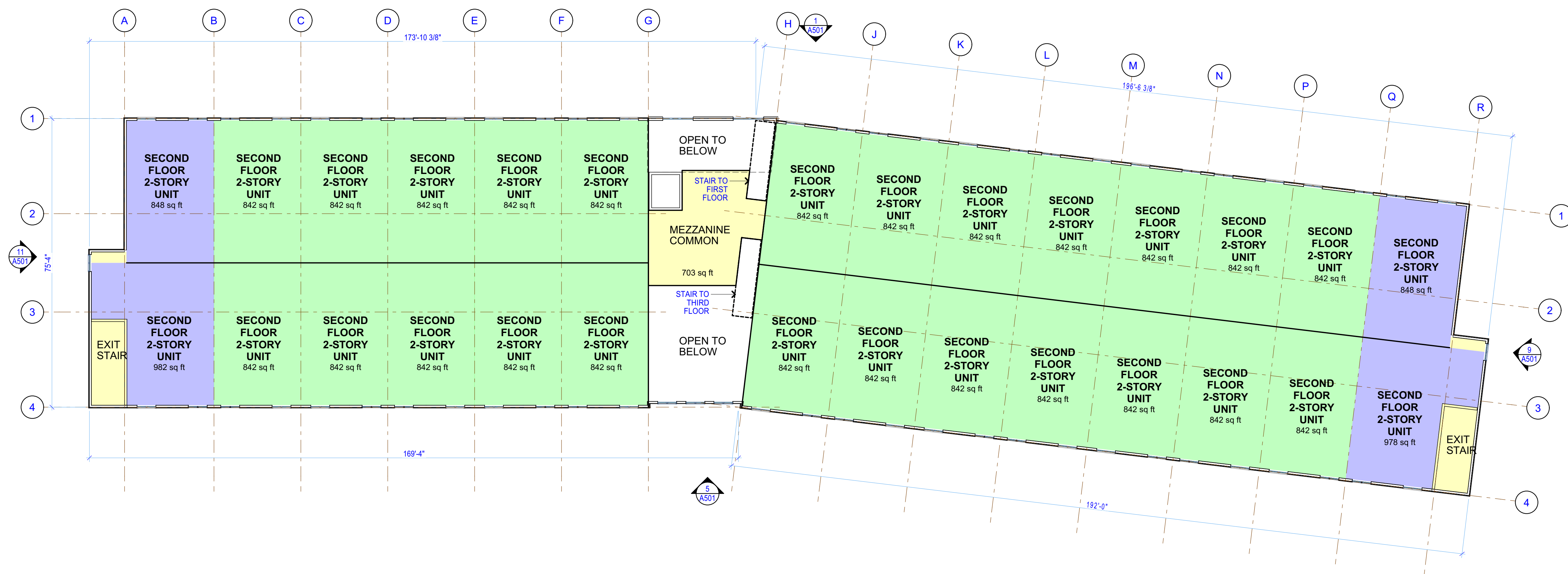
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SECOND FLOOR PLAN

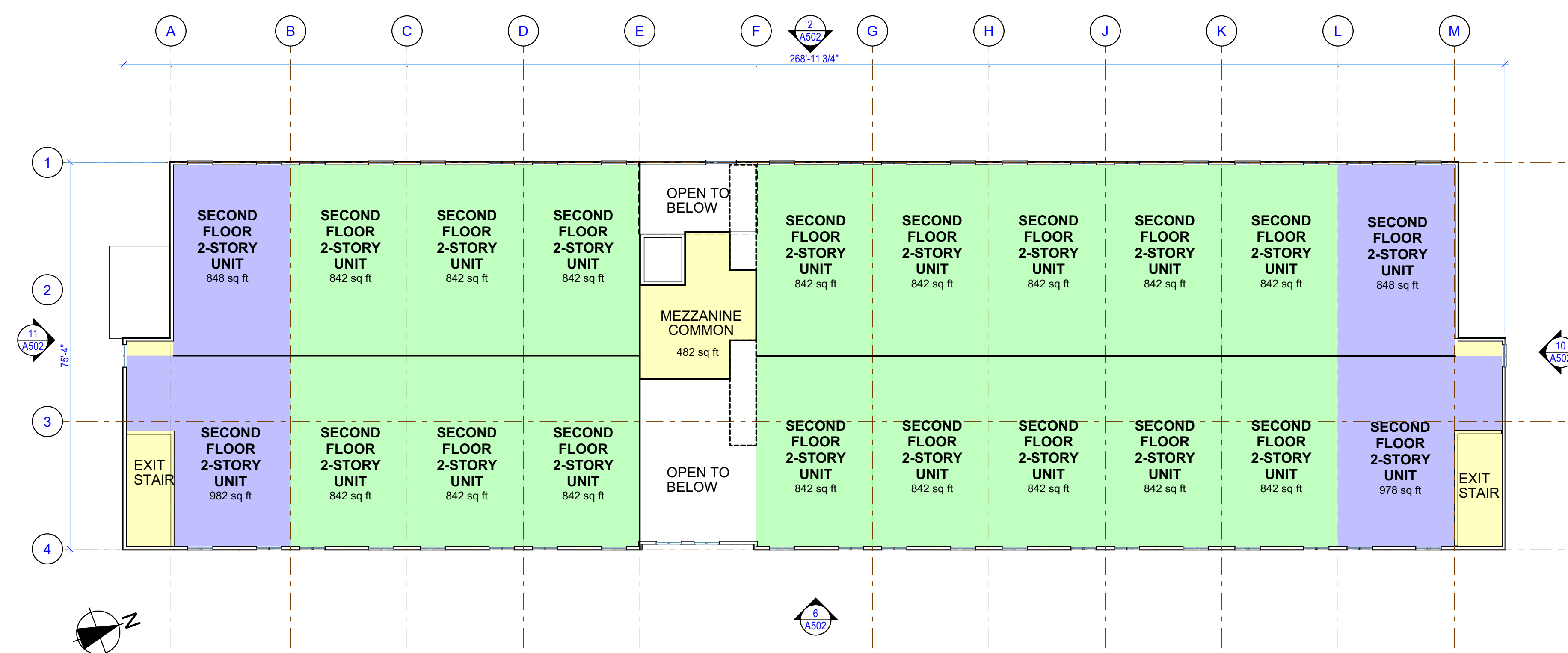
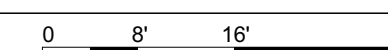
DRAWING INFORMATION

PROJECT NO: 21.12.07
DRAWN BY: DLK
CHECKED BY: MDK
CAD/BIM PUBLISH DATE: 12/15/2021

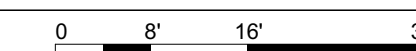
A102



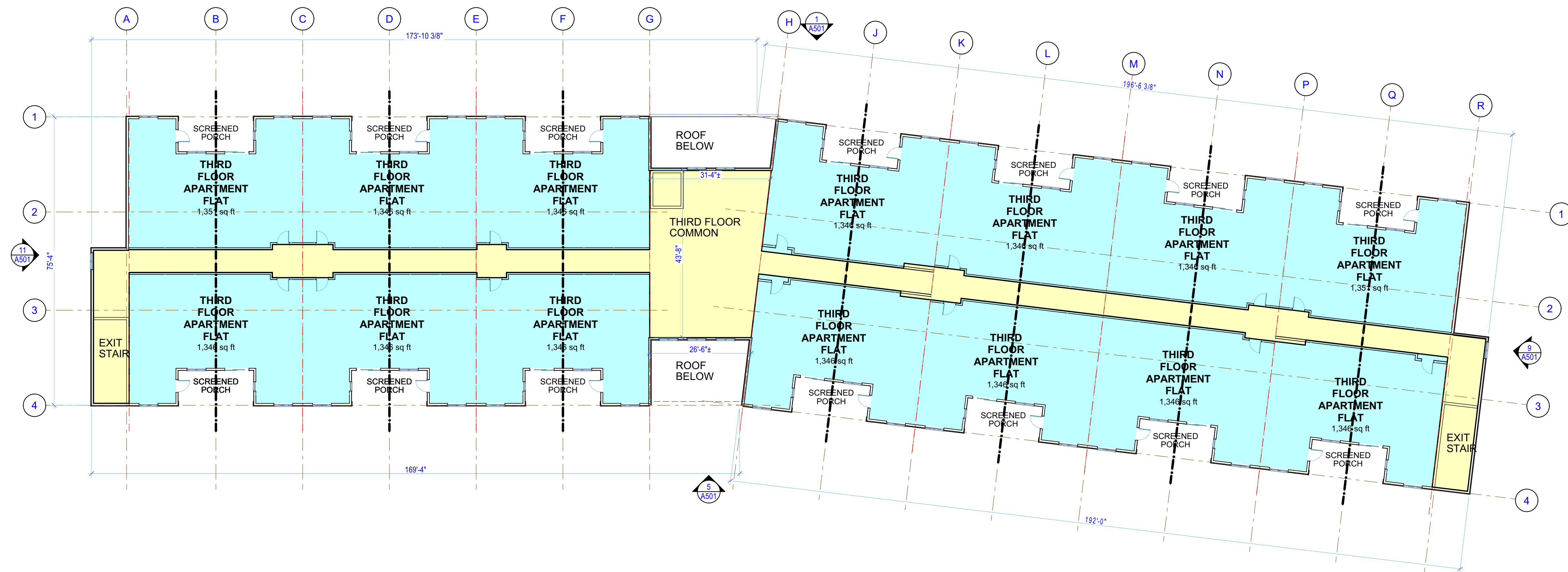
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A102 FLOOR PLAN - 2ND LEVEL BUILDING G
SCALE: 1/16" = 1'-0"



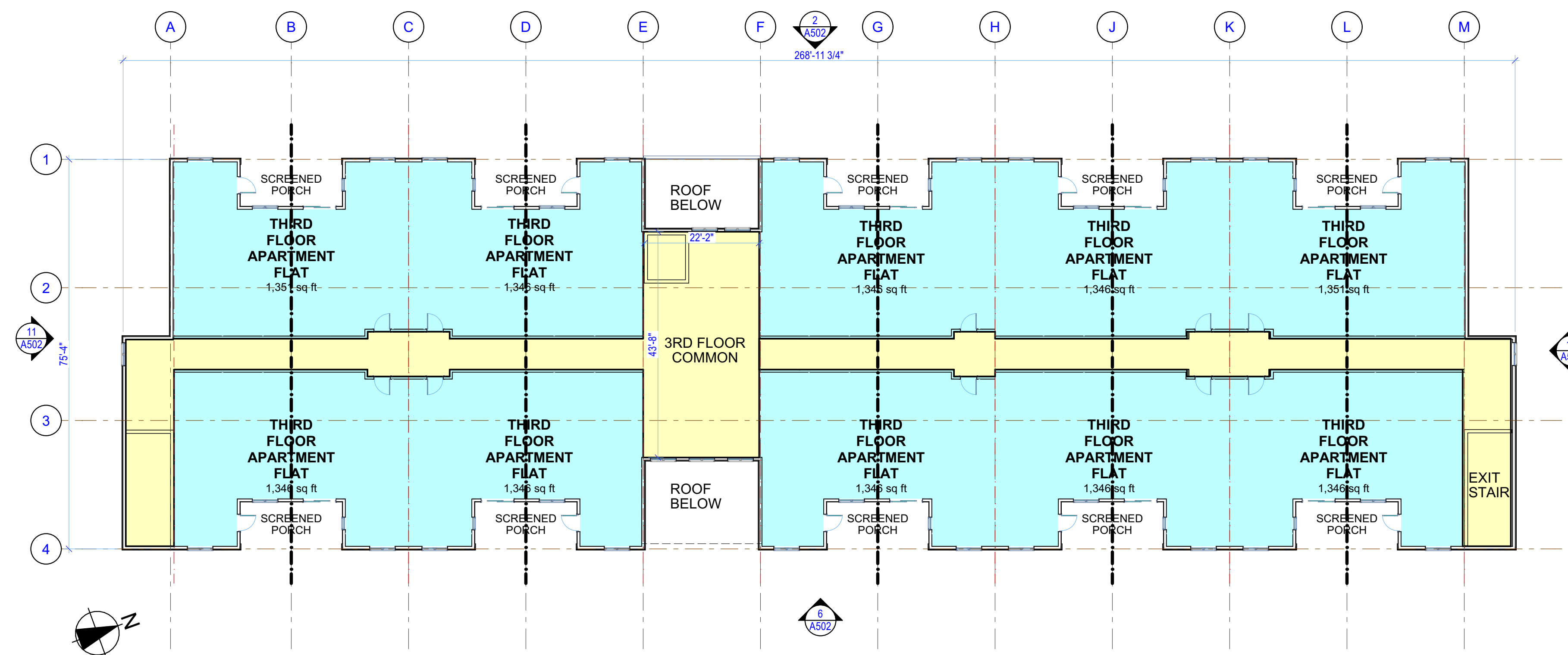
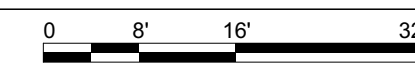
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A102 FLOOR PLAN - 2ND LEVEL BUILDING D
SCALE: 1/16" = 1'-0"



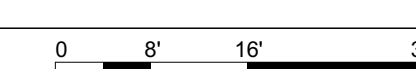
Crown Simsbury
CASTERBRIDGE CROSSING
SIMSBURY, CONNECTICUT



5 FLOOR PLAN - 3RD LEVEL (FLATS) BUILDING G
A103 SCALE: 1/16" = 1'-0"



13 FLOOR PLAN - 3RD LEVEL (FLATS) BUILDING D
A103 SCALE: 1/16" = 1'-0"



12/15/2021

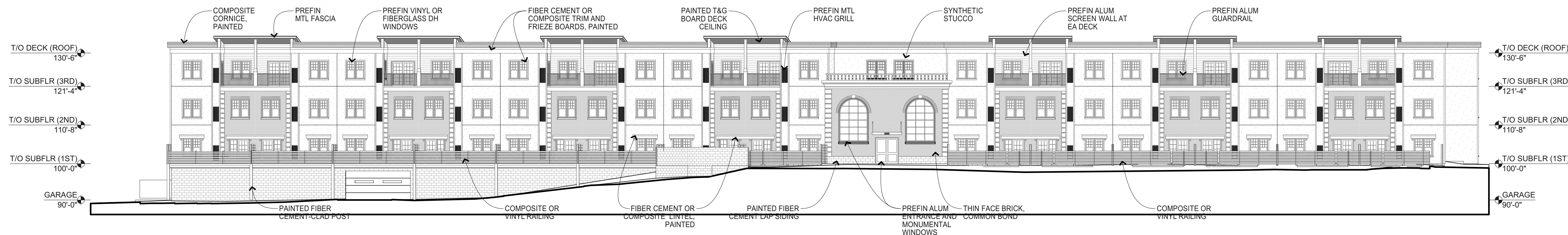
No.	Description	Date
-	Site Plan Review	12/15/2021

DRAWING TITLE

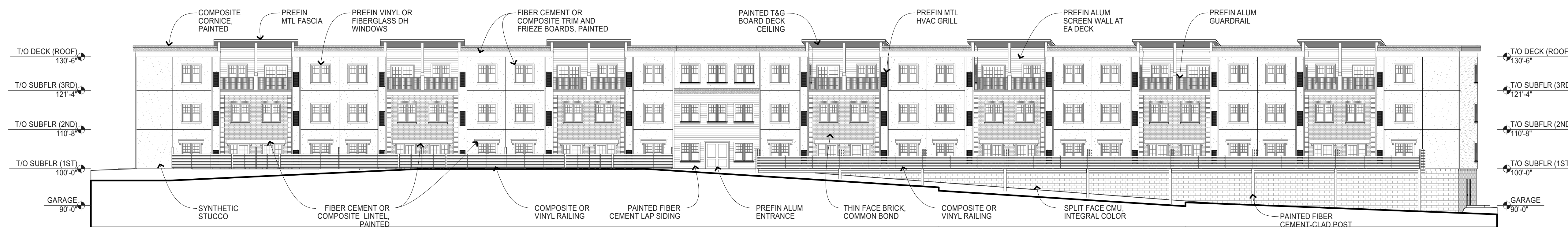
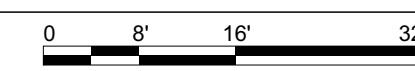
THIRD FLOOR PLAN

DRAWING INFORMATION
PROJECT NO: 21.12.07
DRAWN BY: DLK
CHECKED BY: MDK
CAD/BIM PUBLISH DATE: 12/15/2021

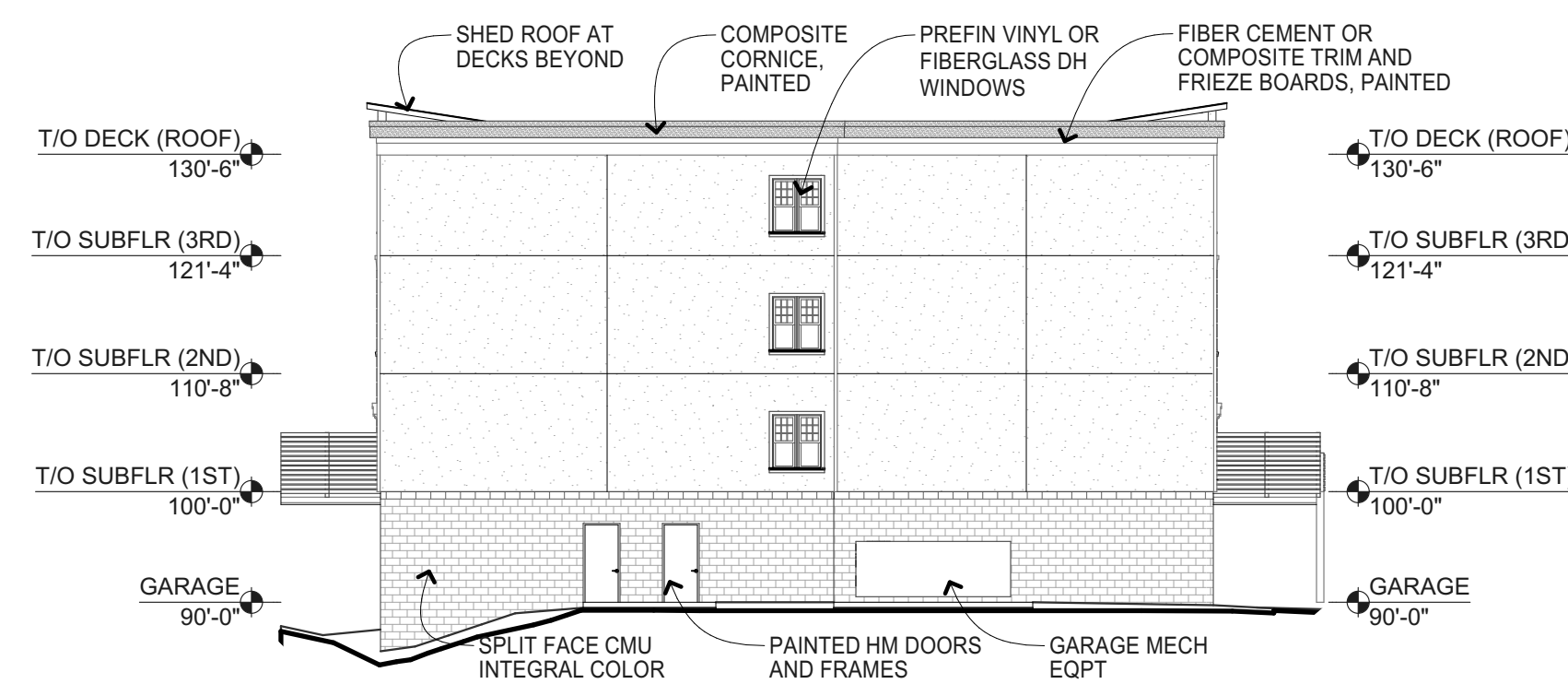
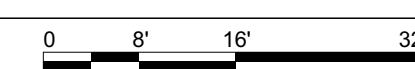
A103



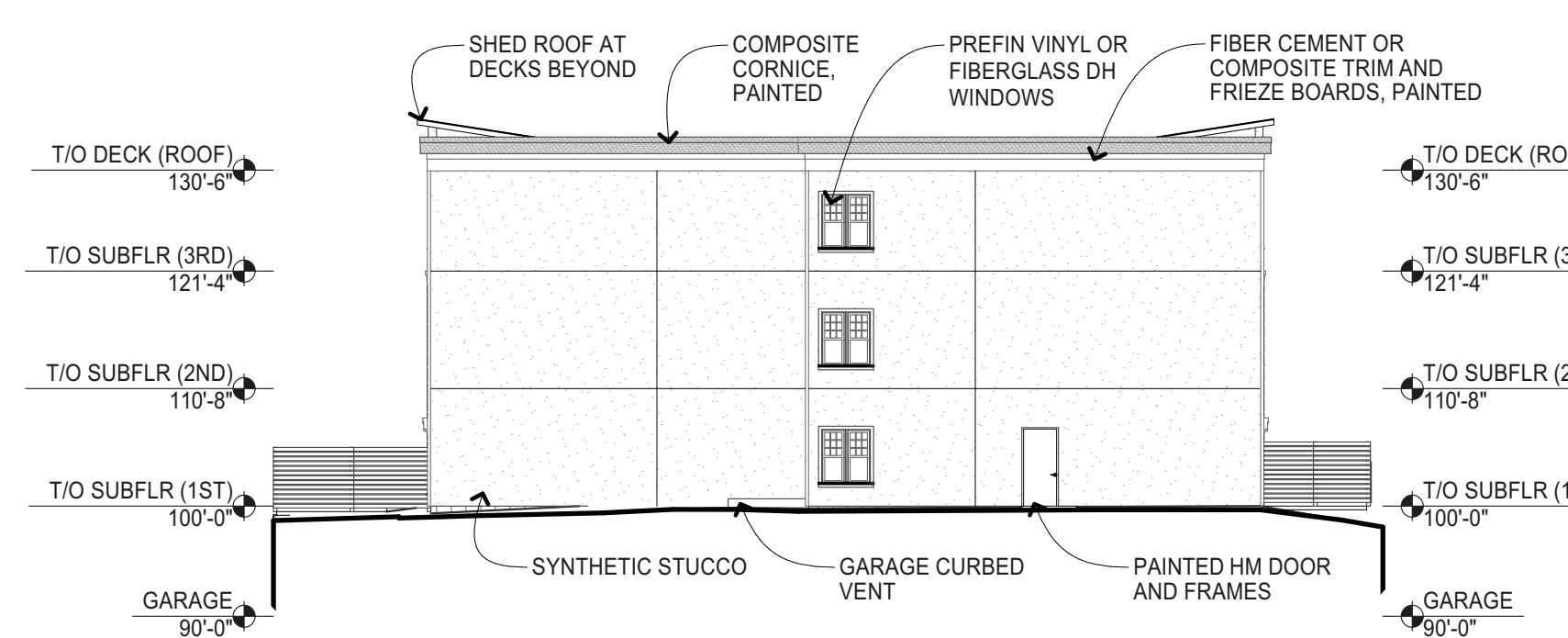
1
A501 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



5
A501 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



9
A501 EAST ELEVATION
SCALE: 1/16" = 1'-0"



11
A501 WEST ELEVATION
SCALE: 1/16" = 1'-0"



12/15/2021

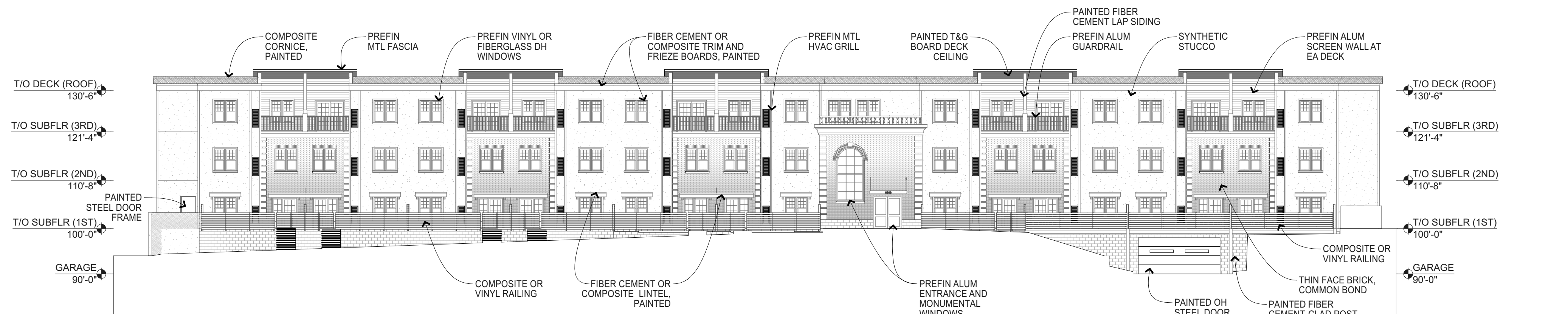
No.	Description	Date
-	Site Plan Review	12/15/2021

DRAWING TITLE
**EXTERIOR ELEVATIONS
LOT G BUILDING**

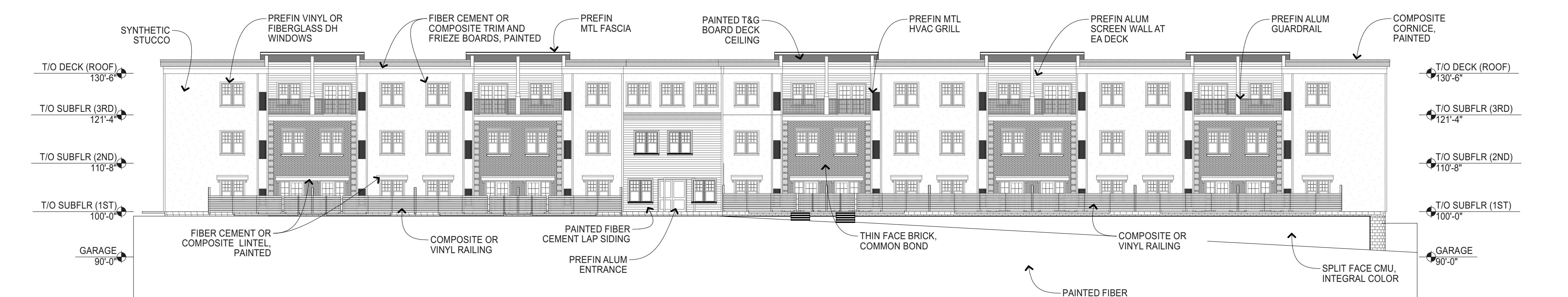
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PROJECT NO: 21.12.07
DRAWN BY: DLK
CHECKED BY: MDK
CAD/BIM PUBLISH DATE: 12/15/2021

A501

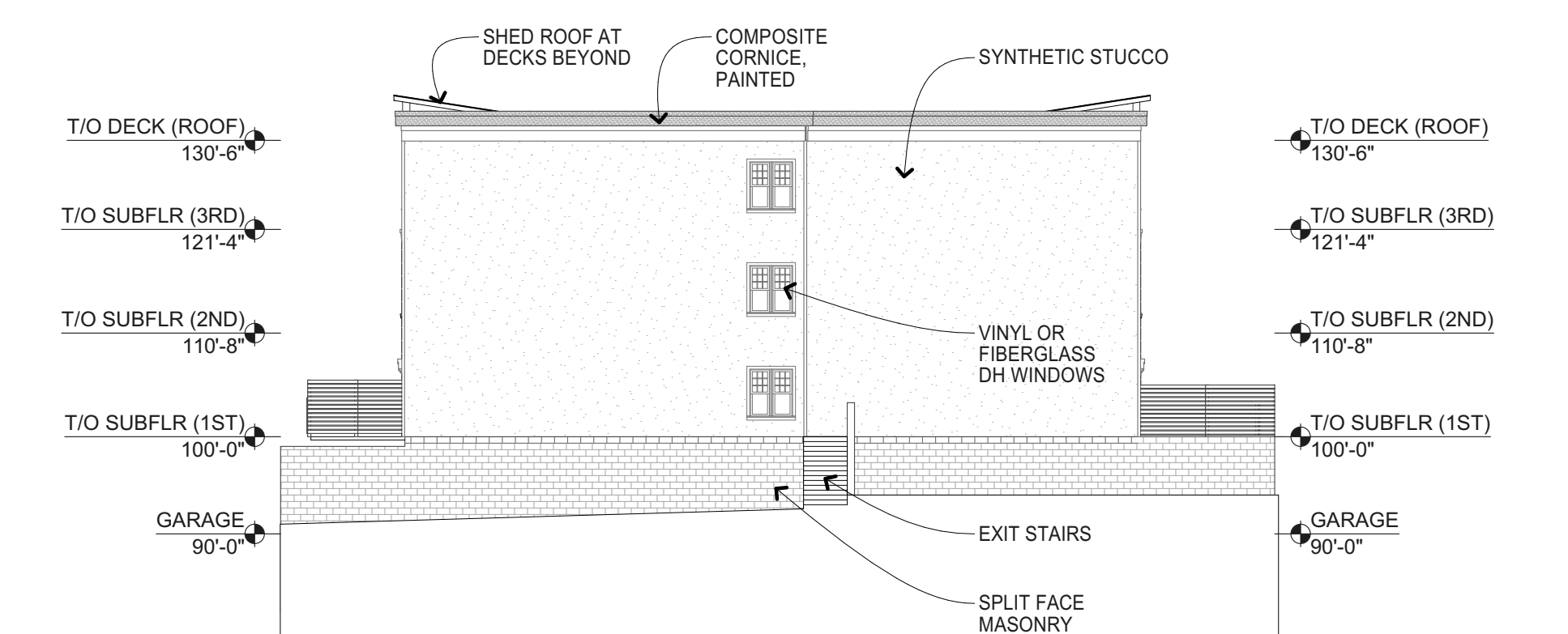
2
A502 **WEST ELEVATION**
SCALE: 1/16" = 1'-0"



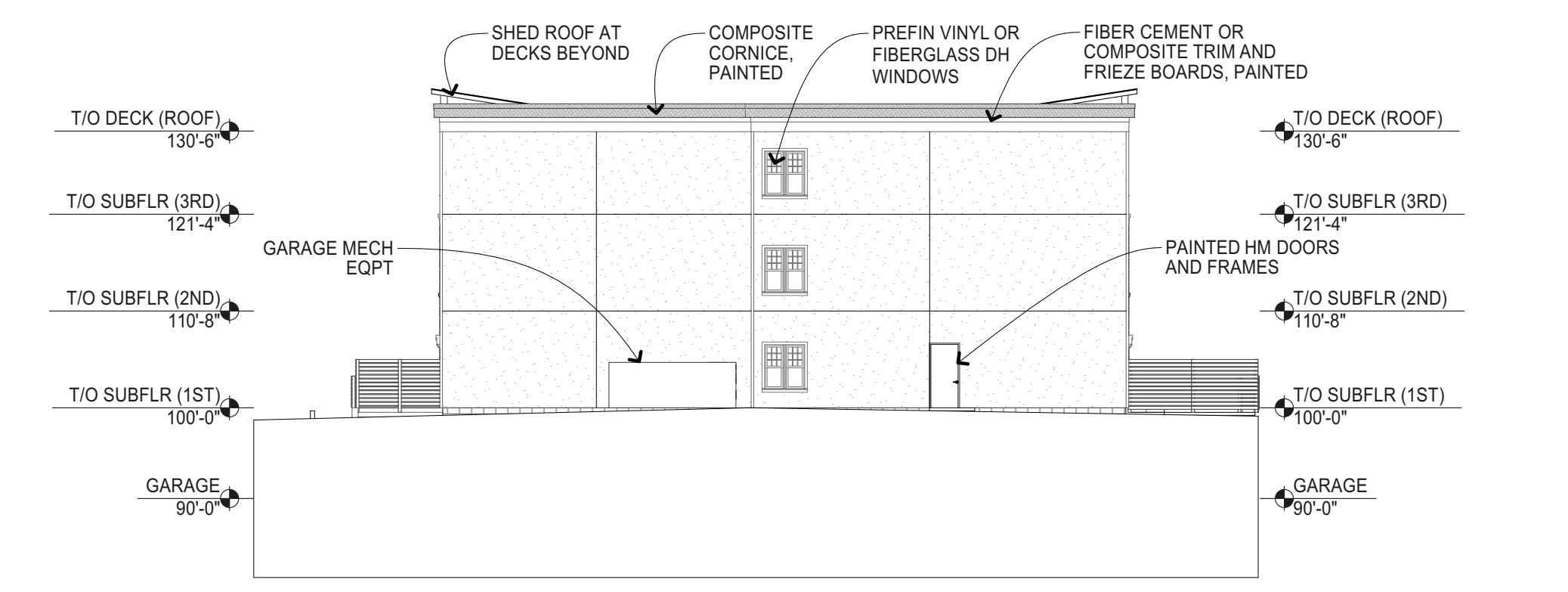
6
A502 **EAST ELEVATION**
SCALE: 1/16" = 1'-0"



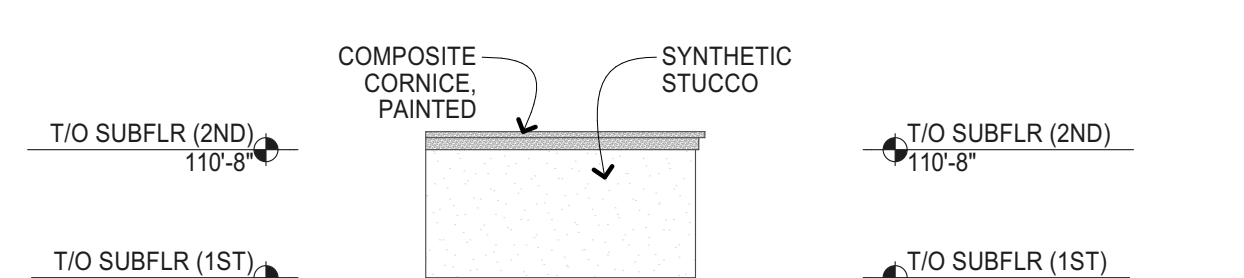
10
A502 **NORTH ELEVATION**
SCALE: 1/16" = 1'-0"



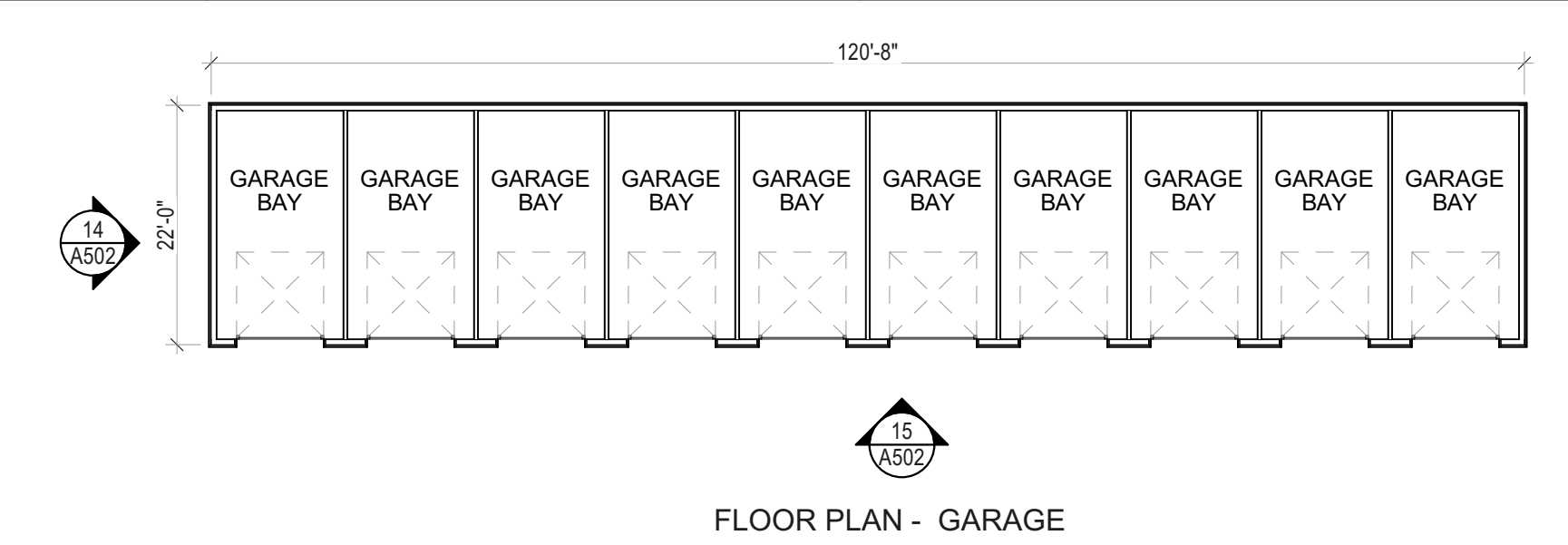
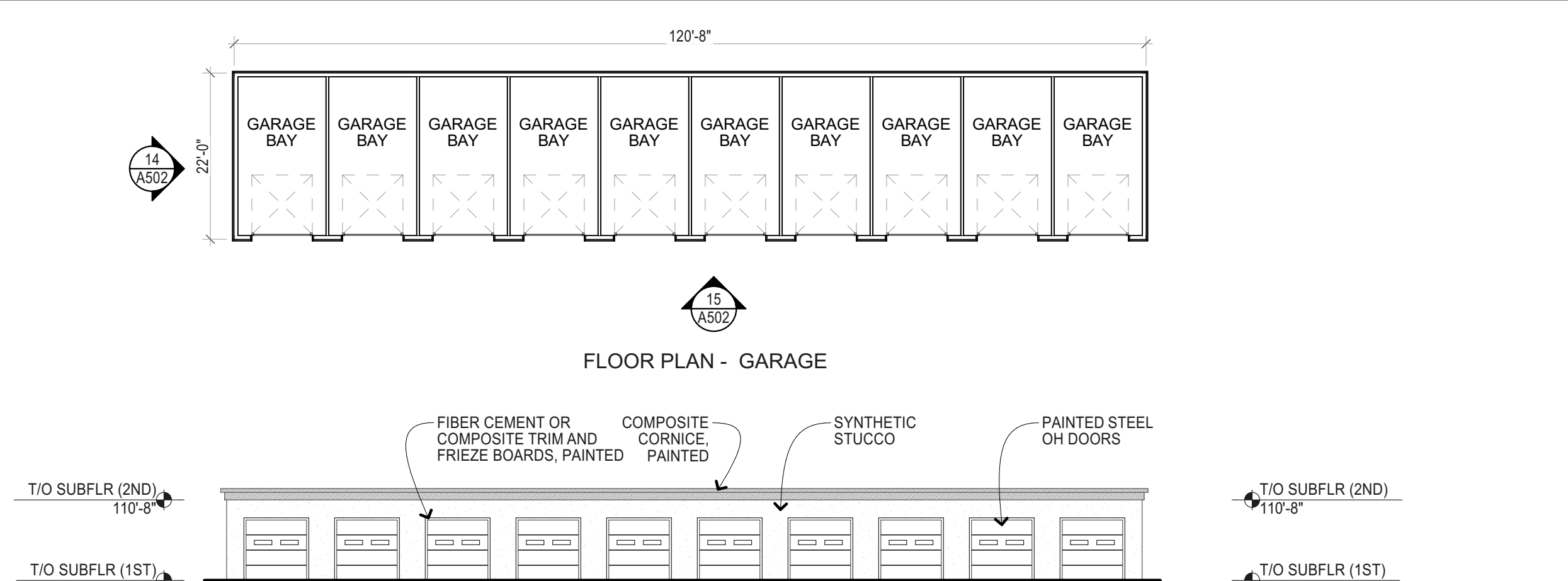
11
A502 **SOUTH ELEVATION**
SCALE: 1/16" = 1'-0"



14
A502 **SOUTH ELEVATION - GARAGE**
SCALE: 1/16" = 1'-0"



15
A502 **EAST ELEVATION - GARAGE**
SCALE: 1/16" = 1'-0"



12/15/2021

No.	Description	Date
-	Site Plan Review	12/15/2021

DRAWING TITLE
**EXTERIOR ELEVATIONS
LOT D BUILDING**

DRAWING INFORMATION
PROJECT NO: 21.12.07
DRAWN BY: DLK
CHECKED BY: MDK
CAD/BIM PUBLISH DATE: 12/15/2021

A502