Crown Simsbury Apartments at Dorset Crossing Lots D and G - Dorset Crossing PAD Simsbury, Connecticut

DEVELOPMENT TEAM

Property Owner	Dorset Crossing, LLC 30 Dorset Crossing Drive Suite 600 Simsbury, CT 06070
Applicant/Developer	Crown Property Holdings, LLC 2001 Killebrew Drive Suite 100 Bloomington, MN 55245
Architect	Distyle Design Architects 3410 Winnetka Ave. N Suite 103 Minneapolis, Minnesota 55427
Civil Engineer	F. A. Hesketh & Associates, Inc.3 Creamery BrookEast Granby, CT 06026
Landscape Architect	F. A. Hesketh & Associates, Inc.
Traffic Engineer	F. A. Hesketh & Associates, Inc.
Surveyor	F. A. Hesketh & Associates, Inc.

Site Plan Application

December 15, 2021 LIST

LA-1 LS-1 thru GR-1 EC-1 UT-1 SD-1 thru NT-1 T-1

MA-1

RESUB-2

PP-3

A100 thru

A501 and

AD

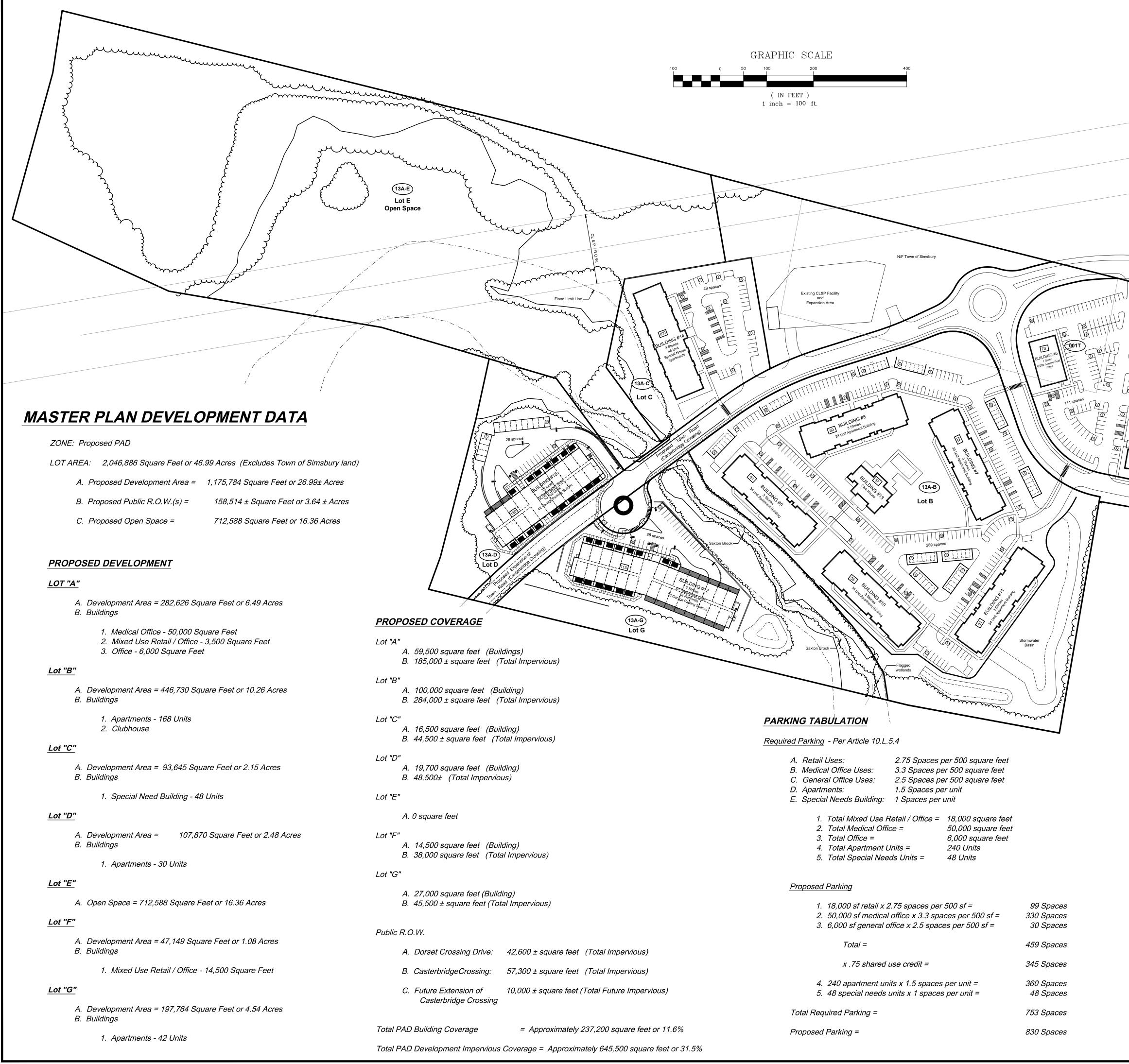
VICINITY MAP (NOT TO SCALE)

LIST OF DRAWINGS

	Title Sheet
	Master Development Plan
	Layout Plan
u LS-3	Landscape Plans
	Grading Plan
	Soil Erosion and Sedimentation Control Plan
	Drainage and Utility Plan
u SD-5	Details
	Notes
	Perimeter Survey/Topographic Survey
-2	Resubdivision Plan
	Roadway Plan and Profile
ru A103	Floor Plans
d A502	Exterior Building Elevations

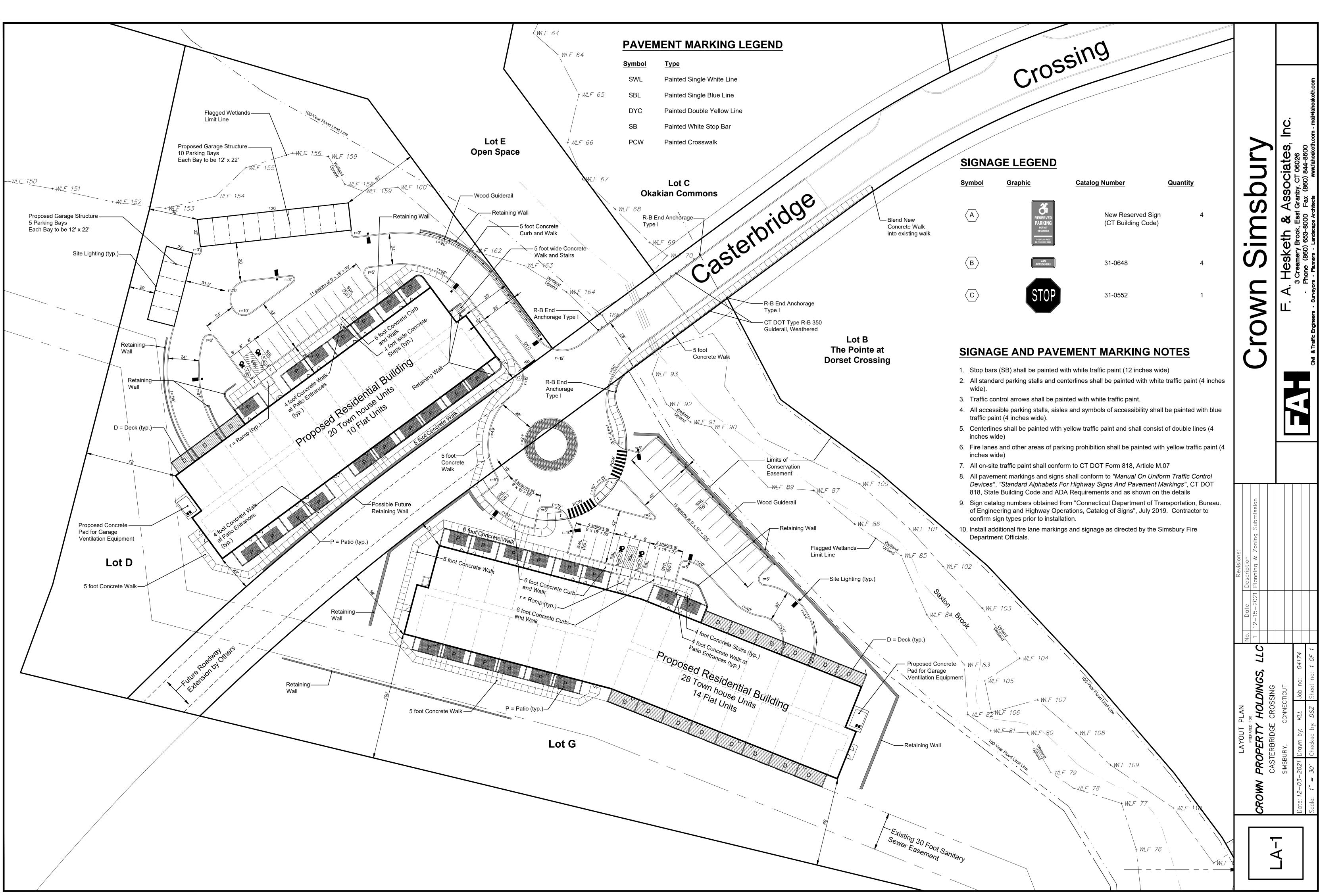


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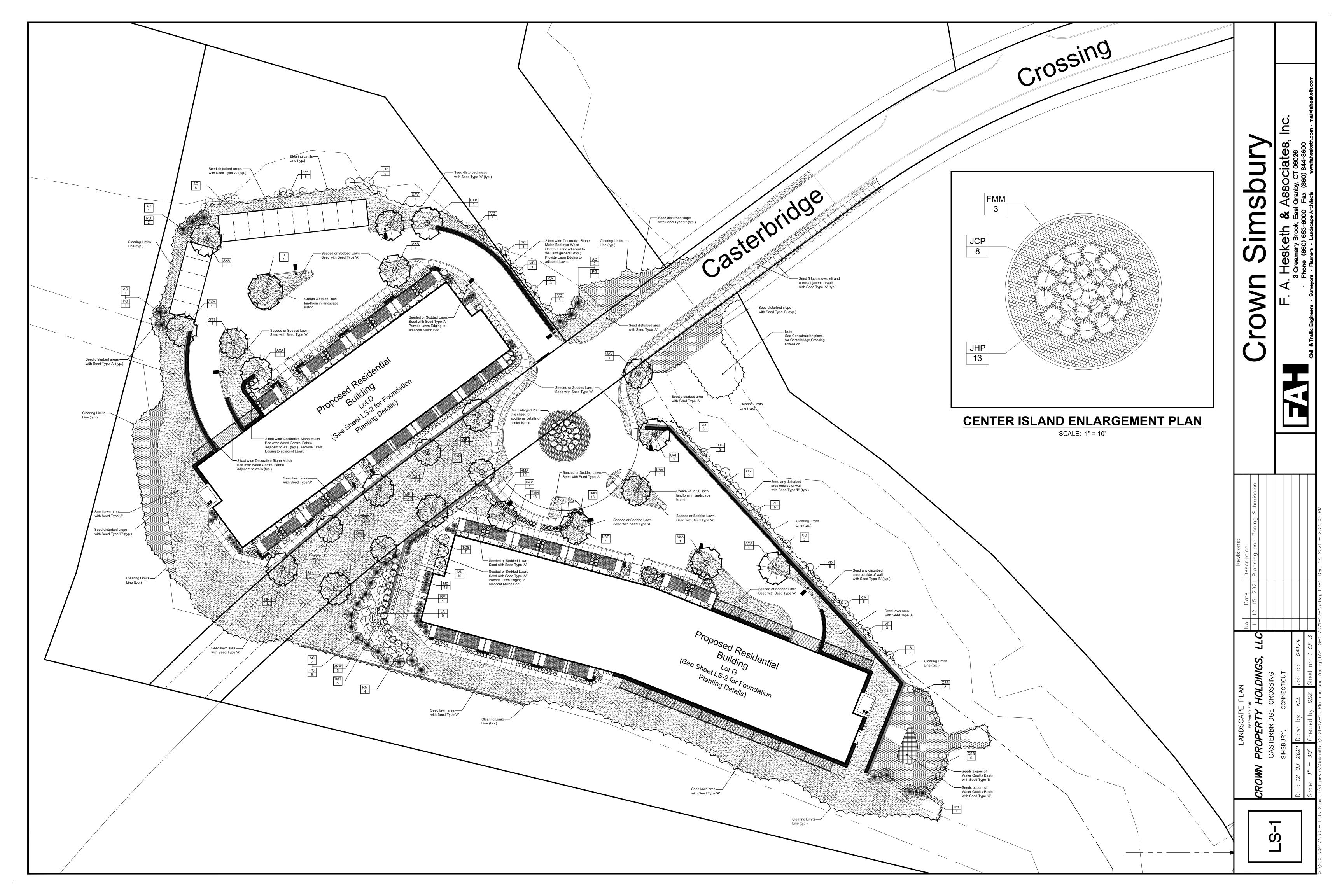


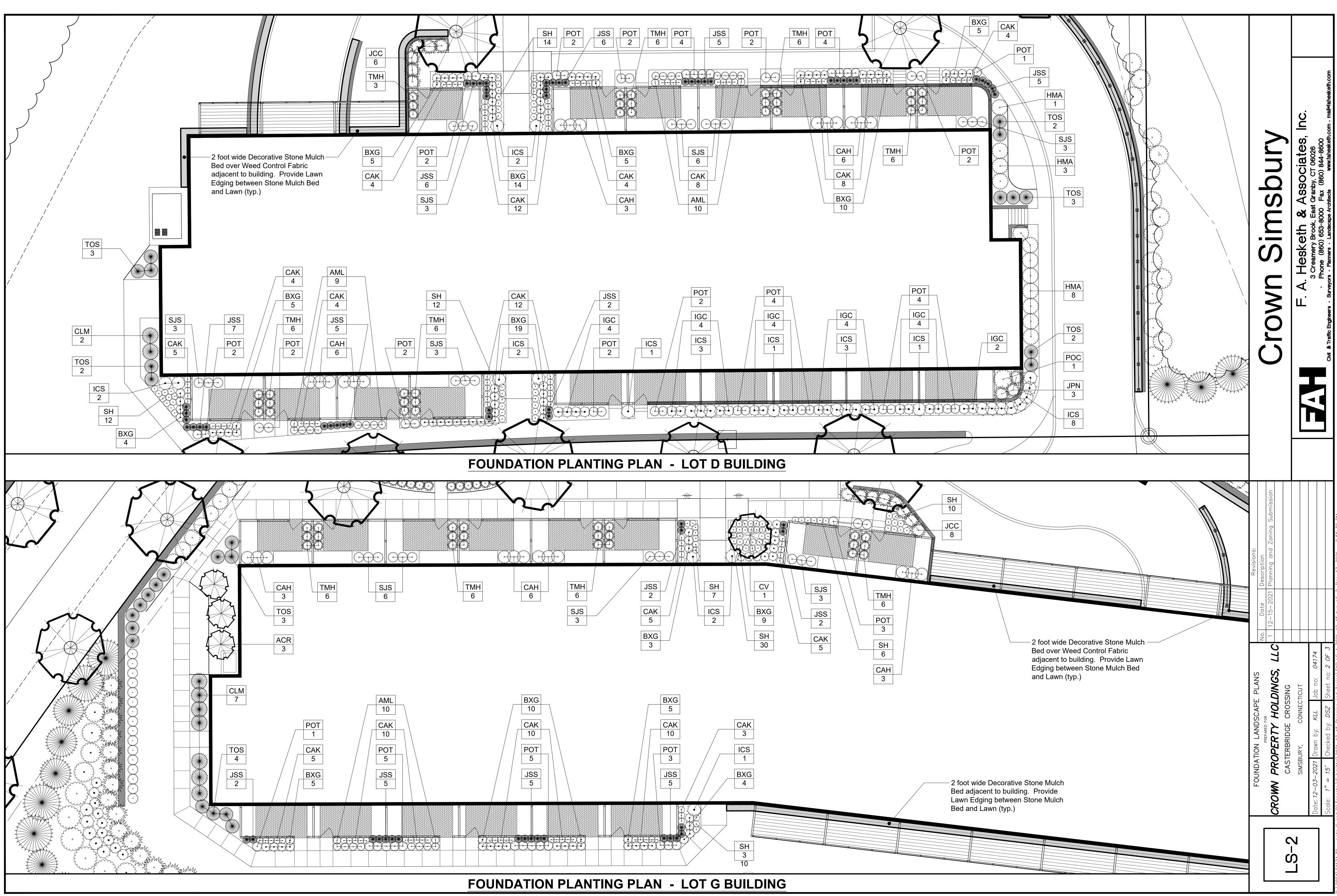
FROPU	<u>SED COVERAGE</u>	
	<i>59,500 square feet (Buil 185,000 ± square feet (1</i>	
	100,000 square feet (Bu 284,000 ± square feet (1	
	16,500 square feet (Buil 44,500 ± square feet (To	
	19,700 square feet (Build 48,500± (Total Imperviou	
Lot "E"		
A.	0 square feet	
В.	14,500 square feet (Build 38,000 square feet (Tota	• /
	27,000 square feet (Build 45,500 ± square feet (Tota	•,
Public R.C	D. W.	
A.	Dorset Crossing Drive:	42,600 ± squa
В.	CasterbridgeCrossing:	57,300 ± squa
C.	Future Extension of Casterbridge Crossing	10,000 ± squa
Total PAD	Building Coverage	= Approx

NF Riverbend Assoc	anor	n Simsbury	² A. Hesketh & Associates, Inc. East Granby, CT 06026 · 146 N W Broad Street, Southern Pines, NC 28387 000 · Fax (860) 844-8600 · Phone (910) 692-2844 Fax (910) 692-3356 Surveyors · Planners · Landscape Architects www.fahesketh.com · mail*fahesketh.com
Image: Sector	adway	C C S	6 Creamery Brook, Eas Phone (860) 653-8000 Civil & Traffic Engineers · Sur
A. Lot Area 1. Minimum Proposed a. Lot Frontage 1. Minimum 1. Minimum a. Lot Frontage 1. Minimum 1. Minimum a. Lot Frontage 1. Minimum 1. Minimum a. Lot Frontage 1. Minimum a. Lot Frontage 1. Minimum a. Lot Frontage 1. Minimum proposed a. Minimum b. Lot Frontage 1. Minimum a. Minimum b. Lot Frontage 1. Minimum b. Lot Frontage b. Lot Frontage <td>PEQUIREMENTS 20 Square Feet 49 Square Feet (Lot F) Feet Feet (Lot E) = 20 Feet = 21 ± Feet (Buildings #12 and #15)</td> <td>V No. Date Description SS, LLC 1 12–15–2021 Planning & Zoning Submission</td> <td>D: 04174 D: 1 OF 1</td>	PEQUIREMENTS 20 Square Feet 49 Square Feet (Lot F) Feet Feet (Lot E) = 20 Feet = 21 ± Feet (Buildings #12 and #15)	V No. Date Description SS, LLC 1 12–15–2021 Planning & Zoning Submission	D: 04174 D: 1 OF 1
 Minimum Side Yard (Principal Bldg.) Proposed Minimum Side Yard (Accessory Str.) Proposed Minimum Rear Yard Proposed Minimum Front Yard Parking Setback Proposed Minimum Side Yard Parking Setback Proposed Minimum Rear Yard parking Setback Proposed Minimum Rear Yard parking Setback Proposed 	 21± Feet (Buildings #12 and #15) 20 Feet 21± Feet (Building #1) 10 Feet 12± Feet (Building #1 Drive Up Canopy) 20 Feet 20 Feet (Building #15) = 10 Feet (Building #15) = 10 Feet (near Building #1) = 10 Feet * = 10 Feet (near Building #15) = 10 Feet * = 20 Feet (near Building #14) 	MASTER DEVELOPMENT PLAN PREPARED FOR CROWN PROPERTY HOLDINGS, CASTERBRIDGE CROSSING	CONNECTICUT KLL Job no : DSZ Sheet
 Maximum Building Height Proposed F. Maximum Coverage Maximum Impervious Coverage Proposed 	 40 Feet (Underlying B-3 Zone) 40 Feet Per Article 10.L.4.1 31.5 Percent 		



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LANDSCAPE SCHEDULE

	Canopy Trees		0	0.	R	
<u>Symbol</u>	Botanical Name	Common Name	<u>Quantity</u>	<u>Size</u>	<u>Root</u>	<u>Mature Height</u>
AXA	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	6	$2\frac{1}{2}$ to 3 inch caliper	Balled and Burlappe	ed 45 to 50 Feet
GTS	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	1	$2\frac{1}{2}$ to 3 inch caliper	Balled and Burlappe	ed 40 to 45 Feet
QA	Quercus alba	White Oak	4	$2\frac{1}{2}$ to 3 inch caliper	Balled and Burlappe	ed 60 to 75 Feet
QR	Quercus rubra	Northern Red Oak	5	$2\frac{1}{2}$ to 3 inch caliper	Balled and Burlappe	ed 60 to 75 Feet
LT	Liriodendron tulipifera	Tuliptree	1	$2\frac{1}{2}$ to 3 inch caliper	Balled and Burlappe	ed 70 to 85 Feet
UAP	Ulmus americana 'Princeton'	Princeton American Elm	3	$2\frac{1}{2}$ to 3 inch caliper	Balled and Burlappe	ed 65 to 70 Feet
UAV	Ulmus americana 'Valley Forge'	Valley Forge American Elm	4	$2\frac{1}{2}$ to 3 inch caliper	Balled and Burlappe	ed 65 to 70 Feet
Flowering T	rees					
<u>Symbol</u>	Botanical Name	Common Name	<u>Quantity</u>	<u>Size</u>	<u>Root</u>	Mature Height
ACR	Amelanchier canadensis 'Rainbow Pillar'	Rainbow Pillar Serviceberry	3	7 to 8 foot high (clump)	Balled and Burlappe	ed 15 to 20 Feet
CV	Chinanthus virginicus	White Fringe Tree	1	7 to 8 foot high (clump)	Balled and Burlappe	ed 15 to 20 Feet
Evergreen T	Trees					
<u>Symbol</u>	Botanical Name	Common Name	Quantity	Size	<u>Root</u>	Mature Height
AC	Abies concolor	White Fir	11	5 to 6 foot height	Balled and Burlapped	50 to 60 Feet
CLM	Cupressocyparis leylandii 'Moncal'	Emerald Isle Leyland Cypress	9	5 to 6 foot height	Balled and Burlapped	20 to 25 Feet
JSS	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	64	3 to 4 foot height	Balled and Burlapped	15 to 20 Feet
PG	Picea glauca	White Spruce	12	5 to 6 foot height	Balled and Burlapped	40 to 60 Feet
PS	Pinus strobus	Eastern White Pine	4	5 to 6 foot height	Balled and Burlapped	60 to 80 Feet
TOS	Thuja occidentalis "Smaragd'	Emerald Green Arborvitae	26	5 to 6 foot height	Balled and Burlapped	15 to 20 Feet
Deciduous S	Shrubs					
<u>Symbol</u>	Botanical Name	Common Name	Quantity	Size	<u>Root</u>	Mature Height
AML	Aronia melanocarpa 'Low Scape'	Low Scape Chokebverry	29	18 to 24 inch height	#3 Container	1 to 2 Feet
CA	Cornus amomum	Silky Dogwood	8	18 to 24 inch height	#3 Container	6 to 10 Feet
CAH	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	27	18 to 24 inch height	#3 Container	3 to 4 Feet
CR	Cornus racemosa	Gray Dogwood	10	18 to 24 inch height	#3 Container	10 to 15 Feet
CSB	Cornus sericea 'Baileyi'	Red Twig Dogwood	14	18 to 24 inch height	#3 Container	6 to 9 Feet
FMM	Fothergilla major 'Mt. Airy'	Mt. Airy Fothergilla	3	18 to 24 inch height	#3 Container	6 to 8 Feet
HMA	Hydrangea macrophylla 'All Summer Beauty'	All Summer Beauty Hydrange		18 to 24 inch height	#3 Container	3 to 4 Feet
IVL	Itea virginica 'Little Henry'	Little Henry Sweetspire	16	18 to 24 inch height	#3 Container	3 to 4 Feet
LB	Lindera benzoin	Spice Bush	6	18 to 24 inch height	#3 Container	6 to 10 Feet
POC POT	Physocarpus opulifolius 'Coppertina' Physocarpus opulifolius 'Tiny Wine'	Coppertina Ninebark Tiny Wine Ninebark	1 54	18 to 24 inch height 18 to 24 inch height	#3 Container #3 Container	6 to 8 Feet 3 to 5 Feet
SC	Sambucus canadensis	Elderberry	12	18 to 24 inch height	#3 Container	10 to 12 Feet
SJS	Spirea japonica 'Shirobana'	Shirobana Spirea	30	18 to 24 inch height	#3 Container	3 to 5 Feet
VD	Viburnum dentatum	Arrowwood Viburnum	30	18 to 24 inch height	#3 Container	10 to 12 Feet
VNW	Viburnum nudum 'Winterthur'	Smooth Viburnum	5	18 to 24 inch height	#3 Container	6 to 10 Feet
Evergreen S	Shrubs					
<u>Symbol</u>	Botanical Name	Common Name	<u>Quantity</u>	<u>Size</u>	<u>Root</u>	Mature Height
JCP	Juniperus chinensis 'Pfitzeriana Compacta'	Nick's Compact Juniper	22	18 to 24 inch spread	#3 Container	3 to 4 Feet
JHP	Juniperus horizontalis 'Plumosa Compacta'	Andorra Juniper	13	18 to 24 inch spread	#3 Container	1 to 2 Feet
JPN	Juniperus procumbens 'Nana'	Japanese Garden Juniper	3	18 to 24 inch spread	#3 Container	1 to 2 Feet
MD	Microbiota decussata	Russian Cypress	16	18 to 24 inch spread	#3 Container	1 Foot
ТМН	Taxus x media 'Hicksii'	Hick's Upright Yew	86	24 to 30 inch height	Balled and Burlapped	Maintain at 4 to 6 Fe
TMT	Taxus x media 'Tauntonii'	Taunton Spreading Yew	5	18 to 24 inch spread	Balled and Burlapped	3 to 4 Feet
Broadleaf E	vergreen Shrubs					
<u>Symbol</u>	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
BXG	Buxus x 'Green Velvet'	Green Velvet Boxwood	103	15 to 18 inch height	#3 Container	2 to 4 Feet
ICS	llex crenata 'Steeds'	Steeds Upright Japanese Holl	y 26	30 to 36 inch height	Balled and Burlapped	6 to 8 Feet
IGC	llex glabra 'Chamzin'	NORDIC Inkberry	22	18 to 24 inch height	#3 Container	3 to 4 Feet
LA	Leucothe axillaris	Coast Leucothe	9	18 to 24 inch height	#3 Container	3 to 4 Feet
RM	Rhododendron maximum	Rosebay Rhododendron	8	24 to 30 inch height	#5 Container	5 to 10 Feet
Groundcove	ers and Grasses					
<u>Symbol</u>	Botanical Name	Common Name	<u>Quantity</u>	<u>Size</u>	<u>Root</u>	Mature Height
CAK	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	108	15 to 18 inch height	#1 Container	4 to 6 Feet

LANDSCAPE NOTES

1. All plants shall meet or exceed the specifications of Federal, State and County laws requiring inspection for plant disease and insect control.

2. Plant material shall conform with the "American Standard for Nursery Stock" by the American Association of Nurserymen, Inc. (ANSI Z60.1-2014).

3. All plants shall be certified true to name by the nursery source. Plant names shall be in accordance with "Hortis Third" (1976) by the staff of the Liberty Hyde Bailey Hortorium, Cornell University. One plant from each species shall be tagged with name and size of the plant in accordance with the standards of practice of the American Association of Nurserymen. Botanical names shall take precedence over common names.

4. Plant material shall be typical of their species and/or variety, with a normal habit of growth, sound, healthy and vigorous. They shall be well branched and densely foliated when in leaf, free of disease, insect pest, eggs or larvae. They shall have healthy well-developed root systems. All trees shall have straight single trunks with their main leader intact unless otherwise noted or approved.

5. All landscaped areas to have 2" shredded bark mulch (color: black) over weed control fabric. No weed control fabric in areas of groundcover or perennial plantings.

6. Provide protective covering of plant material during delivery and storage. Root balls shall not be cracked or broken. Do not prune plants prior to delivery. Remove unacceptable plant material immediately from the job site.

7. Plant locations on the Drawings are approximate and are to be used only as a guide. Contractor shall provide all field engineering services to accurately stake out locations for all plants prior to installation. Do not begin excavation until Project Landscape Architect has approved specific layout.

8. If requested by Project Landscape Architect, stake and guy each tree as shown on the applicable Drawings immediately after planting. Keep trees plumb and taut.

9. If requested by Project Landscape Architect, wrap the trunks of all trees spirally from the ground line to above the lowest main branch.

10. Perform all cultural care necessary to properly maintain plant viability and keep planted areas in a neat and orderly condition, including but not limited to:

- a. Watering b. Weed removal
- c. Apply lime or sulphur to adjust soil pH to specific plant requirements
- d. Restore or reshape earth saucers e. Pruning
- f. Adjust and tighten tree supports to maintain plants at their proper grades and vertical position
- g. Replace mulch to maintain proper depth

10. If there is a difference between the quantity of plant material specified on the Plan and the amount depicted on the Landscape Schedule, the amount on the Plan shall take precedence.

New England Conservation / Wildlife Mix

Seed rate: 25 pounds per Acre

By: New England Wetland Plants, Inc. or approved equal

Big Bluestem (Andropogon gerardii), Little Bluestem (Schizachyrium scoparius)

Bluegrass (Poa palustris), Canada Wild-rye (Elymus canadensis), Pennsylvania

(Desmoodium canadense), Common Milkweed (Asclepias syriaca), New York

Switchgrass (Panicum virgatum), Deertongue (Panicum clandestinum), Fowl

Smartweed (Polygonum pensylvanicum), Partridge Pea (Chamaecrista

fasciculata), Annual Sunflower (Helianthus annuus), Showt Tick-trefoil

Aster (Aster novi-belgii), Nodding Bur-marigold (Bidens cernua)

Seed Type B

SEED TYPES

Seed Type A

Sun & Shade Mixture

By: Jonathan Green or approved equal

Seed rate: 25 pounds per 9,375 square feet

20% Darkstar II Perennial Ryegrass 20% Carmen Chewings Fescue 15% Deepblue Kentucky Bluegrass 15% Eugene Creeping Red Fescue

15% Yorkshire Dales Perennial Ryegrass 15% Salisbury Chewings Fescue

Seed Type C

New England Wetmix

By: New England Wetland Plants, Inc. or approved equal

Seed rate: 1 pound per 5,000 square feet

Fowl Bluegrass (Poa palustris), Fringed Sedge (Carex crinita), Water Plantain (Alisma plantago-aquatica), Chufa (Cyperus esculentus), Green Bulrush (Scirpus atrovirens), Soft Rush (Juncus effusus), Bearded Sedge (Carex comosa), Lurid Sedge (Carex lurida), Hop Sedge (Carex lupulina), Boneset (Eupatorium perfoliatum), New York Aster (Aster novi-belgii), Swamp Aster (Aster puniceus), Spotted Joe-Pye Weed (Eupatorium maculatum), Blue Vervain (Verbena hastata) Woolgrass (Scirpus cyperinus)

> AT INITIAL INSTALLATION, LEAVE BURLAP AND ANY TWINE INTACT. AFTER INSTALLATION, CUT BACK BURLAP, LEAVING MATERIAL UNDER CROSSBARS.

RECESS TREE STAPLE DEVICE 1" TO 2" INTO ROOT BALL

TREE STAKING DETAIL

<u>N.T.S.</u>

'TREE STAPLE' BELOW-GRADE STABILIZING SYSTEM (BY 'TREE STAPLE' OR EQUAL):

- 1" TO 2" CALIPER TREES MODEL #TS24 2 STAPLES WITH UP TO A 16" ROOT BALL
- 2" TO 4" CALIPER TREES MODEL #TS36 2 STAPLES WITH A 24" ROOT BALL
- 4" TO 6" CALIPER TREES MODEL #TS42 2-3 STAPLES WITH A 30"+ ROOT BALL
- 6" TO 8" CALIPER TREES MODEL #TS48 2-3 STAPLES WITH A 36"+ ROOT BALL

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.

ET TOP OF ROOT BALL	-
LUSH TO GRADE OR 25–50	
M (1–2 IN.) HIGHER IN LOWLY DRAINING SOILS.	
ERTICAL TO 1·1	

VERTICAL TO T. SLOPE ON SIDES OF PLANTING HOLE.

SI

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

FACE SHRUB TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1–2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 -SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.

PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

STAKE TREES ONLY UPON

THE APPROVAL OF THE

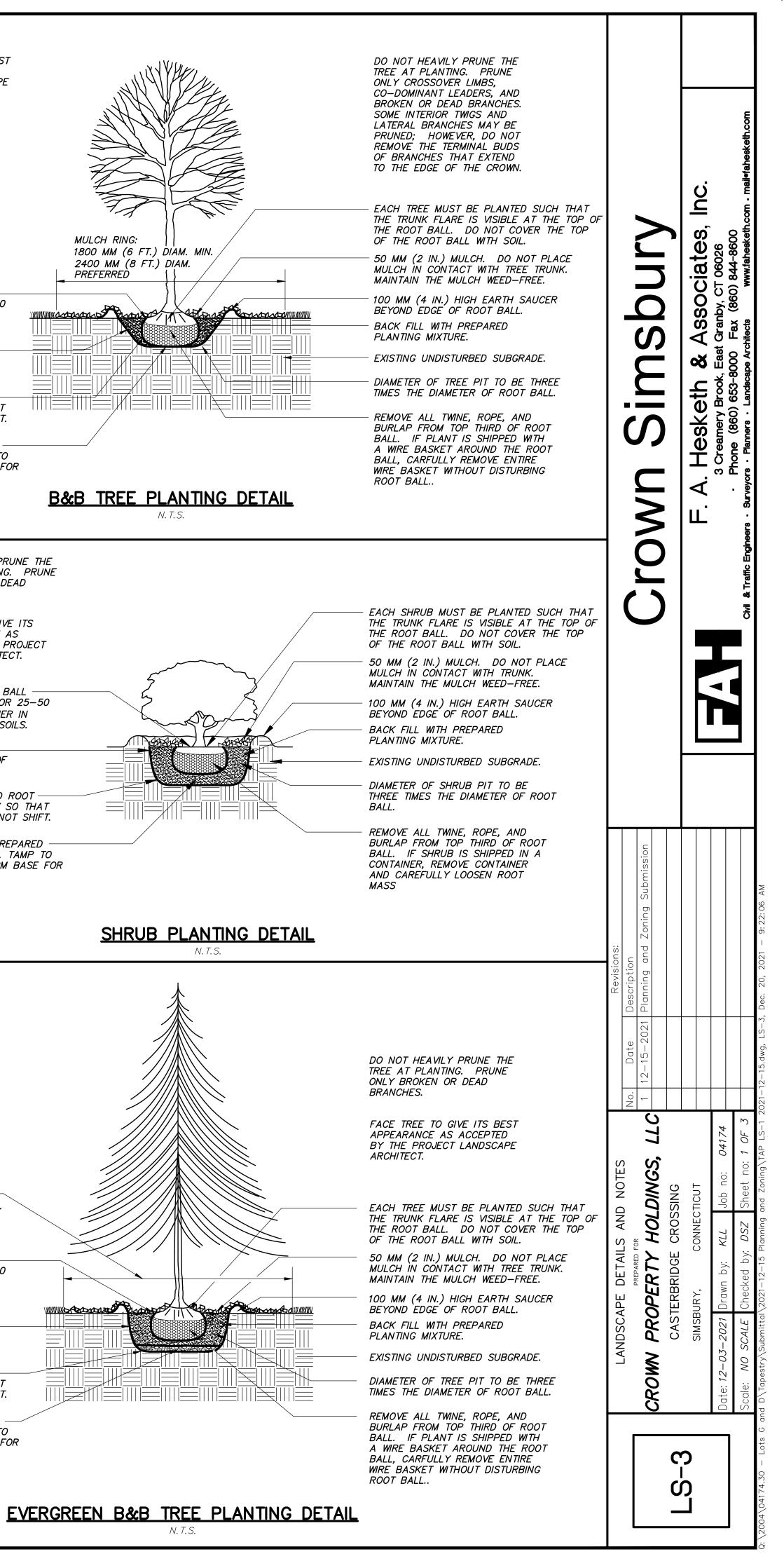
MULCH RING: 1800 MM (6 FT.) DIAM. MIN. 2400 MM (8 FT.) DIAM. PREFERRED

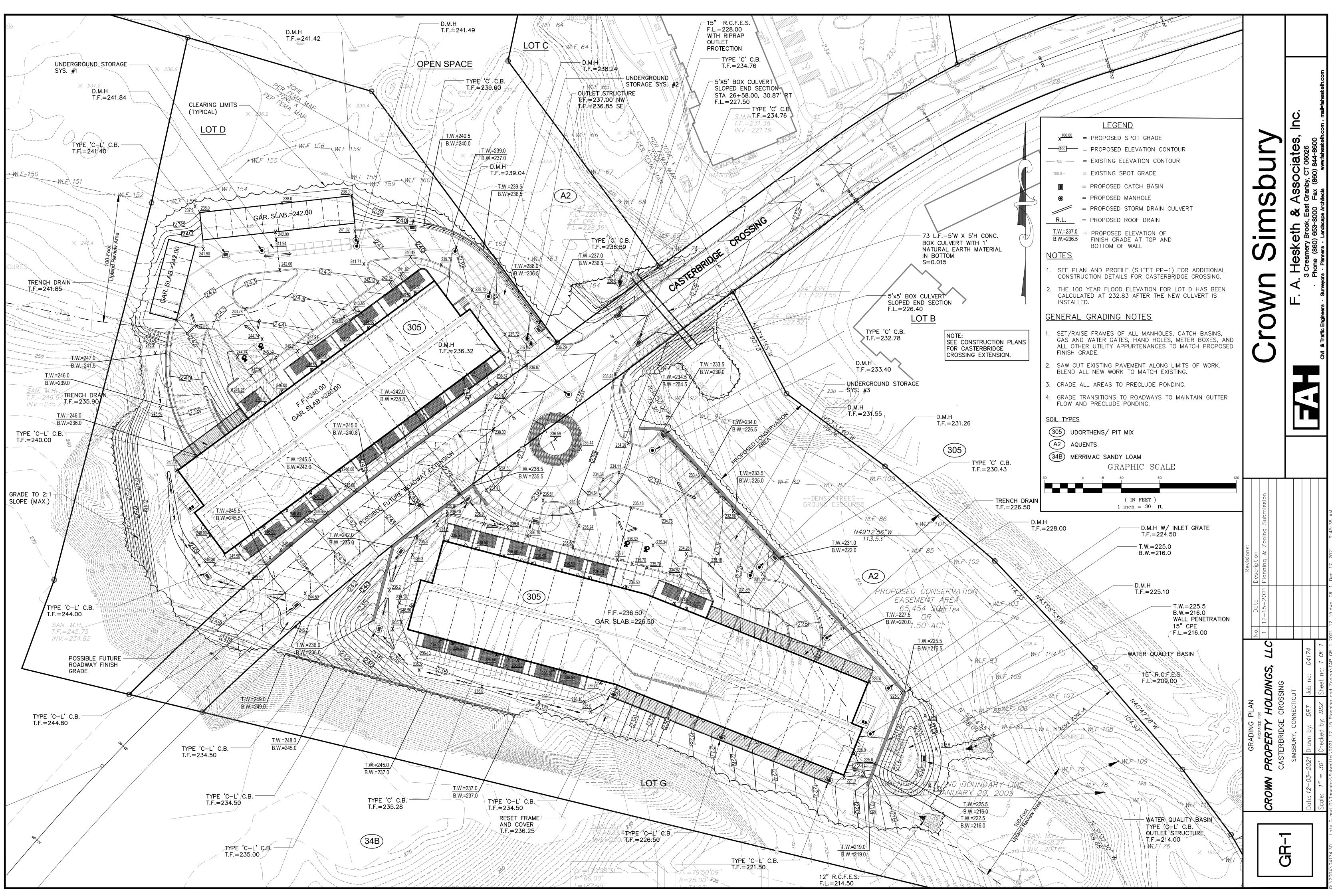
SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRÁINING SOILS.

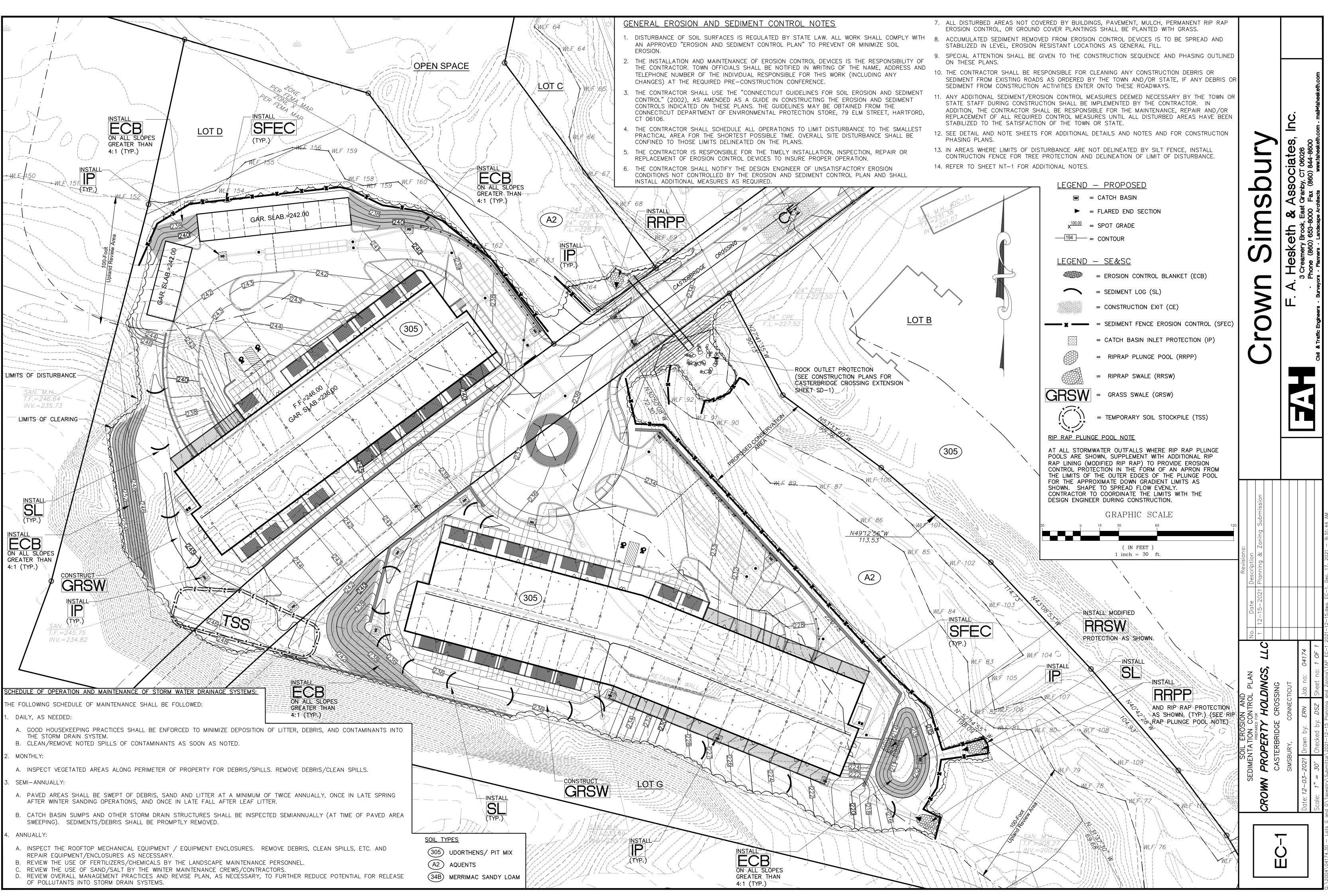
VERTICAL TO 1:1 -SLOPE ON SIDES OF PLANTING HOLE.

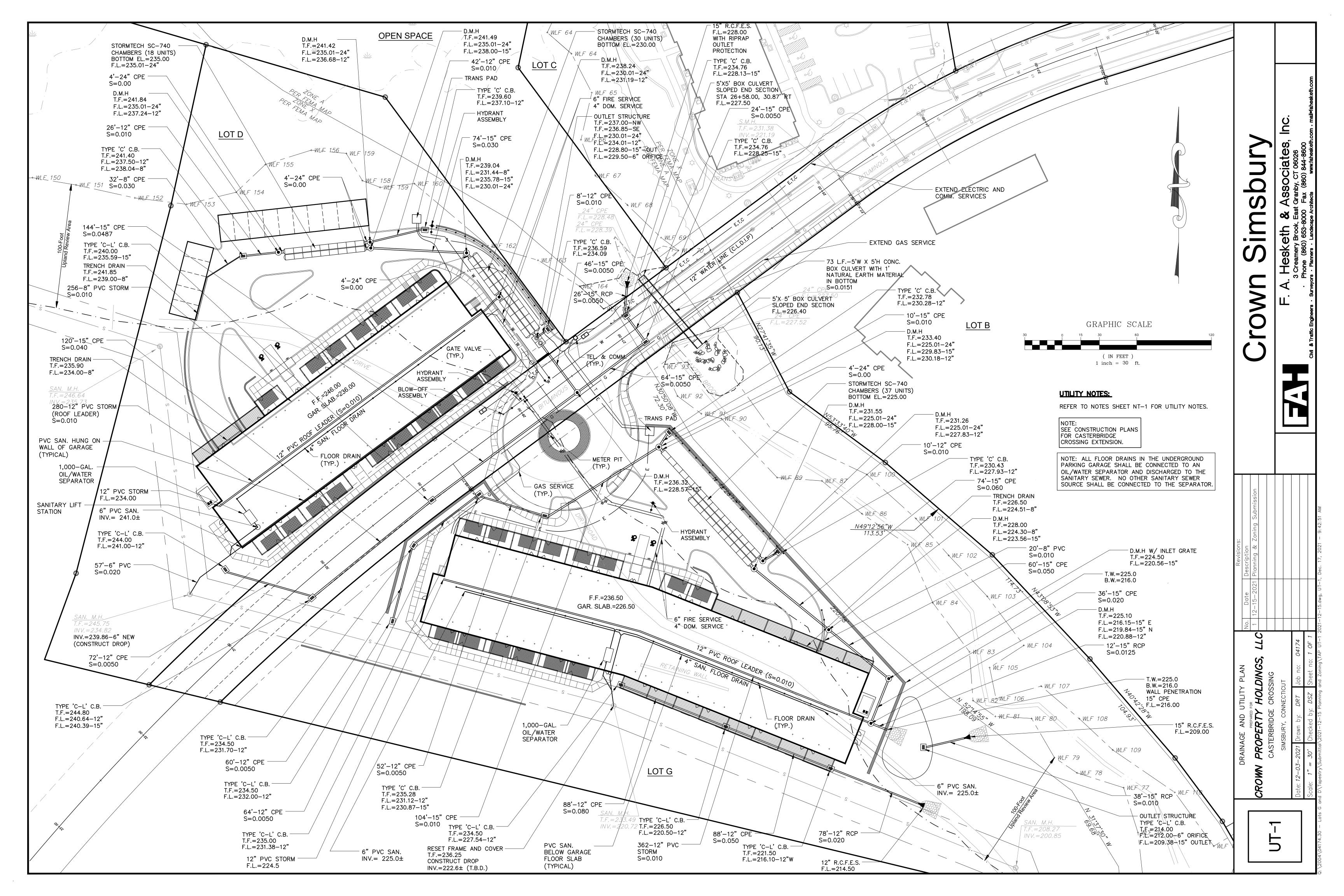
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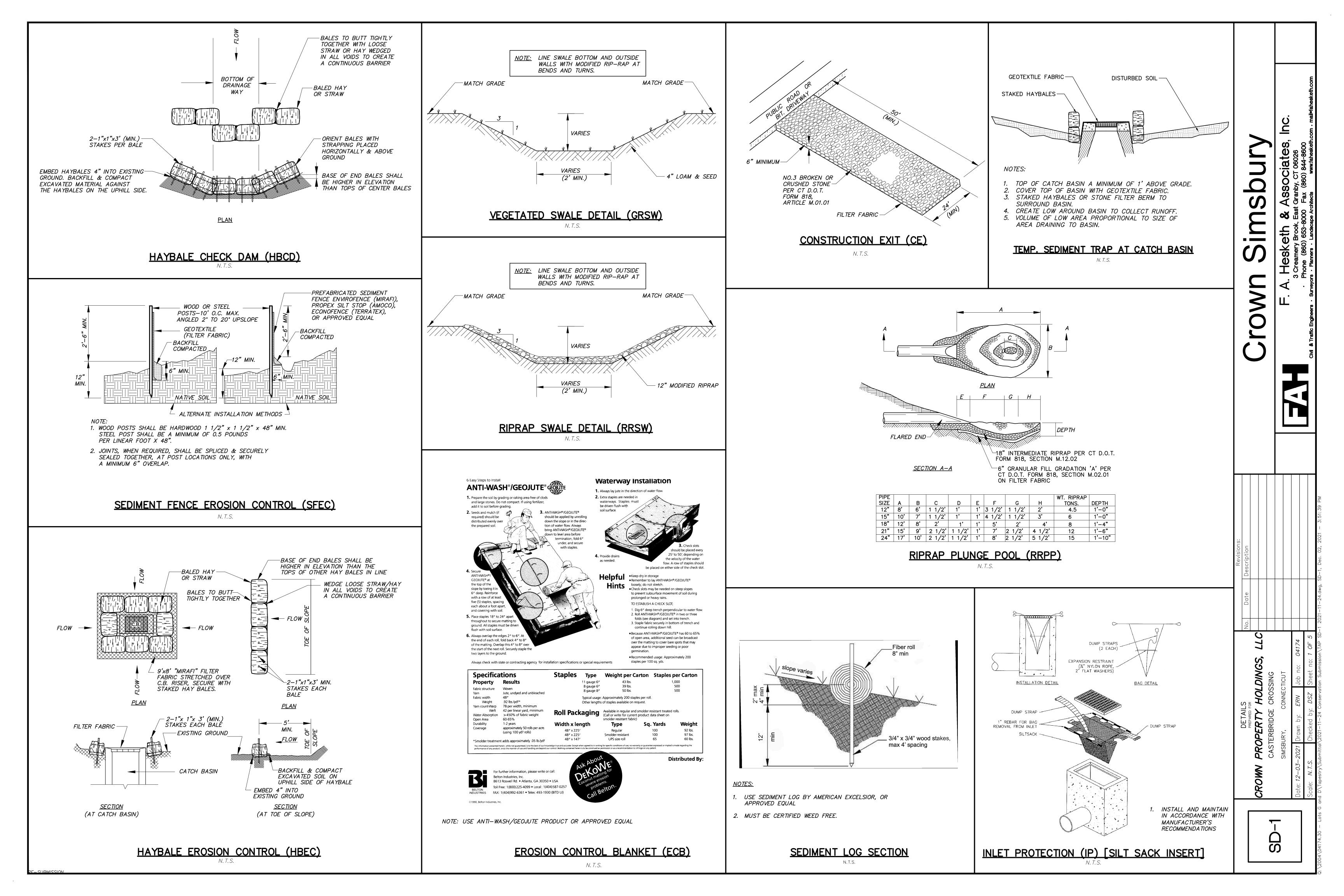
25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.

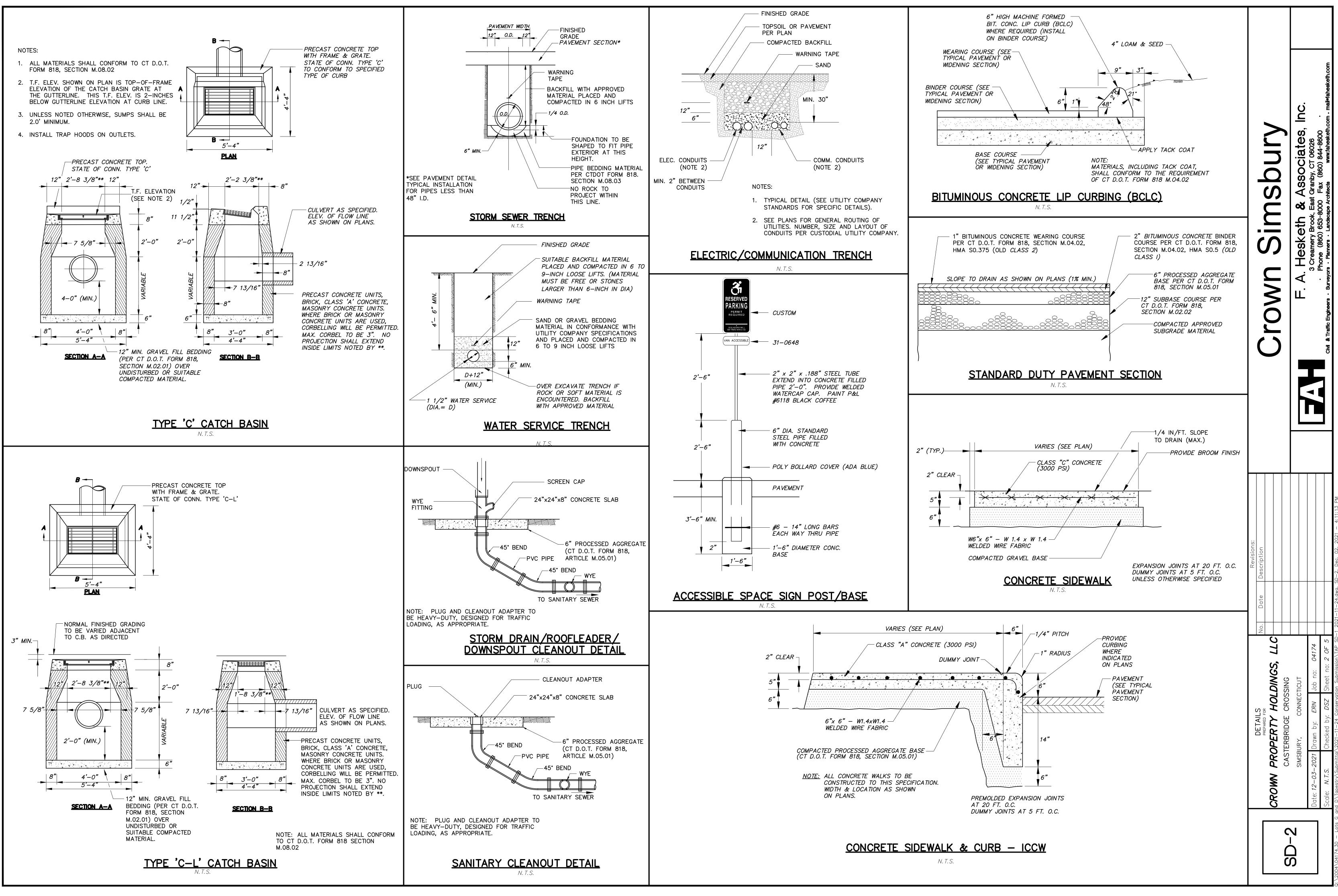


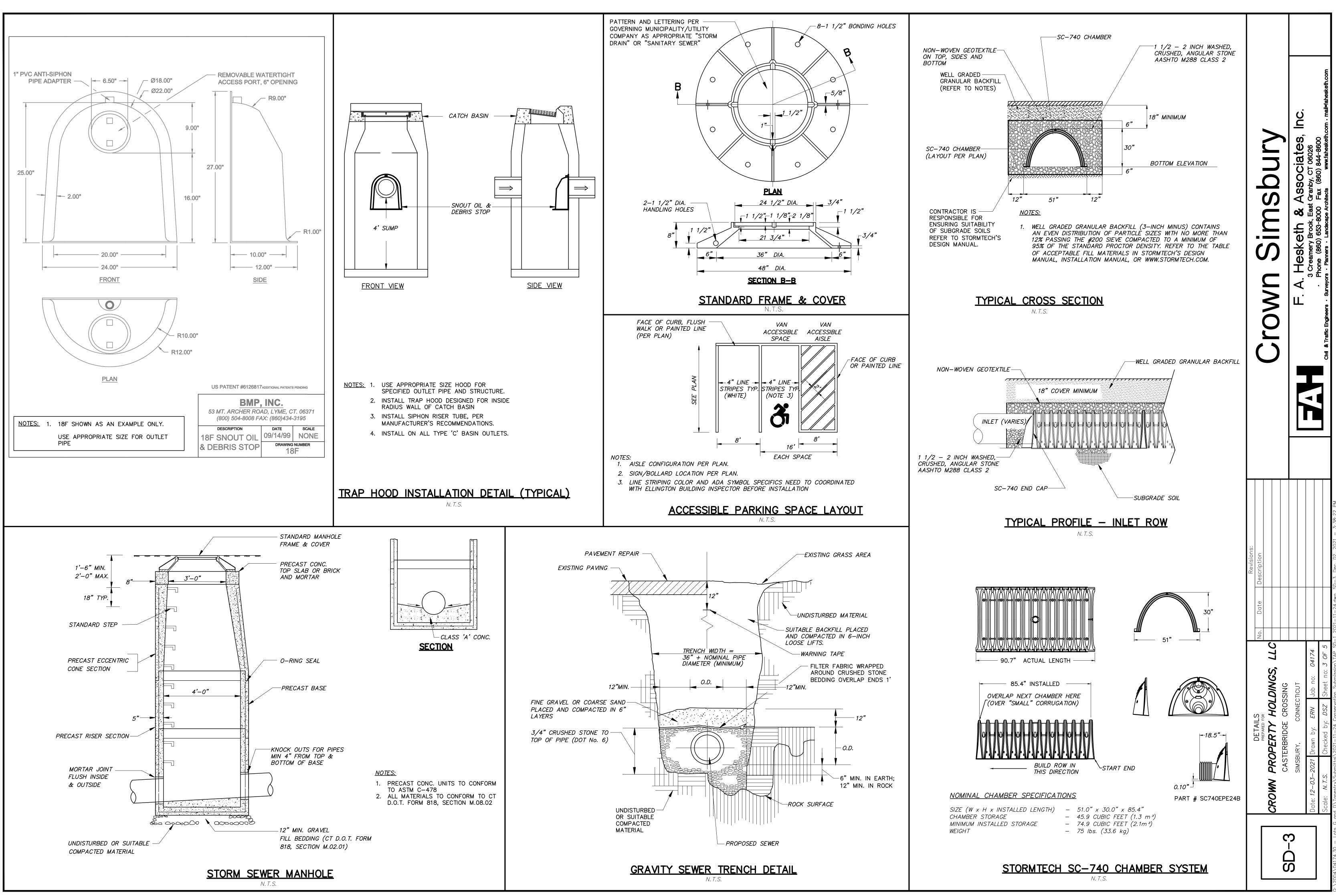


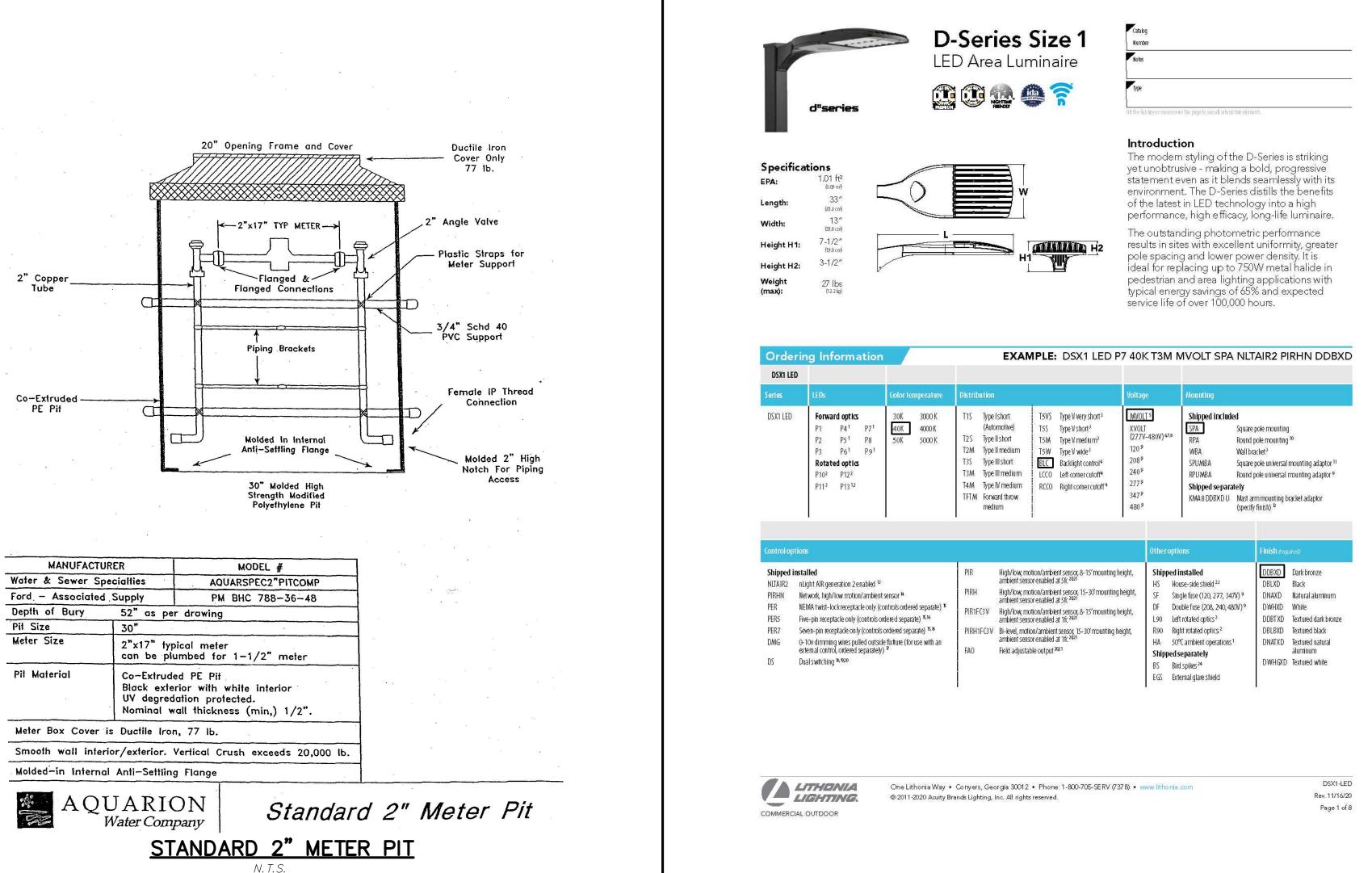














FEATURES & SPECIFICATIONS INTENDED USE — These specifications are for USA standards only. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option

for mounting area lights and floodlights. **CONSTRUCTION** — **Pole Shaft:** The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, .1196"), or 50 KSI (7-gauge, .1793"). Shaft is one-piece with a full-length longitudinal highfrequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional gualities. Available shaft widths are 4", 5" and 6".

Pole Top: A flush non-metalic black top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with PT option. Handhole: A reinforced handhole with grounding provision is provided at 18" from the base on side

A. Positioning the handhole lower may not be possible and requires engineering review: consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5". Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with

each pole assembly. Additional base cover options are available upon request. Anchor Base/ Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI).

Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153. HARDWARE – All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

FINISH – Extra durable standard pow der-coat finishes indude Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

WARRANTY — 1-year limited warranty. Complete warranty terms located at:

OUTDOOR

www.acuitybrands.com/support/warranty/terms-and-conditions NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

SSS

SQUARE STRAIGHT STEEL

Anchor Base Poles

SSS Square Straight Steel Poles ORDERING INFORMATION Lead times will vary depending on options set SSS size/wall thickness¹ Mounting² AC 4" 11g (.1196") <u>Tenon mounting</u> (for 1/2 ft 4G 4" 7g (.1793") PT 0pen increments, add -6 top ca 5C 5" 11g (.1196") to the pole height. Ex: 20-6 equals 2-3/8" 5G 5" 7g (.1793") 20ft 6in.) 2-7/8 6G 6" 7g (.1793") See technical Seetechnical 3-1/2" information table information table T35 4" 0.D for complete for complete KAC/KAD/KSE/KSF/ ordering information.) ordering Drill mounting³ information.) DM19 1 at 90 15' POLE ON 2'6" BASE DM28 2 at 180' DM28 PL 2 at 180 sidep DM29 2 at 90 DM39 3 at 90° DM49 4 at 90 CSX/DSX/RSX/AERIS HLA/KAX Drill mount DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90 DM39AS 3 at 90° DM49AS 4 at 90° RAD drill mounting³ DM19RAD 1 at 90° DM28RAD 2 at 180 DM29RAD 2 at 90° DM32RAD 3 at 120 DM39RAD 3 at 90° DM49RAD 4 at 90° ESX Drill mounting³ DM19ESX 1 at 90° DM28ESX 2 at 180 DM29ESX 2 at 90° DM39ESX 3 at 90°

1. Wall thickness will be signified with a "C" (11 Gauge) or a "G" (7-Gauge) in nomenclature. "C" - 0.1196" | "G" -2. PT open top poles include top cap. When ordering tenon mounting and drill mounting for the same pole, follow this

DM49ESX 4 at 90°

- example: DM28/T20. The combination includes a required extra handhole 3. Refer to the fixture spec sheet for the correct drilling template pattern
- and orientation compatibility. 4. Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- 5. Specify location and orientation when ordering option. For "x": Specify the height above the base of pole in feet or feet and inches; separate feet and inches with a "-" Example: 5ft = 5 and 20ft 3in = 20-3
- For "y": Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram belov Example: $1/2^{"}$ coupling at 5'8 ", orientation C = CPL12/5-8C
- 🖊 LITHONIA LIGHTING

OUTDOOR: One Lithonia Way Convers, GA 30012 Phone: 800-705-SERV (7378) www.lithonia.com

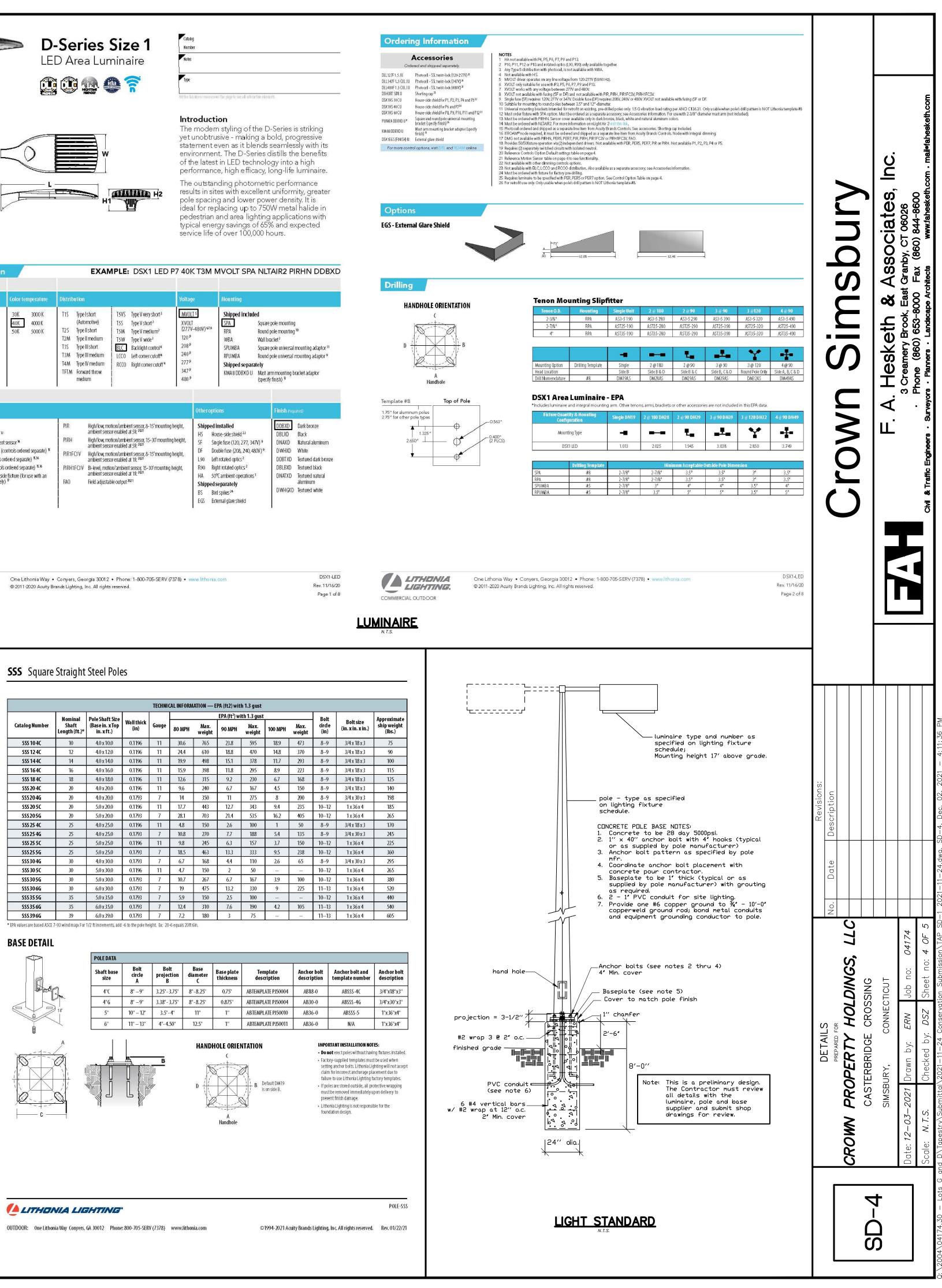
See footnotes next page. POLE-SSS

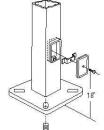
	1	:
	Options	Finish ¹⁰
top (includes pp) AERIS ^{IM} Suspend drill mounting ^{2,4} DM19AST_1 1 at 90° DM28AST_2 2 at 180° '0.D. (2" NPS) DM29AST_1 3 at 90° '0.D. (3" NPS) DM39AST_4 4t 90° 0. (3-1/2" NPS) DM49AST_4 1 at 90° 0. (3-1/2" NPS) DM49AST_2 2 at 90° 0% DM39AST_2 2 at 90° 0% DM39AST_2 2 at 90° 0% DM39AST_2 2 at 90° 0% DM19MRT_1 1 at 90° 0% DM29MRT_2 2 at 90° 0% DM39MRT_ 3 at 90° 0% DM39MRT_ 4 at 90° 0% DM49MRT_ 5 at 90° 0% DM39MRT_ 4 at 90° 0% DM49MRT_ 5 at 90° 0% DM39MRT_ 5 at 90° 0% DM49MRT_ 5 at 90° 0% DM39MRT_ 5 at 90° 0% <	Shipped installed L/AB Less anchor bolts (Include when anchor bolts are not needed) VD Vibration damper TP Tamper resistant handhole cover fasteners HAxy Horizontal arm bracket (1 fixture) ^{5,6} FDLxy Festoon outlet less electrical ⁵ CPL12/xy 1/2" coupling ⁵ CPL12/xy 3/4" coupling ⁵ CPL12/xy 1/2" threaded nipple ⁵ NPL17/xy 1" threaded nipple ⁵ NPL17/xy 1" threaded nipple ⁵ EHHxy Extra handhole ^{6,7} MAEX Match existing ⁸ USPOM United States point of manufacture ⁹ IC Interior coating ¹⁰ UL UL listed with label (Includes NEC compliant cover) NEC NEC 410.30 compliant gasketed handhole (Not UL Labeled) Shipped separately (replacement kit availab le) (blank) FBC Full base cover (plastic) (blank) FHC Top cap (blank) HHC Handhole cover	Standard colors DDBXD Dark bronze DWHXD White DBLXD Black DMBXD Medium bronze DNAXD NAXD Natural aluminum Classic colors DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue Architectural Colors and Special Finishes ³¹ Galvanized, Paint over Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes available.

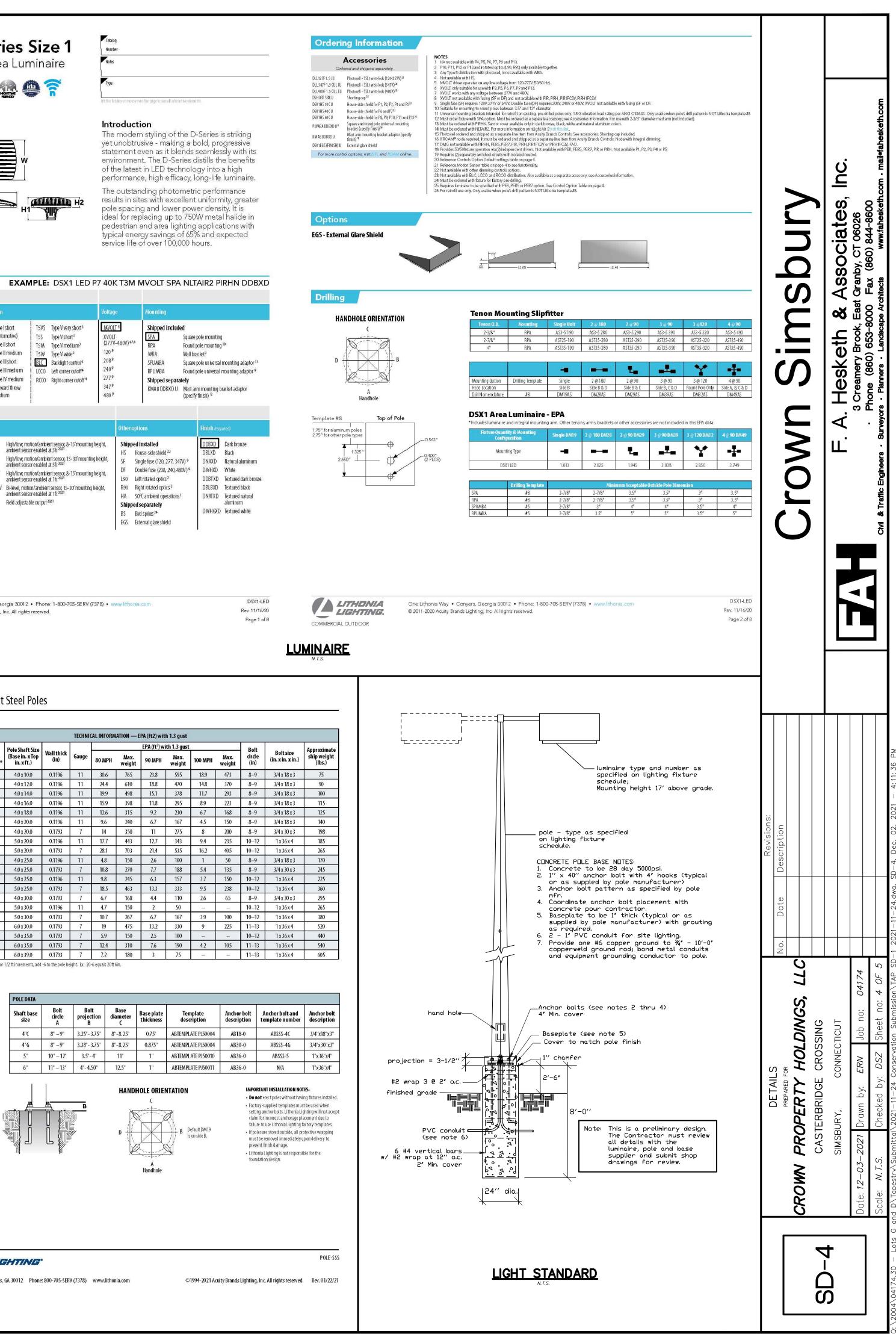
- 6. Horizontal arm is 18" x 2-3/8" 0.D. tenon standard, with radius curve providing 12" rise and 2-3/8" 0.D. If ordering two horizontal arm at the same height, specify with HAxyy. Example:
- HA20BD. Combination of tenon-top and drill mount includes extra handhole.
- 8. Must add original order number of existing pole(s). 9. Use when mill certifications are required.
- 10. Provides enhanced corrosion resistance
- 11. Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3). Available by formal
- quote only, consult factory for details.

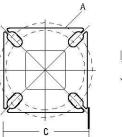
POLE-SSS

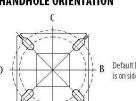
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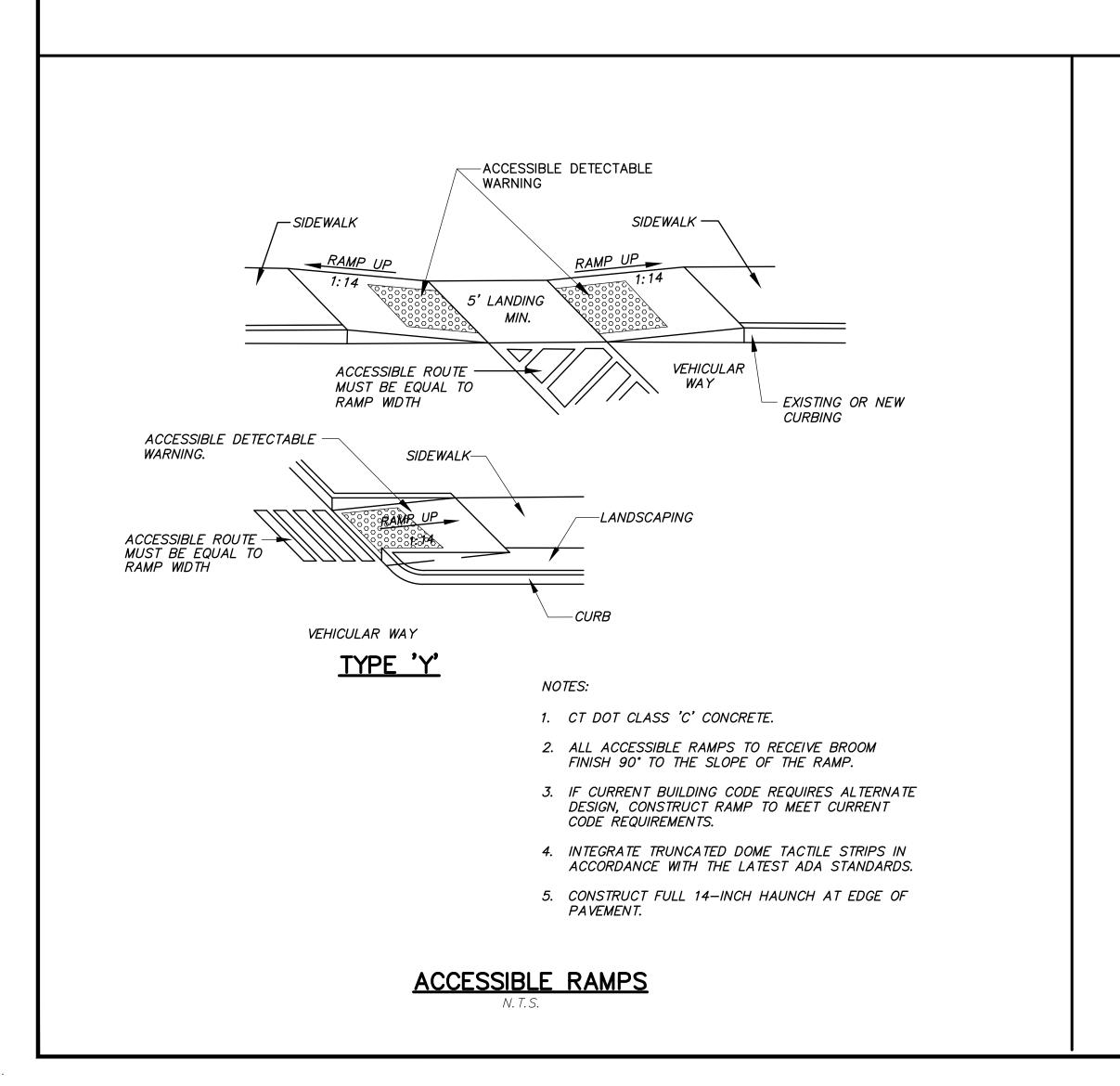


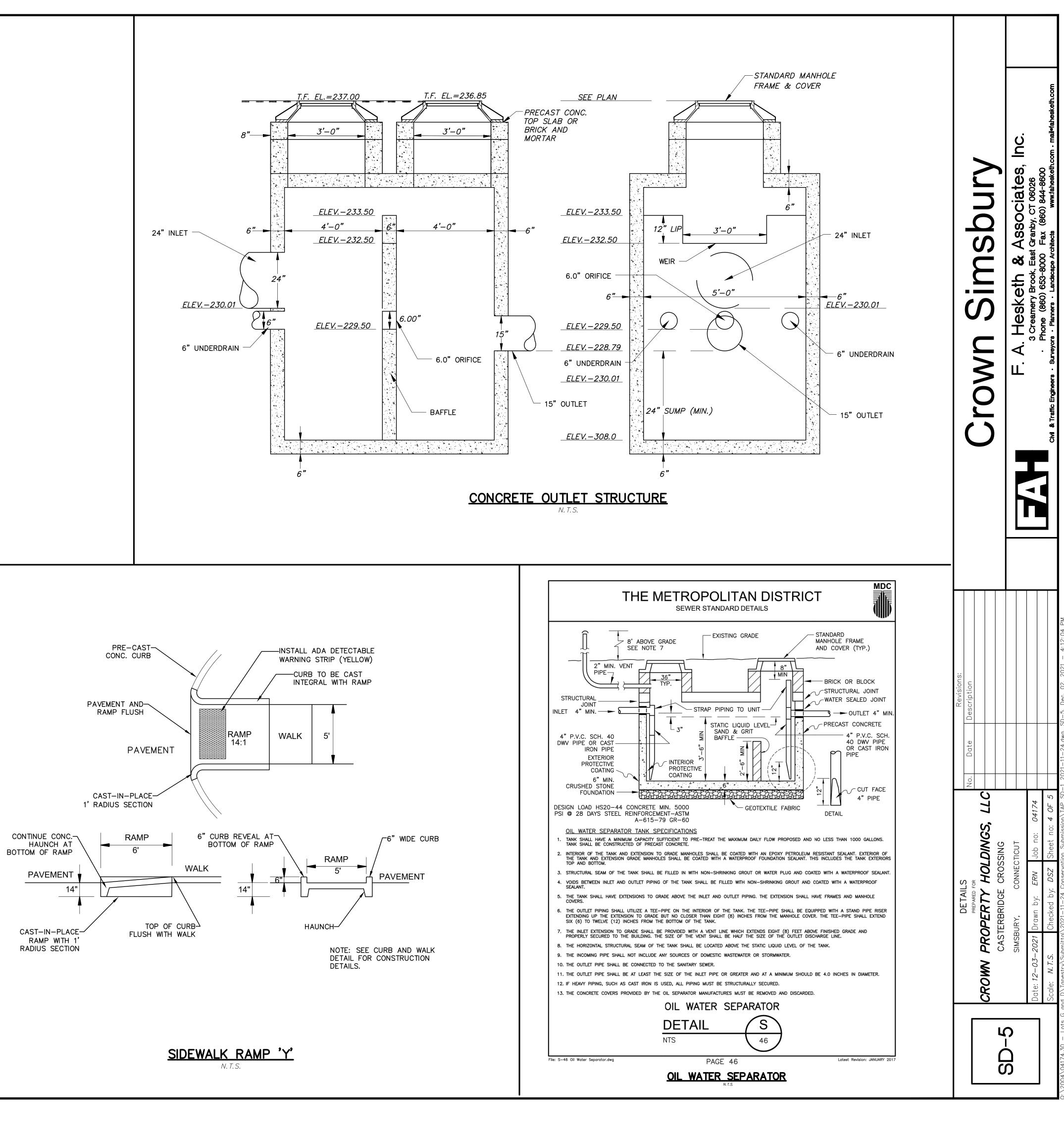












PROJECT DESCRIPTION

THE PROJECT CONSISTS OF CONSTRUCTING A NEW APARTMENT COMPLEX WITHIN LOTS D AND G OF THE DORSET CROSSING, LLC PROPERTY. LOT D IS COMPRISED OF 2.48 ACRES WITH ONE STRUCTURE CONSISTING OF 30 UNITS. LOT G IS COMPRISED OF 4.54 ACRES AND HAS ONE STRUCTURE WITH 42 UNITS.

A TOTAL OF 58 OUTSIDE PARKING SPACES ARE TO BE PROVIDED, 30 AT LOT D AND 28 AT LOT G. 2 HANDICAP SPACES WILL BE PROVIDED FOR EACH LOT. THERE WILL BE PARKING SPACES FOR TENANTS LOCATED BENEATH THE PROPOSED COMPLEXES, WITH 40 SPACES AT LOT D AND 56 SPACES AT LOT G. ACCESS WILL BE FROM THE EXISTING CASTERBRIDGE CROSSING WHICH WILL HAVE A CUL-DE-SAC AS AN END AT THE COMPLEXES.

THE FACILITY WILL BE SERVED BY SANITARY SEWER, FIRE AND DOMESTIC WATER, ELECTRIC, TELEPHONE AND COMMUNICATION FROM UTILITIES AVAILABLE IN HOPMEADOW STREET.

STORMWATER WILL BE MANAGED WITH COMBINATION OF CONVENTIONAL STORM DRAIN SYSTEMS COMPRISED OF DEEP-SUMP CATCH BASINS, UNDERGROUND STORAGE SYSTEMS, AND A WATER QUALITY BASIN. RUNOFF FROM ROOF LEADERS WILL DISCHARGE TO UNDERGROUND INFILTRATORS WITH OVERFLOW TO THE WATER QUALITY BASIN. RUNOFF FROM PAVEMENT AREAS WILL BE COLLECTED WITH A COMBINATION OF PIPED DISCHARGE AND SHEET RUNOFF TO THE WATER QUALITY BASIN. THE BASIN HAS BEEN SIZED TO MEET THE CTDEEP WATER QUALITY VOLUME.

IN GENERAL, THE WORK INCLUDES, BUT IS NOT LIMITED TO:

- 1. CLEARING AND GRUBBING OF SITE.
- 2. ROUGH GRADING FOR BUILDING AND DRIVE/PARKING CONSTRUCTION.
- 3. INFILTRATION/DETENTION BASIN CONSTRUCTION AND INSTALLATION OF STORM DRAIN SYSTEMS.
- 4. CONSTRUCTION OF BUILDING FOUNDATION, INSTALLATION OF UNDERGROUND UTILITY SERVICES.
- 5. CONSTRUCTION OF BUILDINGS.
- 6. CONSTRUCTION OF PAVED PARKING AREAS AND DRIVES, AND INSTALLATION OF PAVEMENT MARKINGS AND SIGNAGE.
- 7. INSTALLATION OF LANDSCAPING.
- CONSTRUCTION SEQUENCE:

A DETAILED CONSTRUCTION PHASING PLAN AND SCHEDULE SHALL BE SUBMITTED BY THE CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO THE START OF CONSTRUCTION. THIS PHASING PLAN AND SCHEDULE SHALL INCLUDE ALL MAJOR CONSTRUCTION, TRAFFIC CONTROL, SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THIS PLAN AND SCHEDULE SHALL PROVIDE FOR ALL WORK TO BE COMPLETED WITHIN THE ALLOTTED TIME, SHALL MINIMIZE TRAFFIC AND ENVIRONMENTAL IMPACTS, AND SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL PERMITS AND REGULATIONS.

IN GENERAL, SITE WORK CONSTRUCTION SHALL FOLLOW THE SEQUENCE OUTLINED BELOW:

- 1. INSTALLATION OF EROSION CONTROL DEVICES.
- 2. CLEARING AND GRUBBING.
- 3. ROUGH GRADING AND EXCAVATION/PREPARATION FOR BUILDING FOUNDATION/SLAB, LANDSCAPED BERM AND WATER QUALITY BASIN FOR USE AS TEMP. SEDIMENT TRAP.
- CONSTRUCTION OF STORM DRAINAGE SYSTEM, WATER QUALITY BASIN AND INFILTRATOR UNITS.
- 5. BUILDING CONSTRUCTION, CONCRETE WORK, AND INSTALLATION OF UNDERGROUND UTILITIES.
- 6. PLACEMENT OF SUB-GRADE AND PAVEMENT BASE COURSE.
- 7. PLACEMENT OF BITUMINOUS PAVEMENT COURSES AND CURB.
- FINAL STABILIZATION OF DISTURBED AREAS, INSTALLATION OF LANDSCAPE MATERIALS, PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS.
- REMOVAL OF TEMPORARY EROSION CONTROL DEVICES.
- 10. IT IS ANTICIPATED THAT CONSTRUCTION WILL BEGIN IN THE SPRING OF 2022 AND BE COMPLETED BY SPRING OF 2023.

EROSION CONTROL DEVICES:

REFER TO THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002) AS AMENDED AS A GUIDE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS. THE GUIDELINES MAY BE OBTAINED FROM THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION STORE, 79 ELM STREET, HARTFORD, CT 06106.

CE - CONSTRUCTION EXIT: A BROKEN STONE PAD PROVIDING A HARD SURFACE POINTS WHERE VEHICLES WILL LEAVE THE SITE. THE CONSTRUCTION EXITS REDUCE TRACKING OF SEDIMENT ONTO ADJACENT PAVEMENT. EXCESS SEDIMENT SHOULD BE PERIODICALLY REMOVED FROM THE STONE SURFACE.

HBEC - HAYBALE EROSION CHECKS: HAYBALES PLACED AROUND THE PERIMETER OF ALL CATCH BASINS AND FILTER FABRIC WRAP INSTALLED ON CATCH BASIN INLET GRATES. REMOVE ALL SEDIMENT WHEN DEPOSITS REACH 1/4 BALE HEIGHT. HAYBALES MUST BE REPLACED PERIODICALLY.

RRPP - RIP RAP PLUNGE POOL: A RIPRAP DISSIPATION DEVICE INSTALLED AT THE ENDS OF DRAINAGE CULVERTS. TYPE A, B & C FOR LOW VELOCITY ENERGY DISSIPATION AND SCOUR HOLES FOR HIGH VELOCITY ENERGY DISSIPATION. SCOUR HOLES CREATE A POOL WITH THE BOTTOM BELOW THE CULVERT. WATER IN THE POOL REDUCES VELOCITY AND THE POOL COLLECTS HEAVY SEDIMENT. SCOUR HOLES REQUIRE PERIODIC REMOVAL OF ACCUMULATED DEPOSITS.

HBCD - HAYBALE CHECK DAMS: HAYBALES SHALL BE STAKED IN A SINGLE ROW ACROSS THE BOTTOM OF DRAINAGE CHANNELS. THE DAMS SHALL BE INSTALLED AT 100-FOOT INTERVALS UNDER NORMAL CIRCUMSTANCES. WHERE THE CHANNEL HAS A STEEP SLOPE OR THE FLOWS ARE HIGH, THEY SHOULD BE PLACED CLOSER TOGETHER. ACCUMULATED SILT MUST BE REMOVED REGULARLY AND THE HAYBALES REPLACED PERIODICALLY.

ECB – EROSION CONTROL BLANKET: A MANUFACTURED BLANKET COMPOSED OF BIODEGRADABLE/PHOTODEGRADABLE NATURAL OR POLYMER FIBERS AND/OR FILAMENTS THAT HAVE BEEN MECHANICALLY, STRUCTURALLY OR CHEMICALLY BOUND TOGETHER TO FORM A CONTINUOUS MATRIX. EROSION CONTROL BLANKETS PROVIDE SURFACE PROTECTION TO NEWLY SEEDED AND/OR DISTURBED SOILS TO REDUCE EROSION AND ENHANCE THE ESTABLISHMENT OF VEGETATION.

GRSW - VEGETATED SWALE: a swale with vegetated lining installed to to absorb the energy of flowing stormwater and reduce flow velocities to prevent erosion of the channel.

IP - INLET PROTECTION: A SEDIMENT CONTROL DEVICE USED DURING CONSTRUCTION THAT MOUNTS UNDER THE GRATE OF A CATCH BASIN, RESIDING INSIDE THE STRUCTURE. IT IS MADE OF PERMEABLE GEOTEXTILE THAT ALLOWS WATER TO PASS, BUT TRAPS SILT AND SEDIMENT. (SILT SACK OR APPROVED EQUAL.) THE SILT SACK MUST BE REMOVED WHEN SILT/SEDIMENT REACHES ONE HALF THE HEIGHT OF THE DEVICE. REMOVE SEDIMENTS AND DEPOSIT ON STABLE AREA OF SITE AND RINSE DEVISE FOR REUSE. REPLACE WHEN DAMAGED.

III. GENERAL NOTES:

- REVISED 04-06-2021.
- SHOWN ON THESE PLANS, AS APPLICABLE.
- HOURS IN ADVANCE.
- TEST PITS SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL UTILITIES TO BE INSTALLED, RELOCATED, AND/OR PROTECTED IN ACCORDANCE WITH REPLACEMENT, AND/OR PROTECTION.
- SITE ENGINEER.
- PROCEED SHALL BE IN ACCORDANCE WITH TOWN AND STATE REQUIREMENTS.
- MEASURES.
- PROJECT.
- NOTES, AND APPLICABLE STATE AND LOCAL REQUIREMENTS.
- 11. NO STUMPS OR OTHER DELETERIOUS MATERIALS ARE TO BE BURIED ON THE SITE.
- 12. ALL DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- OF ROADWAYS OR DAMAGE TO PRIVATE PROPERTY.
- AND STATE OFFICIALS.
- 15. PERIMETER SITE LIGHTING SHALL BE DIRECTED AWAY FROM ABUTTERS PROPERTY.

DRAINAGE SYSTEM NOTES

- M.08.02-18.
- 3. RCFES = REINFORCED CONCRETE FLARED END SECTION CONFORMED TO CT DOT FORM 818 M.08.02-11.
- 4. PVC STORM DRAIN PIPE SHALL CONFORM TO CT DOT FORM 818, M.08.01-20.
- 5. DUCTILE IRON (DI) DRAIN PIPE SHALL CONFORM TO CLASS 52 D.I.P.
- 7. UNDERGROUND UTILITIES DEPICTED ON THIS DRAWING ARE A COMPILATION OF FIELD SURVEY SHALL NOTIFY THE DESIGN ENGINEER AND ARCHITECT OF SUCH CONFLICTS.
- 8. CONTACT "CALL BEFORE YOU DIG" AT CALLING 1-800-922-4455 TO MARK THE LOCATION OF CONDUCT OF TEST PITS.
- 10. ALL MATERIALS AND INSTALLATION PER TOWN OF SIMSBURY, CT DOT FORM 818, CUSTODIAL
- COMPANY. CONTRACTOR SHALL COORDINATE ROUTING OF UTILITIES WITH CUSTODIAL UTILITY COMPANY.
- ARCHITECTURAL DRAWINGS <u>PRIOR</u> TO START OF CONSTRUCTION. NOTIFY DESIGN ENGINEER AND ARCHITECT OF CONFLICTS <u>PRIOR</u> TO START OF CONSTRUCTION.
- 14. ALL WORK WITHIN THE TOWN OF SIMSBURY RIGHT OF WAY REQUIRES A PERMIT FROM THE PERMIT
- 16 ALL WORK WITHIN THE STATE RIGHT OF WAY REQUIRES A PERMIT FROM THE STATE OF DOT-APPROVED OFF-SITE ROADWAY IMPROVEMENT PLANS.

EXISTING TOPOGRAPHY TAKEN FROM A MAP ENTITLED "PERIMETER SURVEY TOPOGRAPHIC SURVEY". PREPARED FOR DORSET CROSSING. LLC. 115 & 130 CASTERBRIDGE CROSSING. SIMSBURY, CONNECTICUT" BY F.A. HESKETH & ASSOCIATES, INC., DATED 09-30-2021.

ALL WORK AND MATERIALS TO CONFORM TO THE SPECIFICATIONS, DOT FORM 818, TOWN OF SIMSBURY SPECIFICATIONS, CUSTODIAL UTILITY COMPANY SPECIFICATIONS, AND THE DETAILS

3. PRIOR TO ANY EXCAVATION THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING "CALL BEFORE YOU DIG" 1-800-922-4455 AT LEAST 48

4. THE LOCATION OF ALL UTILITIES SHOWN IS APPROXIMATE AND IS BASED UPON AVAILABLE AS-BUILT INFORMATION FROM UTILITY COMPANY RECORDS, THE PROPERTY OWNER, AND LIMITED SURVEY DATA. NOT ALL UTILITIES MAY BE SHOWN, AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES ON THE SITE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY AND NOTIFYING THE DESIGN SITE ENGINEER OR ARCHITECT, AS APPLICABLE, OF ANY ADJUSTMENTS TO THE PLANS WHICH ARE NECESSARY. TEST PITS WILL BE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS IN ORDER TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND TO IDENTIFY POTENTIAL CONFLICTS WITH VERTICAL AND HORIZONTAL ALIGNMENTS SHOWN ON THE PLANS.

UTILITY COMPANY STANDARDS. AS APPLICABLE, AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. FINAL LOCATION OF UTILITY CONNECTIONS OR METHODS OF PROTECTION ARE SUBJECT TO REVISION BY INDIVIDUAL UTILITY COMPANIES PRIOR TO THE INSTALLATION OR IMPLEMENTATION OF PROTECTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK WITH THE APPLICABLE UTILITY COMPANIES, FOR COORDINATING UTILITY CONNECTIONS OR RELOCATIONS WITH THE SITE WORK AND BUILDING CONSTRUCTION. AND COORDINATING THE PROTECTION OF ALL UTILITIES NECESSARY TO PERFORM THE WORK SHOWN ON THE PLANS. COORDINATION ACTIVITIES SHALL BE SCHEDULED AND TAKE PLACE PRIOR TO THE START OF CONSTRUCTION ACTIVITIES EFFECTING THE UTILITIES INSTALLATION,

6. INSTALLATION OF UTILITIES SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE PLANS, BOTH IN VERTICAL AND HORIZONTAL ALIGNMENTS. UNLESS SPECIFICALLY APPROVED BY THE

7. A PRE-CONSTRUCTION MEETING AND AUTHORIZATION TO PROCEED WILL BE REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION, INCLUDING REMOVAL OF TREES AND/OR DEMOLITION ACTIVITIES. PROCEDURES FOR SUCH PRE-CONSTRUCTION MEETING AND AUTHORIZATION TO

PRIOR TO CONSTRUCTION, THE TOWN PLANNING & DEVELOPMENT DEPARTMENT SHALL BE CONTACTED AT (860) 658-3228, TO INSPECT THE INSTALLATION OF EROSION CONTROL

9. ALL WORK ON THIS PROJECT SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF THE VARIOUS FEDERAL, STATE, AND LOCAL PERMITS ISSUED FOR THIS

10. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLAN, SPECIFICATIONS, THE EROSION AND SEDIMENTATION CONTROL

13. DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SO AS NOT TO CAUSE FLOODING

14. TRAFFIC CONTROL OPERATIONS SHALL BE CONDUCTED TO THE SATISFACTION OF THE TOWN

1. CPE = CORRUGATED POLYETHYLENE PIPE (TYPE S) CONFORMING TO TO CT DOT FORM 818

2. RCP = REINFORCED CONCRETE PIPE (CLASS IV) CONFORMING TO CT DOT FORM 818 M.08.02-7.

6. CATCH BASINS, MANHOLES, AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CT DOT FORM 818 M.08.02 AND TOWN OF SIMSBURY ENGINEERING STANDARDS AS APPLICABLE.

DATA, RECORD DESIGN PLANS, AND READILY AVAILABLE INFORMATION. NOT ALL UTILITIES MAY BE SHOWN. AND THOSE SHOWN MAY NOT BE ACCURATE. PRIOR TO THE START OF CONSTRUCTION OF THE UTILITIES, THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS AT ALL UTILITY CROSSINGS AND POINTS OF CONNECTION WITH EXISTING UTILITIES TO IDENTIFY POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE. CONTRACTOR

ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION OR

9. DEMOLISH/ABANDON ALL UTILITIES IN ACCORDANCE WITH CT DOT, TOWN OF SIMSBURY STANDARDS CUSTODIAL UTILITY COMPANY SPECIFICATIONS, AS APPLICABLE

UTILITY COMPANY AND MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS, AS APPROPRIATE. 11. ACTUAL ROUTING OF UTILITY SERVICES MAY BE SUBJECT TO REVISION BY CUSTODIAL UTILITY

12. FLOW LINE AND INVERT ELEVATIONS OF ALL ROOF LEADERS MUST BE COORDINATED WITH FINAL

13. SAW CUT FOR ALL TRENCHES IN TOWN RIGHT-OF-WAY. CONSTRUCT BACKFILLING AND PAVEMENT REPAIR DETAIL PER TOWN OF SIMSBURY ENGINEERING STANDARDS, AS APPLICABLE.

ENGINEERING DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF SAID

15. SAW CUT FOR ALL TRENCHES IN STATE RIGHT-OF-WAY. CONSTRUCT BACKFILLING AND PAVEMENT REPAIR DETAIL PER CT DOT ENGINEERING STANDARDS, AS APPLICABLE.

CONNECTICUT DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF SAID PERMIT. COORDINATE ALL WORK WITHIN CT DOT RIGHT OF WAY WITH CT Refer to the "Connecticut Guidelines For Soil Erosion And Sediment Control - 2002" (see Erosion and Sediment Control Note 3) when constructing erosion control devices shown on this plan.

All of the control devices listed below may not be indicated on the initial SE&SC Plans and may not be necessary on a specific project. The Contractor shall utilize these devices, and others as necessary, as the project proceeds and as conditions warrant.

CE - CONSTRUCTION EXIT: a broken stone pad providing a hard surface point where vehicles will leave the site. The construction exits reduce tracking of sediment into adjacent pavement. Excess sediment should be periodically removed from the stone surface.

DB - DETENTION BASIN: An impoundment made by constructing a dam or an embankment (embankment detention basin), or by excavating a pit or dugout (excavated detention basin). Basins resulting from both excavation and embankment construction are classified as embankment detention basins where the depth of water impounded against the embankment at emergency spillway elevation is three feet or more.

DC - DUST CONTROL: The control of dust with water or calcium chloride.

DWM - DEWATERING EARTHEN MATERIALS: A procedure that uses a perimeter earthen berm and excavation to create a containment area where excessively wet soil is placed to allow for the draining of water or evaporation of excessive moisture.

ECB - EROSION CONTROL BLANKET: A manufactured blanket composed of biodegradable / photodegradable natural or polymer fibers and/or filaments that have been mechanically, structurally or chemically bound together to form a continuous matrix.

FD - FOUNDATION DEWATERING: A excavated area, surrounded by hay bales for receiving ground water pumped from foundation excavations. If the pumped water includes significant sediment loads use a Pump Settling Basin.

GRSW - VEGETATED SWALE: a swale with vegetated lining installed to to absorb the energy of flowing stormwater and reduce flow velocities to prevent erosion of the channel.

HBCD - HAY BALE CHECK DAMS: shall be staked in a single row perpendicular to the flow along the bottom and sides of drainage ditches and channels or in other locations where runoff is concentrated. Check dams shall be installed at 100' intervals unless indicated otherwise. Silt must be removed and havbales replaced periodically.

HBEC - HAYBALE EROSION CHECKS shall be staked a minimum of five (5) feet from the base of disturbed slopes exceeding eight (8) feet in height, or at locations shown on the plans. Place haybales before starting a fill slope and after digging a cut slope. Heel haybales 4" into the soil. Remove all sediment when deposits reach 1/2 bale height. Haybales must be replaced periodically.

IP - CATCH BASINS INLET PROTECTION: Staked haybales around the perimeter of catch basins or silt sacks installed within the catch basin.

LG - LAND GRADING: Reshaping of the ground surface by excavation or filling or both, to obtain planned grades.

LP - LANDSCAPE PLANTING: Planting trees, shrubs, or ground covers for stabilization of disturbed areas.

MS — MULCH FOR SEED: Application of a mulch that will protect the soil surface on a temporary basis and promote the establishment of temporary or permanent seedings.

PS - PERMENENT SEEDING: Establishment of permanent stand of grass and/or legumes by seeding and mulching exposed soils with a seed mixture appropriate for long term stabilization.

PSB - PUMPING SETTLING BASIN: An enclosed sediment barrier or excavated pit constructed with a stable inlet and outlet such that sediment laden water from pumping operations is de-energized and temporarily stored, allowing sediments to be settled and/or filtered out before being released from the construction site.

RRPP - RIP RAP PLUNGE POOL: a riprap lined apron installed at a zero percent grade to absorb the initial impact of stormwater discharge from the storm drainage system and further reduce flow velocities to prevent erosion downstream.

RRSW - RIP RAP SWALE: a swale with rip rap lining installed to absorb the energy of flowing stormwater and reduce flow velocities to prevent erosion of the channel.

SCD - STONE CHECK DAM: A temporary or permanent stone dam placed across a drainage-way.

SD - SUBSURFACE DRAINS: Used in areas having a high water table where benefits of lowering or controlling groundwater or surface runoff are desired. Where soil permeability is sufficient to permit installation of an effective and economically feasible system.

SFB — STONE FILTER BERM: A temporary or permanent stone filter placed across a drainage-way or discharge area designed to slow flow and filter sediment.

SFEC - SEDIMENT FENCE EROSION CHECK: a synthetic textile barrier designed to filter sediment from surface water runoff. Placement shall be similar to HBEC and installation requires anchoring the fence bottom to prevent bypass. All sediment shall be removed if deposits reach one (1) foot in depth. Additional support (such as snow fence or wire fence) on the downhill face may be required to strengthen sediment fence in high flow locations.

SL - SEDIMENT LOGS: A sediment control device consisting of an outside, open weave containment fabric filled with fibers. It is designed to provide a flexible, lightweight, porous, sediment control device with the ability to conform to the terrain upon which it is installed. It is designed to dissipate velocity of flow and filter and trap sediments upgradient and within the device.

TD - TEMPORARY DIVERSION: A temporary channel with a berm of tamped or compacted soil placed in such a manner so as to divert flows.

TO - TOPSOILING: The application of topsoil to promote the growth of vegetation following the establishment of final grades.

TP - TREE PROTECTION: The protection of trees to remain by surrounding with silt fence or construction fence. The fence should be placed approximately at the drip line of the tree.

TS - TEMPORARY SEEDING: Establishment of a temporary stand of grass and/or legumes by seeding and mulching exposed soils with a seed mixture appropriate for long term stabilization.

TSP - TEMPORARY SLOPE PROTECTION: Application of a degradable material that will protect the soil surface on a temporary basis with the intention of promoting plant growth

TSS - TEMPORARY SOIL STOCKPILE: Temporary location of stockpiled topsoil. Locations shall generally be on level ground away from drainage ways and shall be ringed with silt fence and/or haybales. Stockpile shall be seeded if it remains in place for more than 30 days.

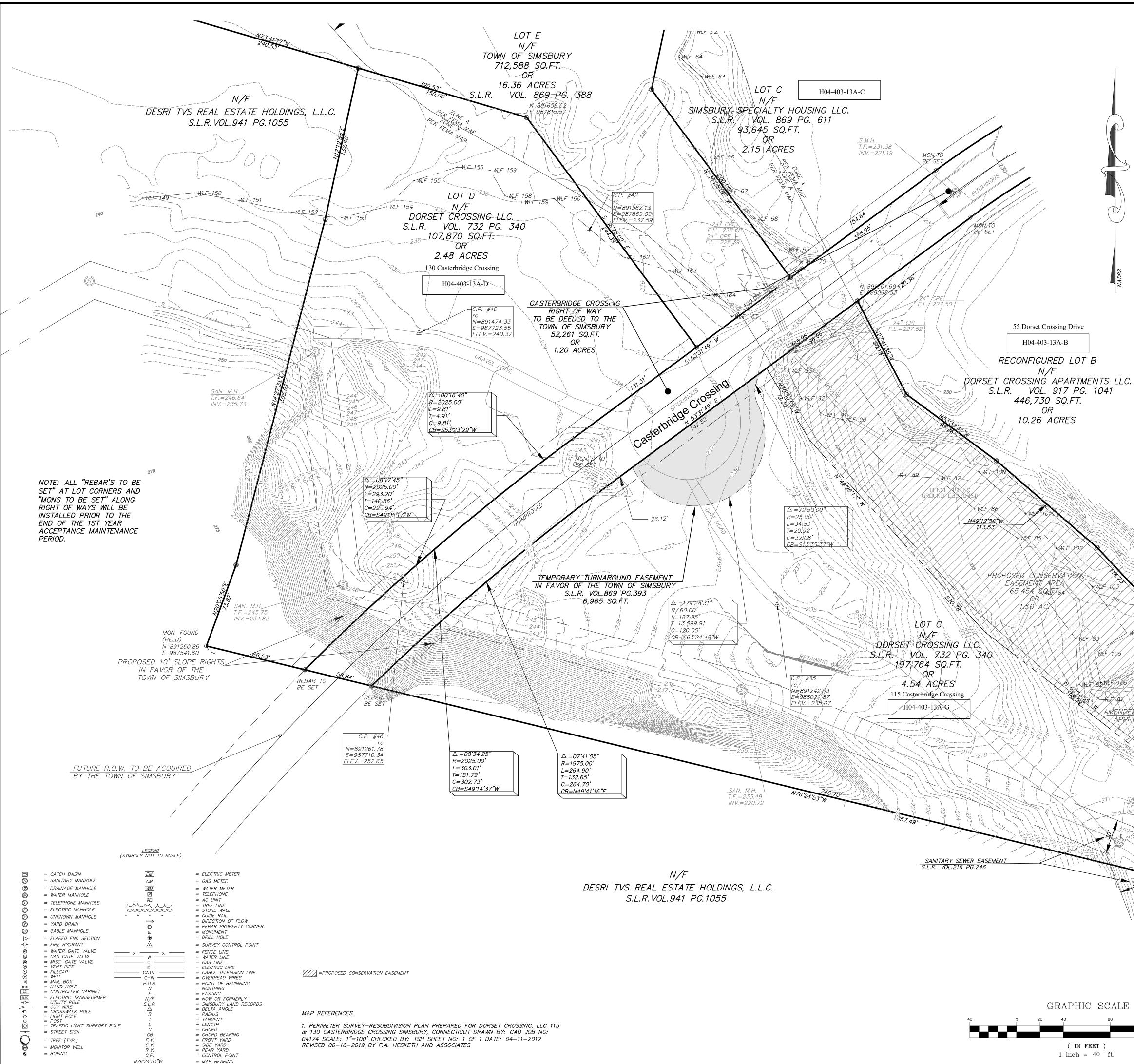
TST - TEMPORARY SEDIMENTATION TRAP: A temporary ponding area with a stone outlet formed by excavation and/or constructing an earthen embankment to detain sediment-laden runoff from small disturbed areas long enough to allow a majority of the sediment to settle out.

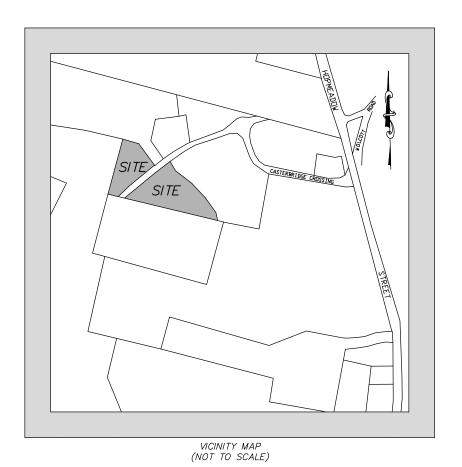
TRM – PERMANENT TURF REINFORCEMENT MAT: A manufactured mat composed of nonbiodegradable polymer or synthetic fibers mechanically, structurally or chemically bound together to form a continuous matrix.

LONG TERM STORMWATER SYSTEM AND OVERALL SITE MAINTENANCE PLAN IT IS IMPORTANT THAT A LONG TERM MAINTENANCE PLAN BE IMPLEMENTED AND EXECUTED THROUGHOUT THE LIFE OF THE FACILITY. STORMWATER SYSTEM MAINTENANCE OF THE ON-SITE STORM WATER SYSTEM IS THE RESPONSIBILITY OF THE PROPERTY OWNER. THIS INCLUDES ALL CATCH BASINS, YARD DRAINS, PIPING, MANHOLES, WATER QUALITY BASIN, INFILTRATOR UNITS, ROOF LEADERS AND THE DRAINAGE PIPES. 2. THE FOLLOWING SCHEDULE OF MAINTENANCE SHALL BE FOLLOWED: A. IN GENERAL, GOOD HOUSEKEEPING PRACTICES SHALL BE INCORPORATED INTO THE ROUTINE SITE AND FACILITY MAINTENANCE PLAN TO MINIMIZE DEPOSITION OF SEDIMENT, LITER AND CONTAMINANTS INTO THE STORM DRAINAGE SYSTEM. B. PAVED PARKING AND LOADING AREAS AND WALKS SHALL BE SWEPT OF DEBRIS, SAND, AND LITTER AT LEAST TWICE ANNUALLY, IN PARTICULAR, LATE SPRING AFTER WINTER SANDING OPERATIONS, AND IN LATE FALL AFTER LEAF LITTER CLEANUP. C. CATCH BASINS, INFILTRATOR UNITS, AND THE WATER QUALITY BASIN SHALL BE INSPECTED SEMIANNUALLY, FOLLOWING SPRING AND FALL SITE CLEANUP. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED AND DISPOSED OF TO APPROVED OFF-SITE LOCATIONS. MAINTENANCE RECORDS DOCUMENTING SYSTEM INSPECTIONS AND CLEANING OPERATIONS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BE MADE AVAILABLE FOR INSPECTION BY THE TOWN AS REQUESTED. UTILITY NOTES: 1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND ARE BASED ON AVAILABLE AS-BUILT INFORMATION FROM UTILITY COMPANY RECORDS. THE PROPERTY OWNER, AND LIMITED SURVEY DATA. ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES ON THE SITE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY AND NOTIFYING THE DESIGN SITE ENGINEER OF POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE AND/OR ANY ADJUSTMENTS TO THE PLANS WHICH ARE NECESSARY. TEST PITS WILL BE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS IN ORDER TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND TO IDENTIFY TENTIAL CONFLICTS WITH VERTICAL AND HORIZONTAL ALIGNMENTS SHOWN ON THE PLANS. TEST PITS SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE. 2. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO MARK THE LOCATION OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. 3. A PRE-CONSTRUCTION MEETING WITH TOWN STAFF SHALL BE HELD PRIOR TO START OF CONSTRUCTION. REMOVE/ABANDON ALL EXISTING UTILITIES REQUIRED FOR CONSTRUCTION OF SITE IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH CUSTODIAL UTILITY COMPANY REQUIREMENTS. CONSULT WITH CUSTODIAL UTILITY COMPANY AND ENGINEER PRIOR TO ABANDONING UTILITIES. ALL MATERIALS AND INSTALLATION ARE TO BE IN ACCORDANCE WITH THE TOWN OF SIMSBURY, CONN. D.O.T. FORM 818, OR CUSTODIAL UTILITY COMPANY SPECIFICATION, AS APPROPRIATE.

- 6. ALL NEW SITE UTILITIES ARE TO BE INSTALLED UNDERGROUND, UNLESS INDICATED OTHERWISE.
- 7. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY APPLICABLE REQUIREMENTS. FINAL LOCATION OF UTILITY CONNECTIONS IS SUBJECT TO REVISION BY INDIVIDUAL UTILITY COMPANIES PRIOR TO THE INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK WITH THE APPLICABLE UTILITY COMPANIES.
- 8. FLOW LINE AND INVERT ELEVATIONS OF ALL STORM AND SANITARY SEWERS MUST BE COORDINATED WITH FINAL ARCHITECTURAL DRAWINGS. NOTIFY DESIGN ENGINEER OF CONFLICTS PRIOR TO START OF CONSTRUCTION.
- 9. CONNECT ALL ROOF LEADERS AND FOOTING DRAINS INTO NEW STORM DRAINAGE SYSTEM.
- 10. WATER SERVICE AND FIRE SERVICE INSTALLATION IS TO BE COORDINATED WITH AQUARION WATER AND SIMSBURY FIRE DEPARTMENT OFFICIALS PRIOR TO THE START OF WORK BY THE CONTRACTOR.
- 11. BEFORE THE WATER MAIN OR WATER SERVICE LINES ARE PLACED INTO SERVICE, THEY SHALL BE INSPECTED, FLUSHED, SANITIZED, TESTED AND FOUND TO BE IN COMPLIANCE WITH AQUARION STANDARDS AND SPECIFICATIONS.
- 12. ALL WORK ON THE SANITARY SEWER SHALL BE IN ACCORDANCE WITH SIMSBURY WPCA.
- 13. BEFORE THE SANITARY SEWER SYSTEM IS PLACED INTO SERVICE, IT IS TO BE INSPECTED, TESTED AND FOUND TO BE IN COMPLIANCE WITH WPCA REGULATIONS.
- 14. ALL WORK RELATED TO GAS, ELECTRIC, TELEPHONE AND COMMUNICATION SERVICE SHALL BE IN ACCORDANCE WITH THE CUSTODIAL UTILITY COMPANY STANDARDS AND SPECIFICATIONS.
- 15. WHEN TRENCHING IS REQUIRED IN TOWN OR STATE R.O.W., BACKFILL AND COMPACT FILL AND CONSTRUCT PAVEMENT REPAIR IN ACCORDANCE WITH TOWN OF SIMSBURY OR CONN. DOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- 16. COORDINATE PLACEMENT OF TRANSFORMER AND ROUTING OF UTILITY SERVICE WITH EVERSOURCE OFFICIALS.
- 17. RELOCATE OR RESET, AS APPROPRIATE, ALL ELECTRIC, TELEPHONE, COMMUNICATION SERVICE HANDHOLES, MANHOLES, PULL BOXES, ETC., AS REQUIRED, FOR COMPLETION OF WORK. COORDINATE RELOCATIONS OR RESETTING WITH CUSTODIAL UTILITY COMPANY REPRESENTATIVES.
- 18. WATER MAIN, WATER SERVICE PIPING, FITTINGS, VALVES, HYDRANTS, CORPORATIONS, ETC. SHALL CONFORM TO AQUARION STANDARDS AND SPECIFICATIONS.
- 19. ALL WATER AND FIRE MAIN AND SERVICE PIPING SHALL BE ANSI/AWWA C151/A21.51 C.L.D.I.P. CLASS 52 AND 1" COPPER, UNLESS OTHERWISE SPECIFIED. ALL WATER SERVICE SHALL HAVE A MINIMUM COVER OF 4 1/2 FEET.
- 20. ALL WATER AND FIRE SERVICE FITTINGS AND VALVES SHALL BE MECHANICAL JOINT AND SHALL BE RESTRAINED USING JOINT RETAINER GLANDS, AND CONCRETE THRUST BLOCKS, UNLESS OTHERWISE SPECIFIED. ALL VALVES SHALL OPEN LEFT.
- 21. PVC SAN. SEWER PIPE = SDR 35 PVC PIPE W/ PUSH-ON GASKETED JOINTS.
- 22. DIP = CLASS 52 DUCTILE IRON PIPE.
- 23. ALL SANITARY SEWER PIPES, FITTINGS, MANHOLES AND ACCESSORIES SHALL CONFORM TO WPCA STANDARDS AND SPECIFICATIONS.

NOTESNOTESNOTESRevisionsPREPARE FORCROWN PROPERTY HOLDINGS, LLCCASTERBRIDGE CROSSINGCASTERBRIDGE CROSSINGPCASTERBRIDGE CROSSINGPSIMSURY, CONNECTICUTPDate: $12-03-2021$ Drawn by: ERNScale: NTSChecked by: DSZScale: NTSChecked by: DSZ		Crown vimsbury		L. A. Heskein & Associates, Inc.	3 Creamery Brook, East Granby, CT 06026 · 146 N W Broad Street, Southern Pines, NC 28387	Phone (860) 653-8000 · Fax (860) 844-8600 · Phone (910) 692-2844 Fax (910) 692-3356	Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects www.fahesketh.com • mailefahesketh.com
NOTES PREPARED FOR PREPARED FOR CASTERBRIDGE CROSSING CASTERBRIDGE CROSSING SIMSBURY, CONNECTICUT -2021 Drawn by: ERN Job no: 04174 Checked by: DSZ Sheet no: 1 OF 1	Des						
		CROWN PROPERTY HOLDINGS, LLC	CASTERBRIDGE CROSSING		Date: 12-0.3-2021 Drawn hv: FRN Joh no: 04174)





NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20–230b–1 THROUGH 20–300b–20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS ON SEPTEMBER 26, 1996. AS AMENDED

2.IT IS A PERIMETER SURVEY - LIMITED TOPOGRAPHIC SURVEY OF LOT D AND G. IT IS INTENDED TO AID IN PLANNING PURPOSES.

3. THE BOUNDARY DETERMINATION CATEGORY FOR PERIMETER AND EXISTING LOT LINES IS THAT OF A RESURVEY.

4.THIS SURVEY CONFORMS TO A–2 HORIZONTAL STANDARDS AND T–2 TOPOGRAPHIC ACCURACY STANDARDS.

5. COORDINATES AND BEARINGS DEPICTED HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD83). GPS CONTROL POINTS HVTRV1 N=891093.15 E=989836.15, & HV0507 N=890433.39 E=989955.87. ESTABLISHED BY EASTERN TOPOGRAPHICS, GPS TECHNIQUES WERE USED FOR REFERENCE.

6. ELEVATIONS DEPICTED HEREON (IF ANY) ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). GPS CONTROL POINT HVTRV1 N=891093.15 E=989836.15 ELEV=187.68, ESTABLISHED BY EASTERN TOPOGRAPHICS, GPS TECHNIQUES WERE USED FOR REFERENCE.

7. THE SUBJECT PARCELS ARE OWNED BY DORSET CROSSING, LLC SIMSBURY LAND RECORDS VOLUME 732 AT PAGE 340.

8. THE SUBJECT PARCELS MAY BE SUBJECT TO CONDITIONS SET FORTH IN STC CERTIFICATE NUMBER 128–0903–01 DATED MAY 19, 2009. S.L.R. VOL.775 PG.1083.

9. A PORTION OF THE SUBJECT PARCELS ARE LOCATED IN FEMA ZONE A (NO BASE FLOOD ELEVATION DETERMINED). SPECIAL FLOOD HAZARD AREAS DIGITIZED HEREON ARE SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT BASED UPON A VISUAL INSPECTION OF MAP REFERENCE NUMBER 9.

10. THE SUBJECT PARCELS WERE PART OF A 7 LOT RESUBDIVISION APPROVED AT REGULAR MEETING OF THE SIMSBURY PLANNING COMMISSION ON NOVEMBER 26, 2013.

11. THE 150' HELCO R.O.W. DEPICTED HEREON IS BASED UPON FIELD LOCATED MONUMENTS MARKING THE "MONUMENTED LINE OF LOCATION" DEPICTED ON MAP REFERENCE #10. CL&P PURPORTS THIS TO BE THE SAME R.O.W. AS DESCRIBED IN S.L.R. VOL.75 PG,520 AND MAP REFERENCE #11. PREVIOUS SURVEYS OF RECORD RECORDED IN THE SIMSBURY LÄND RECORDS DEPICT THE EASEMENT 75 FEET EACH SIDE OF THE MONUMENTS FOUND.

12. THE SUBJECT PARCELS ARE LOCATED IN THE PAD ZONE IN THE TOWN OF SIMSBURY.

13. THE WETLAND FLAGS DEPICTED HEREON WERE SET IN THE FIELD BY A CERTIFIED SOIL SCIENTIST AND LOCATED UNDER THE DIRECT SUPERVISION OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

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THIS MAP IS NOT		WITHOUT		INF	SIGNATURE		IMPRESSION		SEAL	0F	

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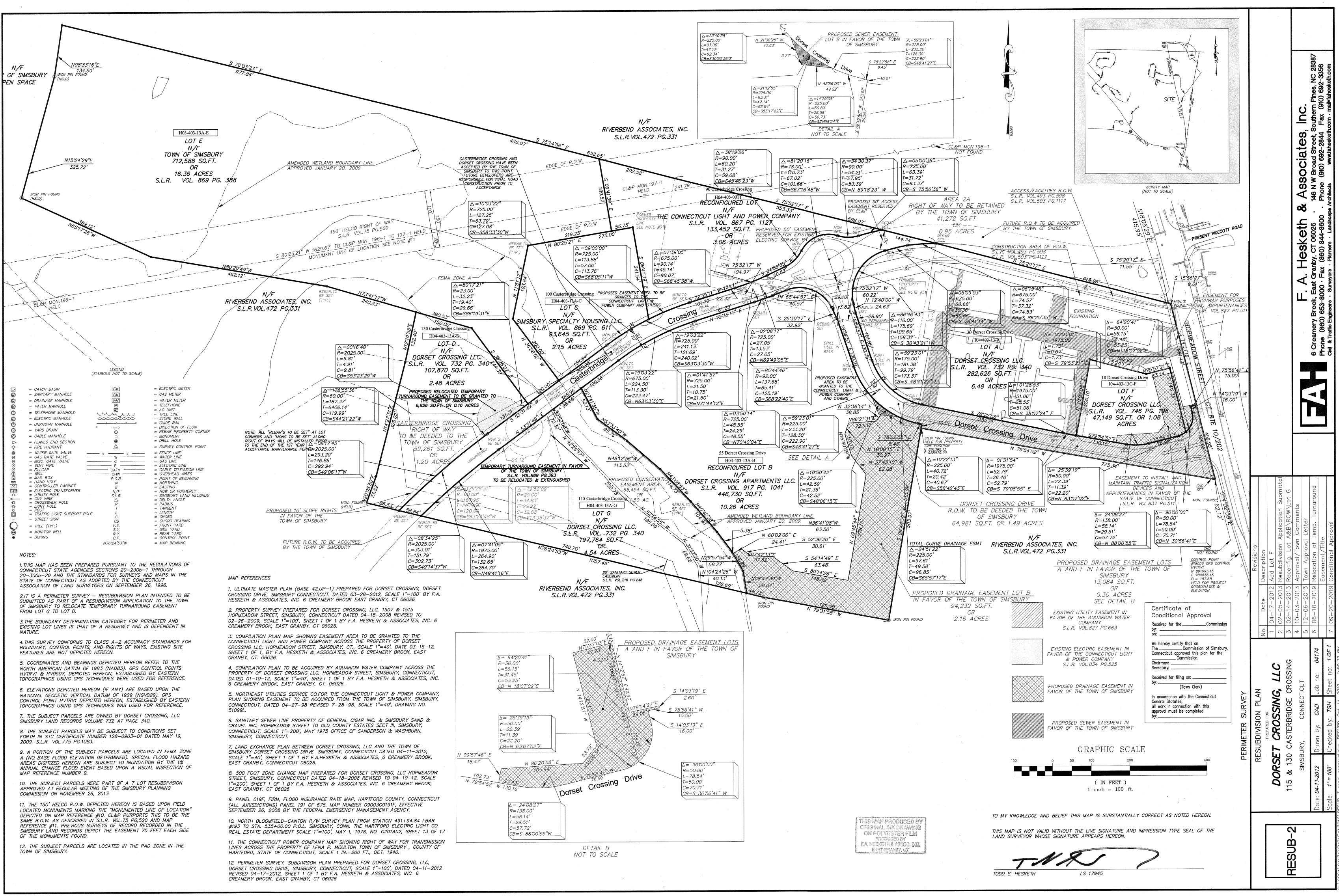
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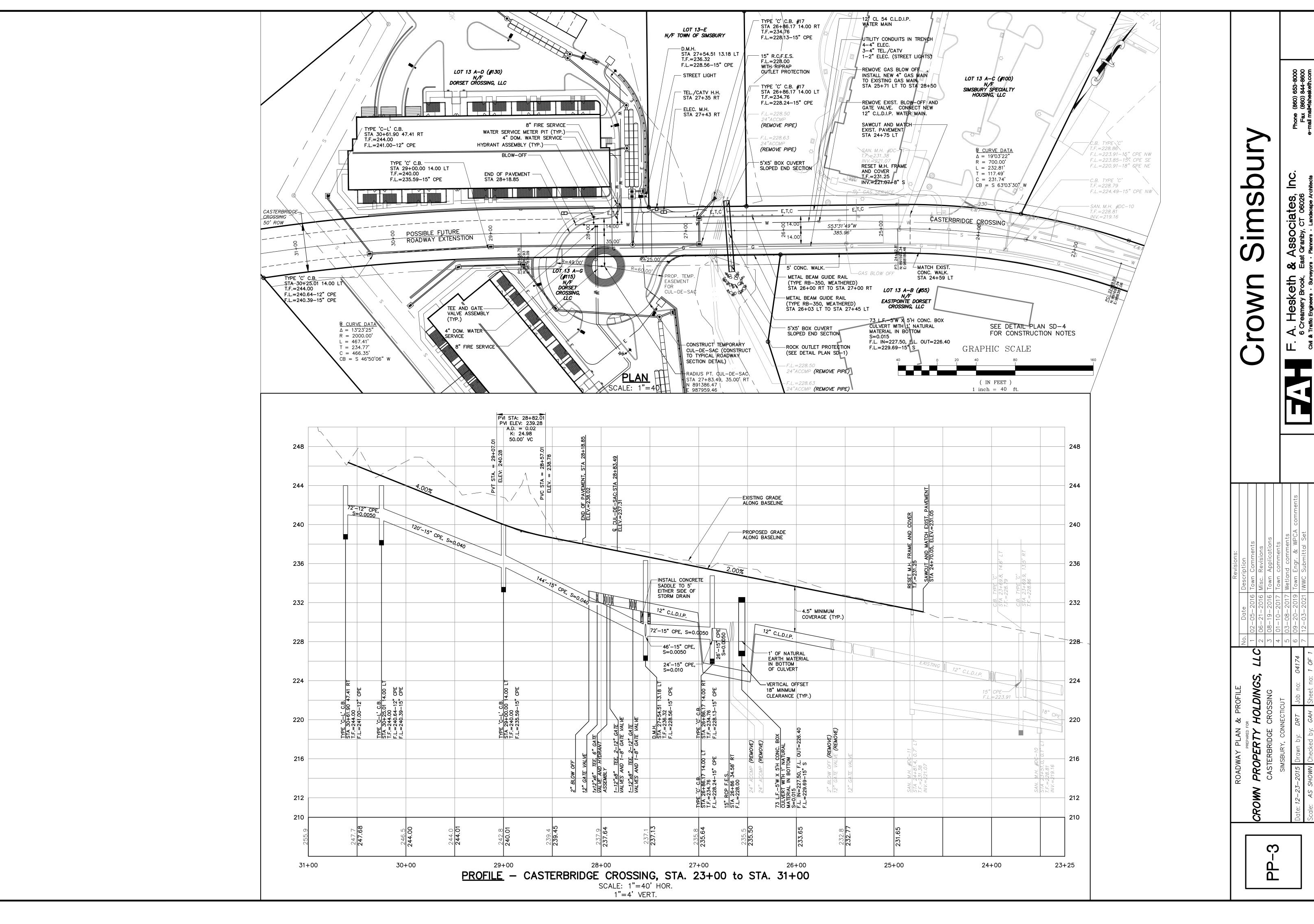
(58×04

PROGRESS 12-02-2021

TODD S. HESKETH LS 17945

LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.





2004/04174 30 – Lots C and D\Tanestry\Submittal\2001–11–24 Conservation Submission\T&P PP-1 2021–11–24–02 dwa PP-3 Dec 03



13 FLOOR PLAN - GARAGE LEVEL BUILDING D A100 SCALE: 1/16" = 1'-0"

0 8' 16' 3



<13 ∖

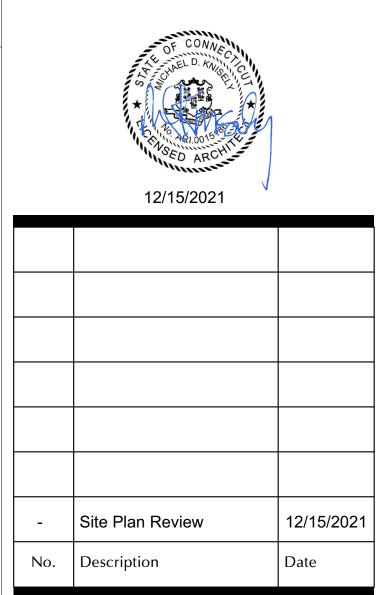
0 8' 16'



1501 FLAG AVE NORTH MINNEAPOLIS, MINNESOTA 55427 [763] 591.0996

Crown Simsbury CASTERBRIDGE CROSSING

SIMSBURY, CONNECTICUT



DRAWING TITLE

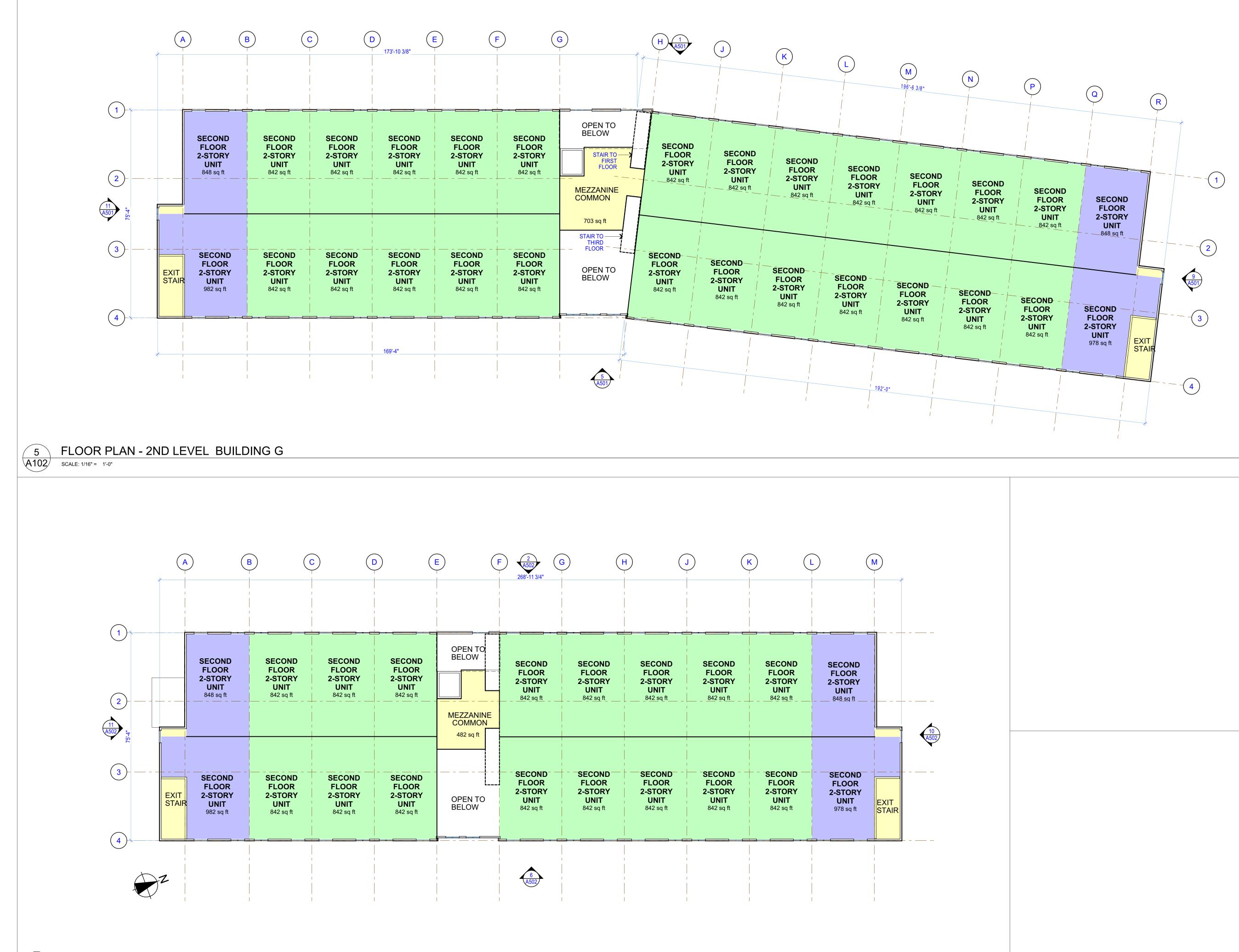
0 8' 16'

FIRST FLOOR PLAN

DRAWING INFORMATION	
PROJECT NO:	21.12.07
DRAWN BY:	DLK
CHECKED BY:	MDK
CAD/BIM PUBLISH DATE:	12/15/2021

A101

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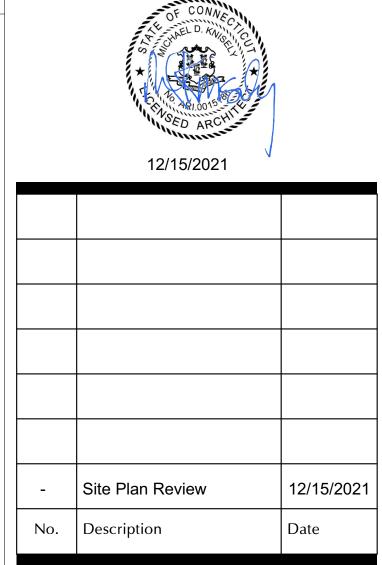




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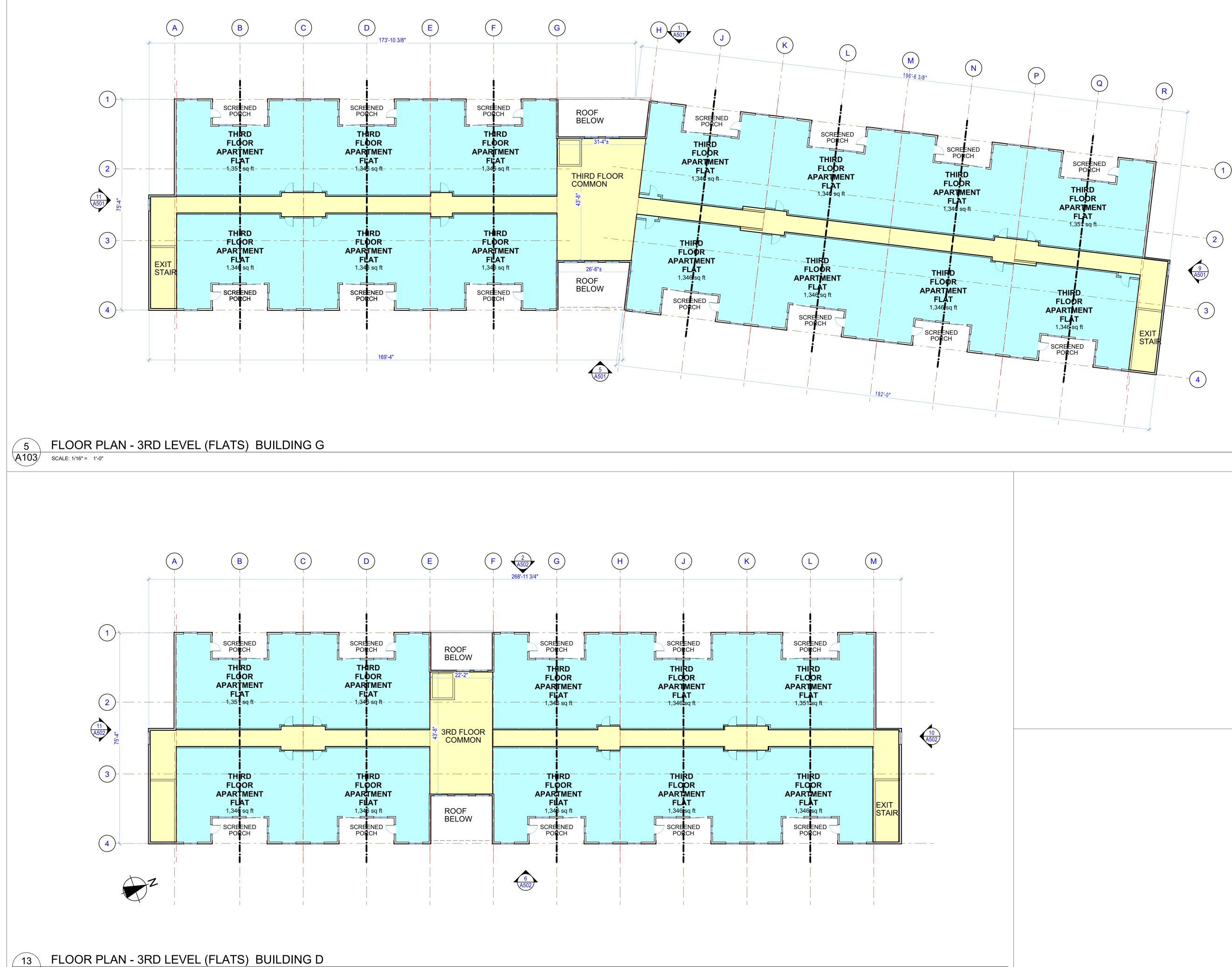
DRAWING TITLE

0 8' 16'

SECOND FLOOR PLAN

DRAWING INFORMATION	
PROJECT NO:	21.12.07
DRAWN BY:	DLK
CHECKED BY:	MDK
CAD/BIM PUBLISH DATE:	12/15/2021

A102



13 FLOOR PL A103 SCALE: 1/16" = 1'-0"

0 8' 16'



1501 FLAG AVE NORTH MINNEAPOLIS, MINNESOTA 55427 [763] 591.0996

Crown Simsbury CASTERBRIDGE CROSSING SIMSBURY, CONNECTICUT

Ņ

0 8' 16'

12/15/2021

DRAWING TITLE

No. Description

-

Site Plan Review

THIRD FLOOR PLAN

12/15/2021

Date

DRAWING INFORMATION	
PROJECT NO:	21.12.07
DRAWN BY:	DLK
CHECKED BY:	MDK
CAD/BIM PUBLISH DATE:	12/15/2021

A103

