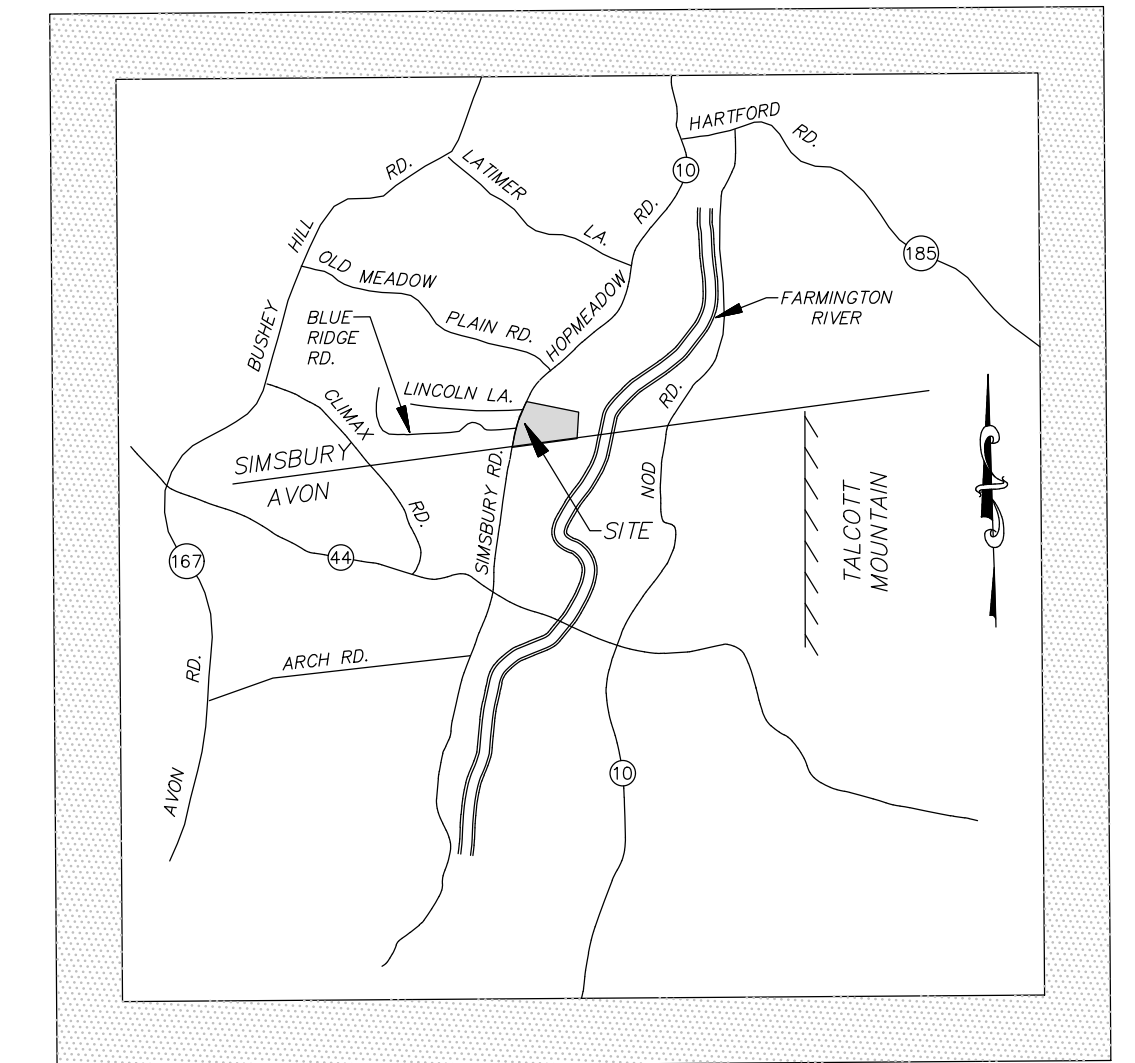


# CURALEAF EXPANSION

34 Hopmeadow Street  
Simsbury, Connecticut

Special Exception / Site Plan Application

August 27, 2021



VICINITY MAP  
(NOT TO SCALE)

## DEVELOPMENT TEAM

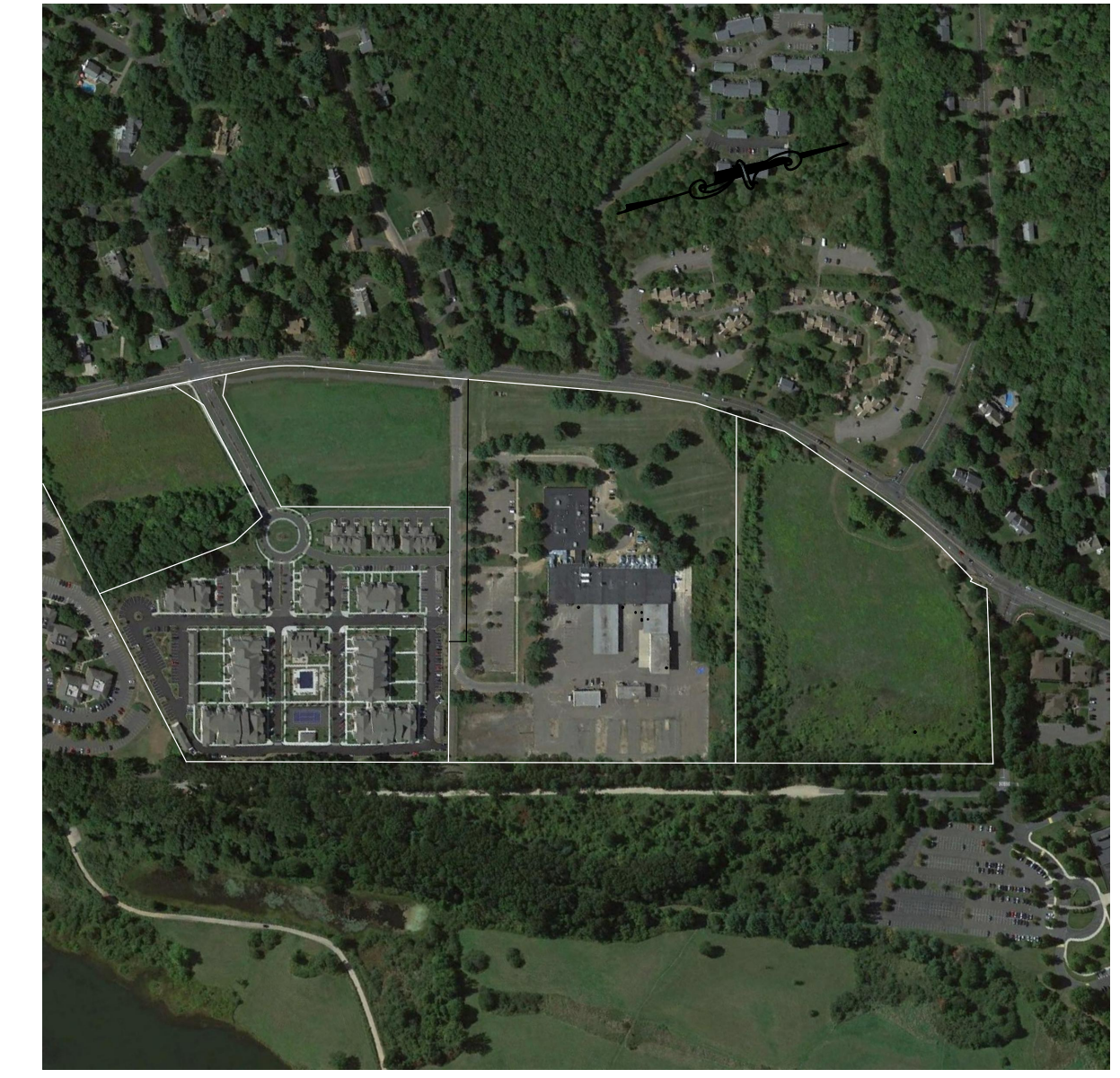
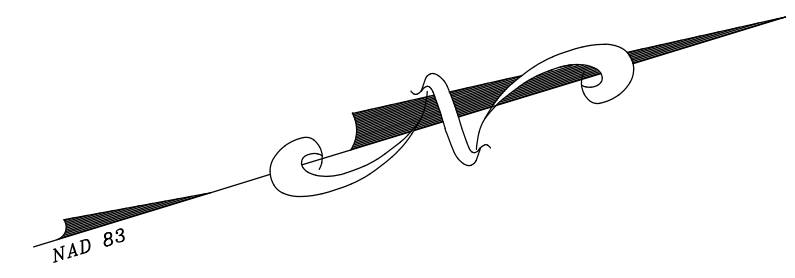
Property Owner	34 Hopmeadow Street Realty Co., LLC
Applicant/Developer	Curaleaf, LLC
Civil Engineer and Surveyor	F. A. Hesketh & Associates, Inc.
Landscape Planner	F. A. Hesketh & Associates, Inc.
Traffic Engineer	F.A. Hesketh & Associates, Inc.

## LIST OF DRAWINGS

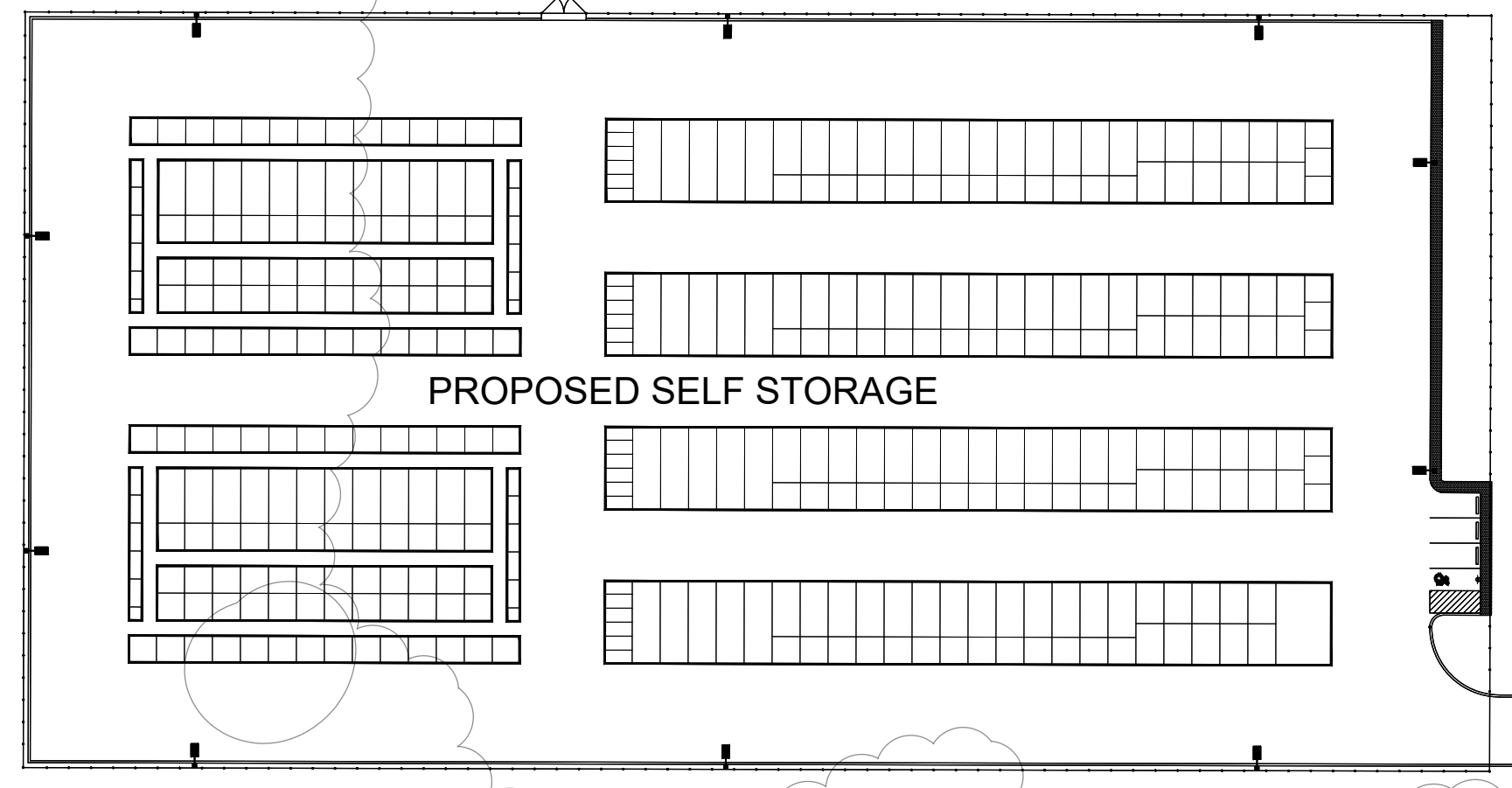
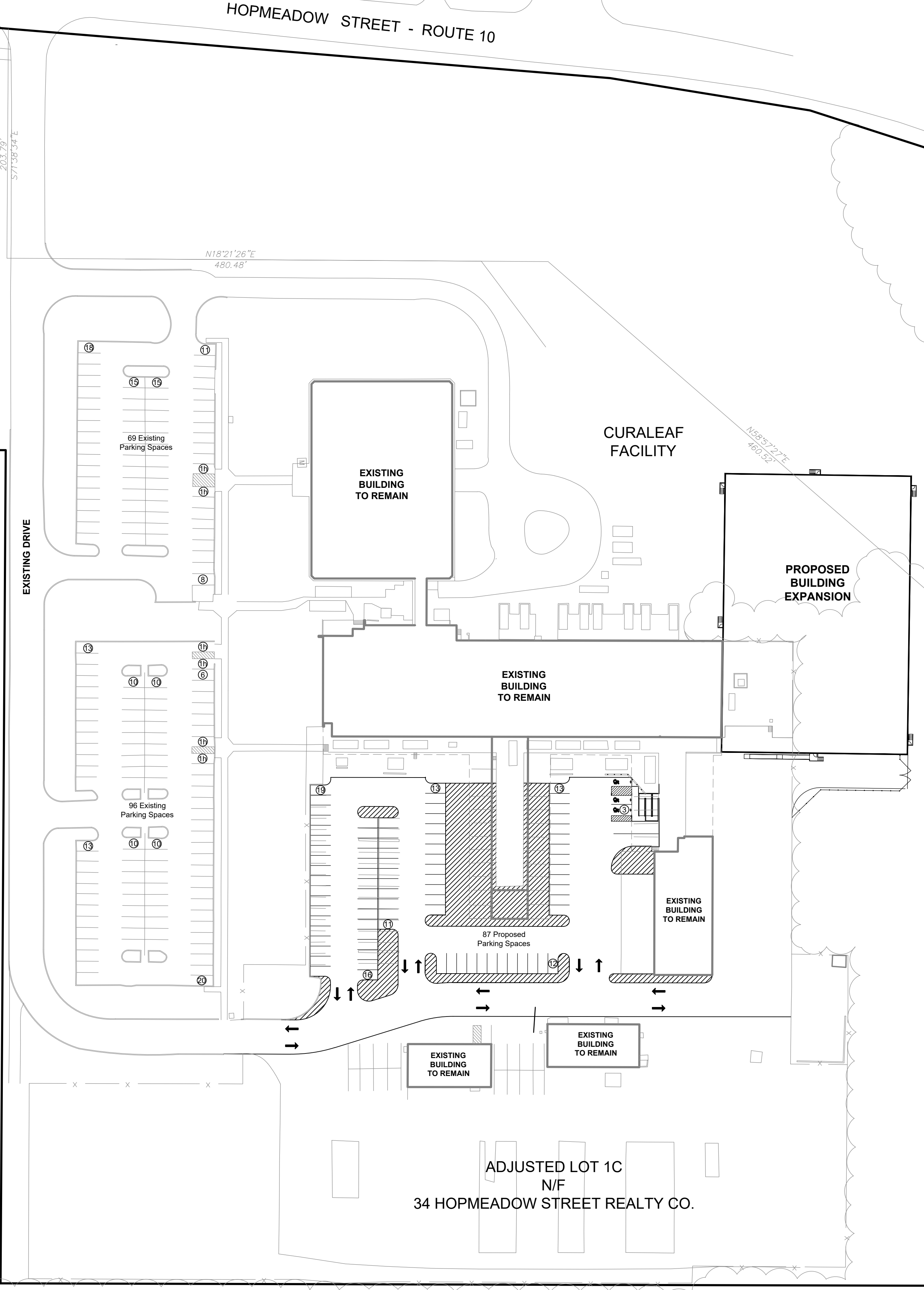
	Title Sheet
MA-1	Master Plan
LA-1	Layout Plan
GR-1	Grading & Drainage Plan
EC-1	Soil Erosion & Sedimentation Control Plan
UT-1	Utilities Plan
SD-1 thru SD-3	Site Details
NT-1	Notes
S-1	Existing Conditions Survey
CP-2	Compilation Plan; Lot Line Adjustment Plan
SD01	Overall plan
SD02	Schematic Design Plan
SD03	Schematic Design Elevations



HOPMEADOW STREET - ROUTE 10

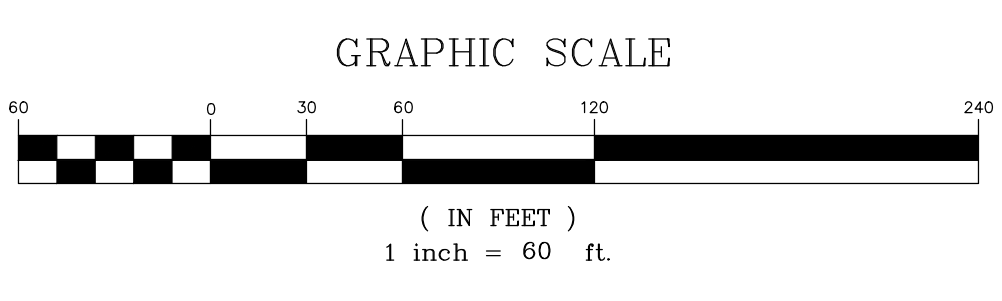


**AREA MAP**  
1" = 500'



PROPOSED SELF STORAGE

ASPEN GREEN APARTMENTS

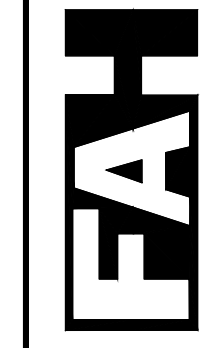


N/F  
STATE OF CONNECTICUT

No.	Date	Description

MA-1  
**MASTER PLAN**  
 PREPARED FOR  
**CURALEAF EXPANSION**  
 34 HOPMEADOW STREET  
 SIMSEBURY, CONNECTICUT  
 Date: 08-27-2021 Drawn by: KLL Job no: 21126  
 Checked by: DSZ Sheet no: 1 OF 1  
 Scale: 1" = 80'

MA-1



**F. A. Hesketh & Associates, Inc.**  
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 Phone (860) 653-8000 Fax (860) 844-8600  
 www.fahsketh.com

Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects  
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D:\2021\21126- Greenberg MSStorage Curaleaf\Curaleaf 2021\2021-08-27\CUR MA-1 2021-08-27.dwg, MA-1, Aug. 26, 2021 - 1:53:57 PM



# ZONING DATA - ADJUSTED PARCEL 1C

**ZONE:** PAD (Underlying Zone: Industrial)

**LOT AREA:** 25.84 Acres

**TOTAL BUILDING AREA:** 106,943 Sq. Ft.

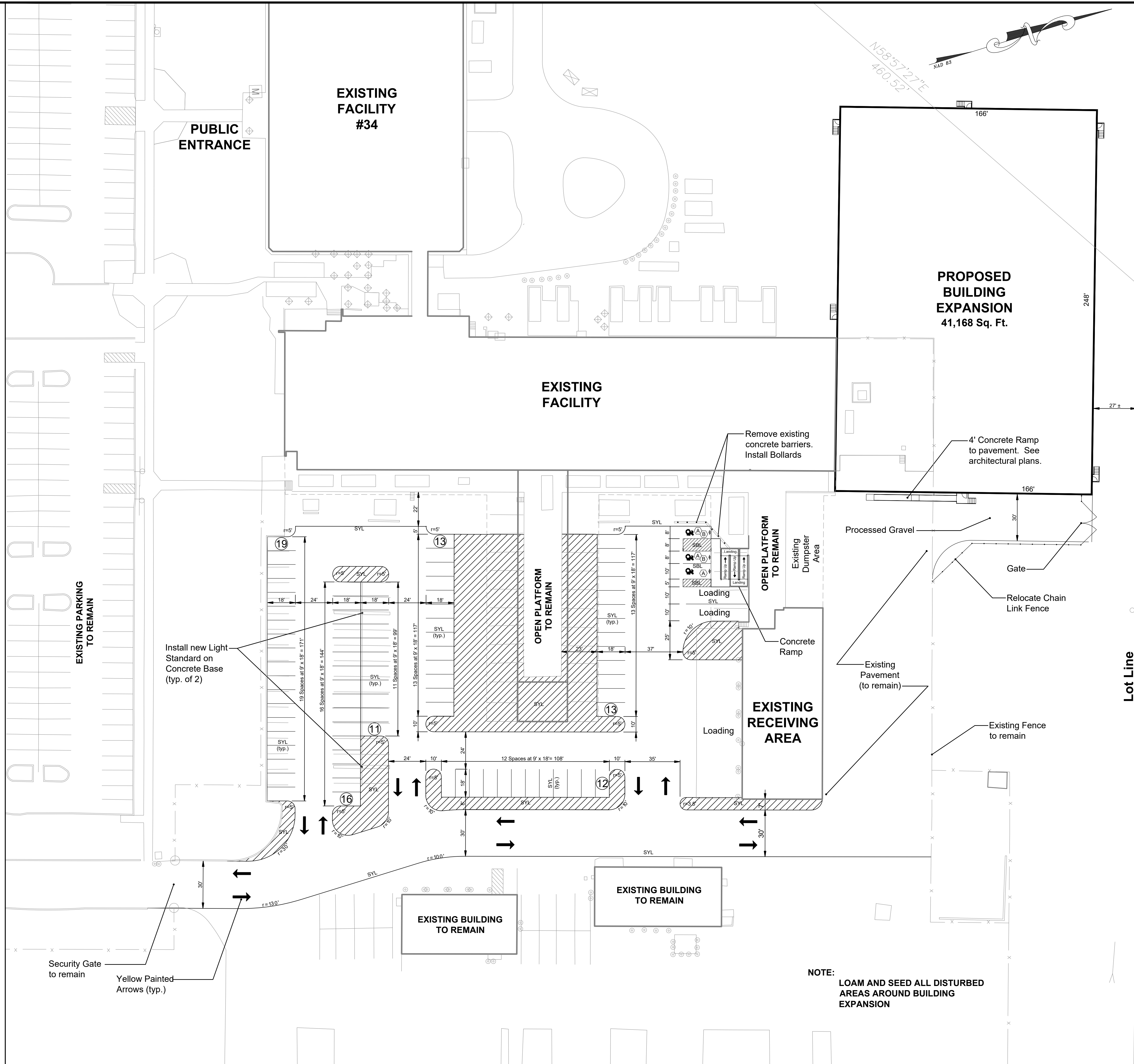
	Existing	Proposed
<b>Building Coverage</b>	5.8 Percent	9.5 Percent
<b>Impervious Coverage</b>	35.5 Percent	38.9 Percent
<b>Parking Spaces</b>	249 Spaces	252 Spaces
<b>Building Height</b>	40 Feet	35 Feet ±

## SIGNAGE LEGEND

Symbol	Graphic	Catalog Number	Quantity
A		New Reserved Sign (CT Building Code)	3
B		31-0648	2

## PAVEMENT MARKING LEGEND

Symbol	Type
SBL	Painted Single Blue Line
SYC	Painted Single Yellow Line



**NOTE:**  
LOAM AND SEED ALL DISTURBED AREAS AROUND BUILDING EXPANSION

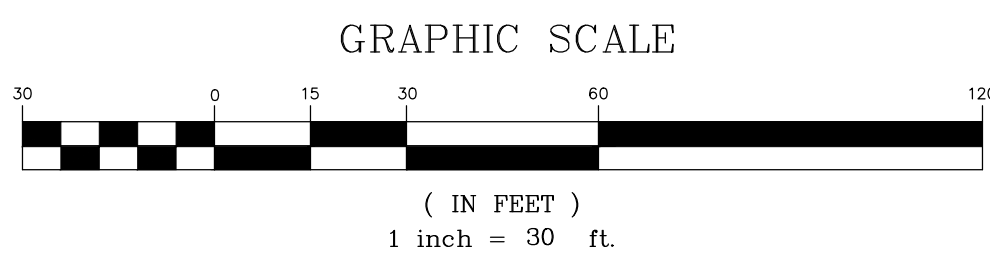
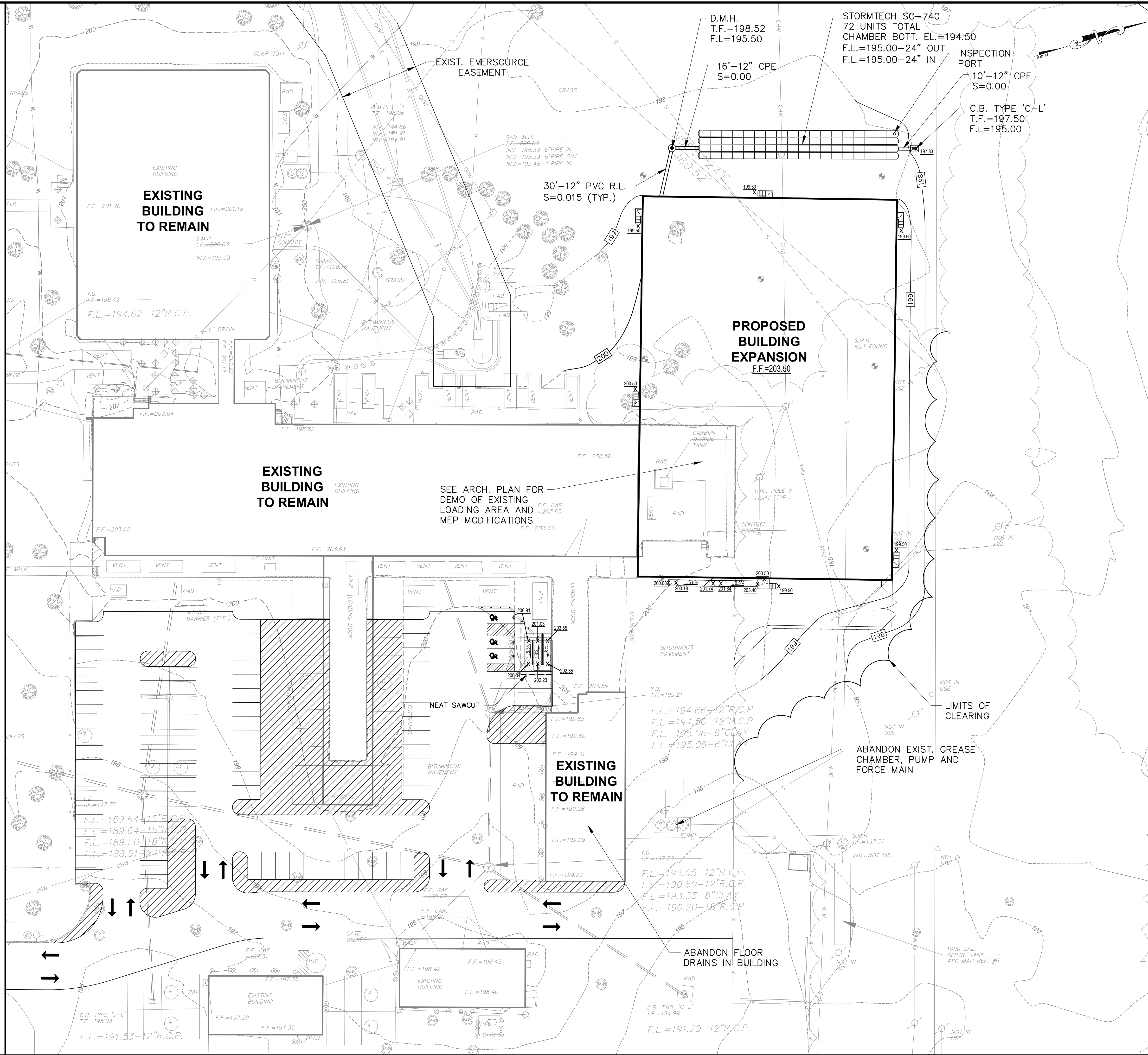
<b>LA-1</b>	<p>LAYOUT PLAN PREPARED FOR <b>CURALEAF EXPANSION</b> 34 HOPMEADOW STREET SIMSBURY, CONNECTICUT</p>	<p><b>F. A. Hesketh &amp; Associates, Inc.</b> 3 Creamery Brook, East Granby, CT 06026 Phone (860) 653-8000 Fax (860) 844-8600 www.fahesketh.com · Planners · Surveyors · Landscapers · Architects</p>												
<p>Revisions:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			No.	Date	Description									
No.	Date	Description												
<p>Date: 08-27-2021 Drawn by: KLL Job no: 98126 Scale: 1" = 30' Checked by: DSZ Sheet no: 1 OF 1 © 2021 Greenberg   Curaleaf   Curaleaf 2021 08-27 CUR LA-1 2021-08-27.dwg, LA-1, Aug. 27, 2021 - 10:04:23 AM</p>														

**LEGEND — EXISTING**

- N/F = NOW OR FORMERLY
- X.L.R. = MUNICIPAL LAND RECORD
- VOL. = VOLUME
- PG. = PAGE
- CP = CONTROL POINT
- ELEV. = ELEVATION
- SQ.FT. = SQUARE FEET
- ⊙ = LIGHT STANDARD
- ⊙ = SANITARY MANHOLE
- ⊙ = CATCH BASIN
- ⊙ = WATERGATE
- ⊙ = GAS GATE
- ⊙ = SIGN
- C — = GAS LINE
- W — = WATER LINE
- ⊙ = TRANSFORMER
- ⊙ = WATERGATE
- ⊙ = GAS METER
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- F/F = FINISHED FLOOR
- E — = ELECTRIC LINE
- S — = SANITARY LINE

**LEGEND — PROPOSED**

- ⊙ = PROPOSED CATCH BASIN
- ⊙ = PROPOSED DRAINAGE MANHOLE
- = PROPOSED STORM DRAIN CULVERT
- X 100.00 = PROPOSED SPOT GRADE
- 194 — = PROPOSED CONTOUR
- ⊙ = OUTLET STRUCTURE
- B-1 ⊙ = TEST BORING LOCATION



No.	Date	Revisions: Description

**GRADING & DRAINAGE PLAN**  
 PREPARED FOR  
**CURALEAF EXPANSION**  
 34 HOPMEADOW STREET  
 SIMSBUURY, CONNECTICUT

Date: 08-27-2021 Drawn by: ERN Job no: 21126  
 Checked by: DSZ Sheet no: 1 OF 1  
 Scale: 1" = 30'

**GR-1**

**FAH**

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- ⊕ = CATCH BASIN
- ⊖ = WATERGATE
- ⊗ = GAS GATE
- = SIGN
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- W — = WATER LINE
- T — = TRANSFORMER
- W — = WATERGATE
- M — = GAS METER
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- P.O.C. = POINT OF COMMENCEMENT
- F/F = FINISHED FLOOR
- E — = ELECTRIC LINE
- S — = SANITARY LINE

**LEGEND - SE&SC**

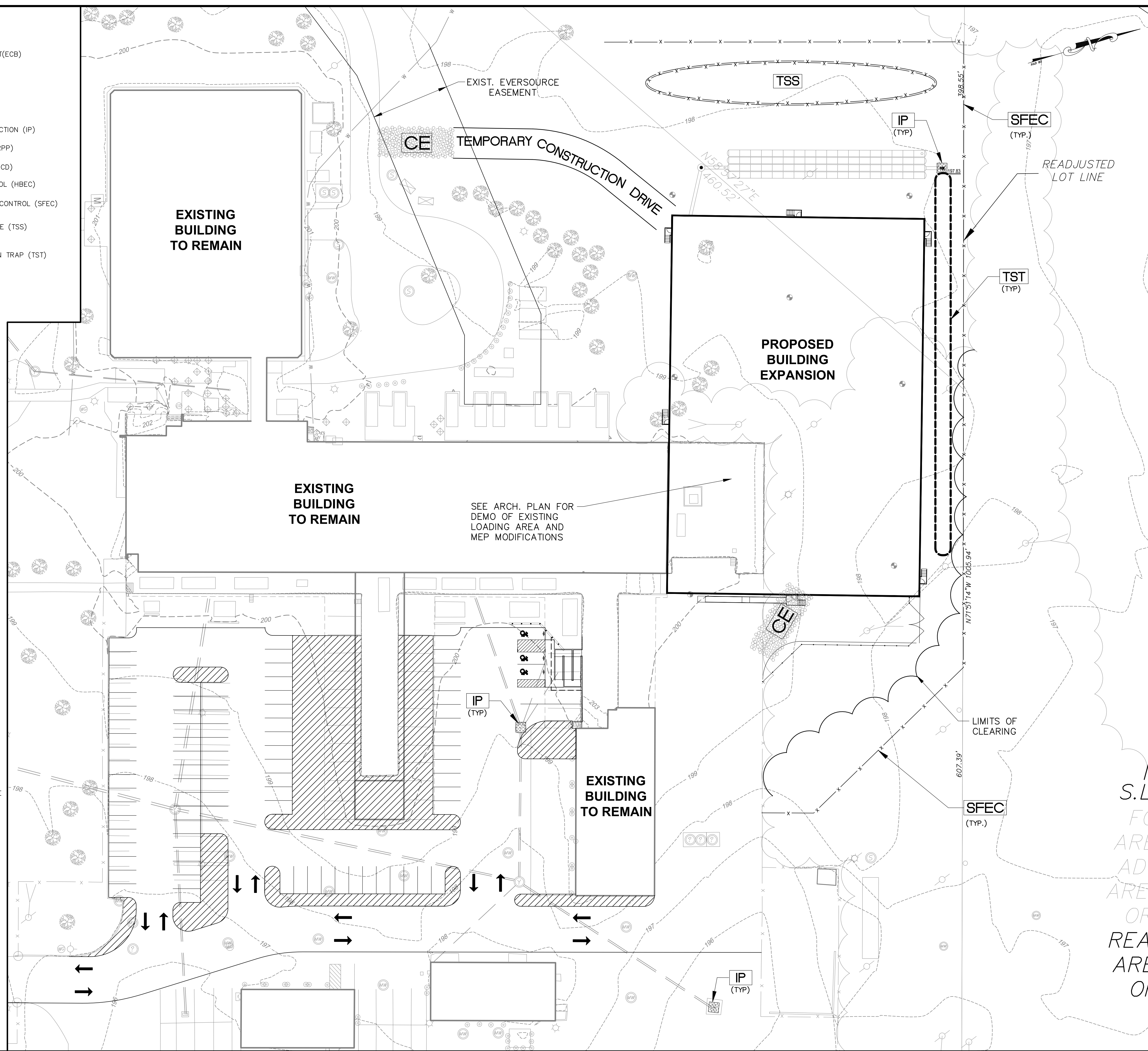
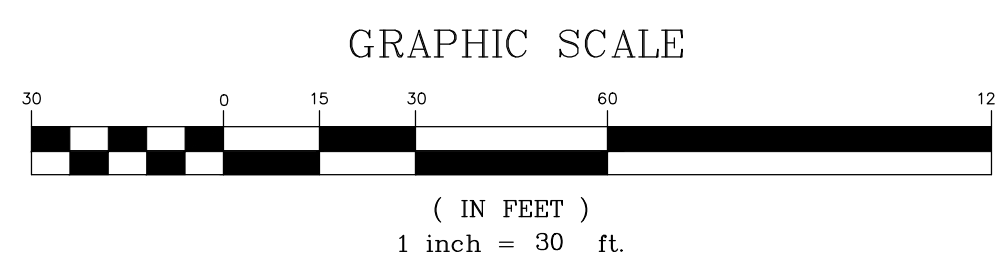
- [Hatched] = EROSION CONTROL BLANKET (ECB)
- ( ) = SEDIMENT LOG (SL)
- [Dotted] = CONSTRUCTION EXIT (CE)
- [Cross-hatched] = STONE CHECK DAM (SCD)
- [Grid] = CATCH BASIN INLET PROTECTION (IP)
- [Riprap] = RIPRAP PLUNGE POOL (RRPP)
- [Hay Bale] = HAY BALE CHECK DAM (HBCD)
- [Hay Bale] = HAY BALE EROSION CONTROL (HBEC)
- [X] = SEDIMENT FENCE EROSION CONTROL (SFEC)
- [Circle] = TEMPORARY SOIL STOCKPILE (TSS)
- [Circle] = TEMPORARY SEDIMENTATION TRAP (TST)
- [Circle] = TREE PROTECTION (TP)

**LEGEND - PROPOSED**

- [Square] = CATCH BASIN
- [Triangle] = FLARED END SECTION
- X/100.00 = SPOT GRADE
- [Line] = CONTOUR
- B-1 ⊕ = TEST BORING LOCATION

**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

1. DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH AN APPROVED "EROSION AND SEDIMENT CONTROL PLAN" TO PREVENT OR MINIMIZE SOIL EROSION.
2. THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR. TOWN OFFICIALS SHALL BE NOTIFIED IN WRITING OF THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR THIS WORK (INCLUDING ANY CHANGES) AT THE REQUIRED PRE-CONSTRUCTION CONFERENCE.
3. THE CONTRACTOR SHALL USE THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002), AS AMENDED AS A GUIDE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS. THE GUIDELINES MAY BE OBTAINED FROM THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION STORE, 79 ELM STREET, HARTFORD, CT 06106.
4. THE CONTRACTOR SHALL SCHEDULE ALL OPERATIONS TO LIMIT DISTURBANCE TO THE SMALLEST PRACTICAL AREA FOR THE SHORTEST POSSIBLE TIME. OVERALL SITE DISTURBANCE SHALL BE CONFINED TO THOSE LIMITS DELINEATED ON THE PLANS.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY INSTALLATION, INSPECTION, REPAIR OR REPLACEMENT OF EROSION CONTROL DEVICES TO INSURE PROPER OPERATION.
6. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF UNSATISFACTORY EROSION CONDITIONS NOT CONTROLLED BY THE EROSION AND SEDIMENT CONTROL PLAN AND SHALL INSTALL ADDITIONAL MEASURES AS REQUIRED.
7. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVEMENT, MULCH, PERMANENT RIP RAP EROSION CONTROL, OR GROUND COVER PLANTINGS SHALL BE PLANTED WITH GRASS.
8. ACCUMULATED SEDIMENT REMOVED FROM EROSION CONTROL DEVICES IS TO BE SPREAD AND STABILIZED IN LEVEL, EROSION RESISTANT LOCATIONS AS GENERAL FILL.
9. SPECIAL ATTENTION SHALL BE GIVEN TO THE CONSTRUCTION SEQUENCE AND PHASING OUTLINED ON THESE PLANS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY CONSTRUCTION DEBRIS OR SEDIMENT FROM EXISTING ROADS AS ORDERED BY THE TOWN AND/OR STATE, IF ANY DEBRIS OR SEDIMENT FROM CONSTRUCTION ACTIVITIES ENTER ONTO THESE ROADWAYS.
11. ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OR STATE STAFF DURING CONSTRUCTION SHALL BE IMPLEMENTED BY THE CONTRACTOR. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND/OR REPLACEMENT OF ALL REQUIRED CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF THE TOWN OR STATE.
12. SEE DETAIL SHEETS FOR ADDITIONAL DETAILS AND NOTES AND FOR CONSTRUCTION PHASING PLANS.
13. IN AREAS WHERE LIMITS OF DISTURBANCE ARE NOT DELINEATED BY SILT FENCE, INSTALL CONSTRUCTION FENCE FOR TREE PROTECTION AND DELINEATION OF LIMIT OF DISTURBANCE.



**SOIL EROSION & SEDIMENTATION CONTROL PLAN**

**CURALEAF EXPANSION**  
34 HOPMEADOW STREET  
SIMSBURY, CONNECTICUT

Date: 08-27-2021 Drawn by: ERN Job no: 21126  
Checked by: DSZ Sheet no: 1 OF 1  
Scale: 1" = 30'

**EC-1**

S.L. FOR AREA OR REA AREA OF

Revisions:

No.	Date	Description

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www.fahhsketh.com - mail@fahhsketh.com  
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

**LEGEND - EXISTING**

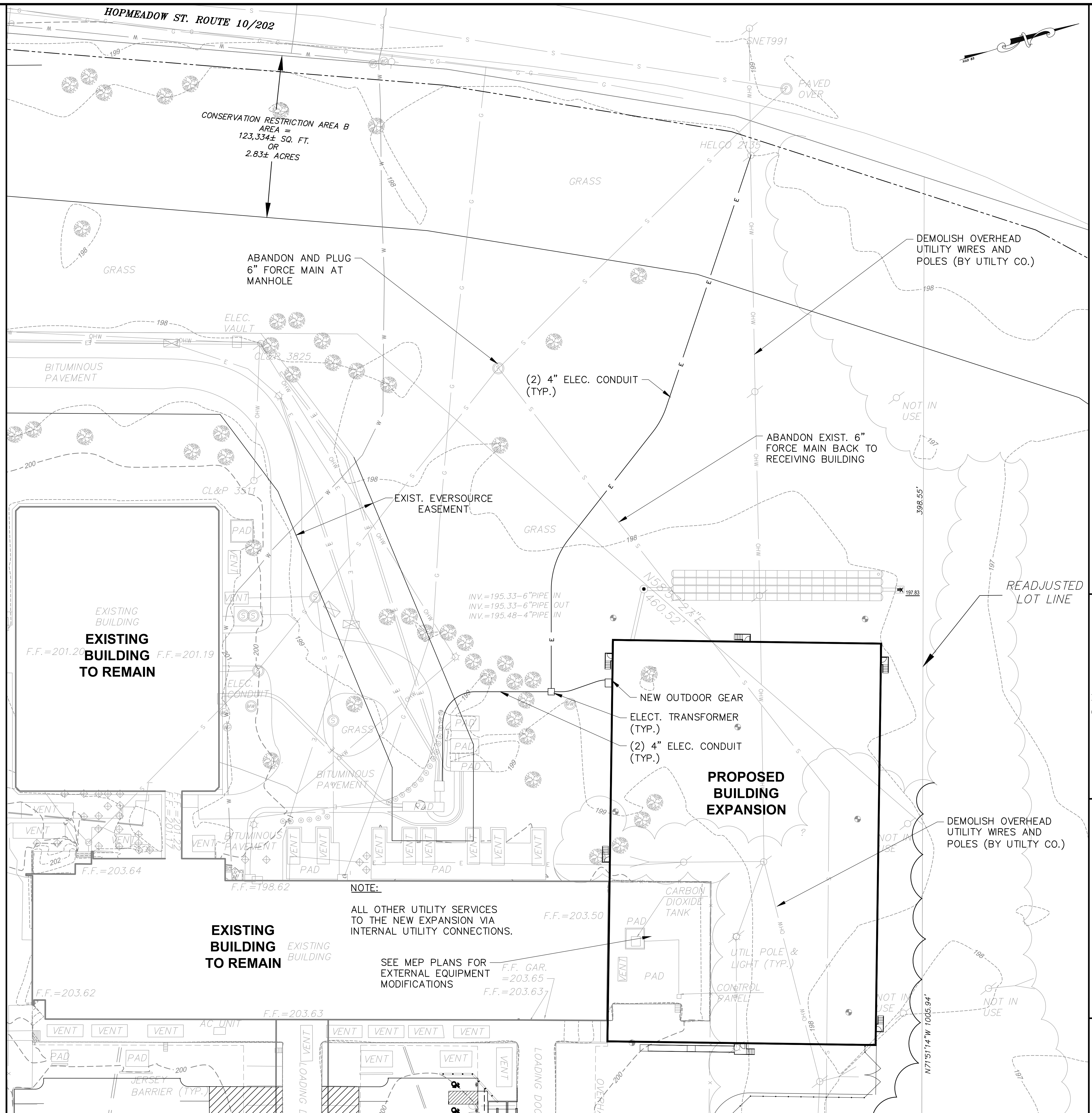
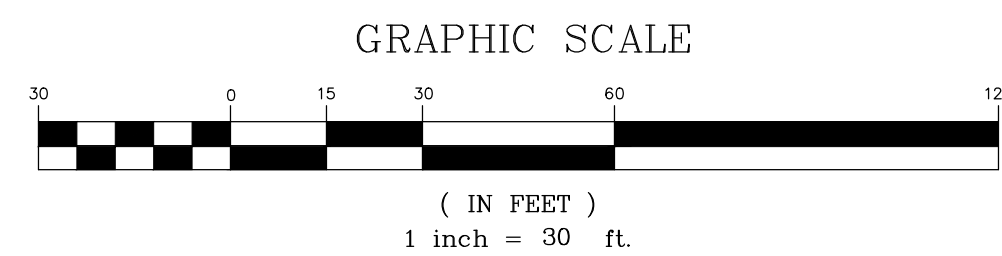
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- S — = SANITARY LINE

- ⊠ = CATCH BASIN
- ▶ = FLARED END SECTION
- X 100.00 = SPOT GRADE
- 194 — = CONTOUR
- B-1 ⊕ = TEST BORING LOCATION
- E — = ELECTRICAL LINE

**UTILITY NOTES:**

1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND ARE BASED ON AVAILABLE AS-BUILT INFORMATION FROM UTILITY COMPANY RECORDS, THE PROPERTY OWNER, AND LIMITED SURVEY DATA. ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES ON THE SITE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY AND NOTIFYING THE DESIGN SITE ENGINEER OF POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE AND/OR ANY ADJUSTMENTS TO THE PLANS WHICH ARE NECESSARY. TEST PITS WILL BE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS IN ORDER TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND TO IDENTIFY POTENTIAL CONFLICTS WITH VERTICAL AND HORIZONTAL ALIGNMENTS SHOWN ON THE PLANS. TEST PITS SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.
2. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO MARK THE LOCATION OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. A PRE-CONSTRUCTION MEETING WITH TOWN STAFF SHALL BE HELD PRIOR TO START OF CONSTRUCTION.
4. REMOVE/ABANDON ALL EXISTING UTILITIES REQUIRED FOR CONSTRUCTION OF SITE IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH CUSTODIAL UTILITY COMPANY REQUIREMENTS. CONSULT WITH CUSTODIAL UTILITY COMPANY AND ENGINEER PRIOR TO ABANDONING UTILITIES.
5. ALL MATERIALS AND INSTALLATION ARE TO BE IN ACCORDANCE WITH THE TOWN OF SIMSBURY, CONN. D.O.T. FORM B18, OR CUSTODIAL UTILITY COMPANY SPECIFICATION, AS APPROPRIATE.
6. ALL NEW SITE UTILITIES ARE TO BE INSTALLED UNDERGROUND, UNLESS INDICATED OTHERWISE.
7. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY APPLICABLE REQUIREMENTS. FINAL LOCATION OF UTILITY CONNECTIONS IS SUBJECT TO REVISION BY INDIVIDUAL UTILITY COMPANIES PRIOR TO THE INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. FLOW LINE AND INVERT ELEVATIONS OF ALL STORM AND SANITARY SEWERS MUST BE COORDINATED WITH FINAL ARCHITECTURAL DRAWINGS. NOTIFY DESIGN ENGINEER OF CONFLICTS PRIOR TO START OF CONSTRUCTION.
9. CONNECT ALL ROOF LEADERS AND INTO NEW INFILTRATION SYSTEM.
10. WATER SERVICE AND FIRE SERVICE INSTALLATION IS TO BE COORDINATED WITH CONNECTICUT WATER AND SIMSBURY FIRE DEPARTMENT OFFICIALS PRIOR TO THE START OF WORK BY THE CONTRACTOR.
11. BEFORE THE WATER MAIN OR WATER SERVICE LINES ARE PLACED INTO SERVICE, THEY SHALL BE INSPECTED, FLUSHED, SANITIZED, TESTED AND FOUND TO BE IN COMPLIANCE WITH CONNECTICUT WATER STANDARDS AND SPECIFICATIONS. ALL WORK ON THE SANITARY SEWER SHALL BE IN ACCORDANCE WITH SIMSBURY WPCA.
12. BEFORE THE SANITARY SEWER SYSTEM IS PLACED INTO SERVICE, IT IS TO BE INSPECTED, TESTED AND FOUND TO BE IN COMPLIANCE WITH WPCA REGULATIONS.
13. ALL WORK RELATED TO GAS, ELECTRIC, TELEPHONE AND COMMUNICATION SERVICE SHALL BE IN ACCORDANCE WITH THE CUSTODIAL UTILITY COMPANY STANDARDS AND SPECIFICATIONS.
14. WHEN TRENCHING IS REQUIRED IN TOWN OR STATE R.O.W., BACKFILL AND COMPACT FILL AND CONSTRUCT PAVEMENT REPAIR IN ACCORDANCE WITH TOWN OF SIMSBURY OR CONN. DOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
15. COORDINATE PLACEMENT OF TRANSFORMER AND ROUTING OF UTILITY SERVICE WITH EVERSOURCE OFFICIALS.
16. RELOCATE OR RESET, AS APPROPRIATE, ALL ELECTRIC, TELEPHONE, COMMUNICATION SERVICE HANDHOLES, MANHOLES, PULL BOXES, ETC., AS REQUIRED, FOR COMPLETION OF WORK. COORDINATE RELOCATIONS OR RESETS WITH CUSTODIAL UTILITY COMPANY REPRESENTATIVES.
17. WATER MAIN, WATER SERVICE PIPING, FITTINGS, VALVES, HYDRANTS, CORPORATIONS, ETC. SHALL CONFORM TO CONNECTICUT WATER STANDARDS AND SPECIFICATIONS.



**NOTE:**

ALL OTHER UTILITY SERVICES TO THE NEW EXPANSION VIA INTERNAL UTILITY CONNECTIONS.  
SEE MEP PLANS FOR EXTERNAL EQUIPMENT MODIFICATIONS

**F. A. Hesketh & Associates, Inc.**  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 844-8600  
www.fahesketh.com matrisheketh.com

**FAH**  
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

No.	Date	Revisions: Description

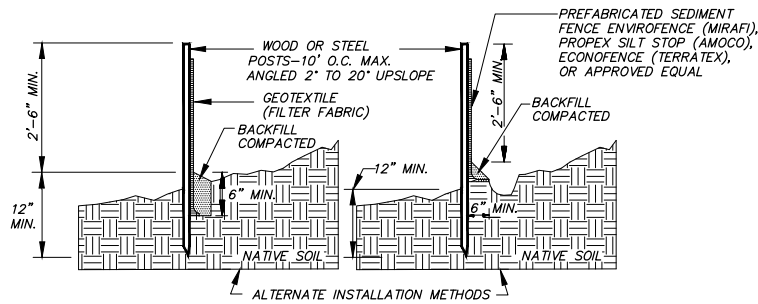
UTILITY PLAN  
PREPARED FOR  
**CURALEAF EXPANSION**  
34 HOPMEADOW STREET  
SIMSBURY, CONNECTICUT

Date: 08-27-2021 Drawn by: ERN Job no: 21126  
Checked by: DSZ Sheet no: 1 OF 1  
Scale: 1" = 30'

**UT-1**

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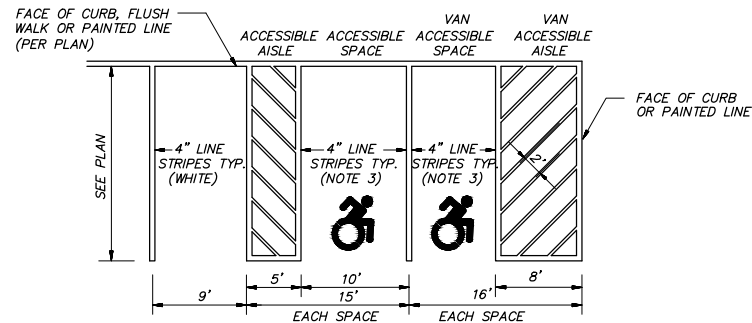




- NOTE:
- WOOD POSTS SHALL BE HARDWOOD 1 1/2" x 1 1/2" x 48" MIN. STEEL POST SHALL BE A MINIMUM OF 0.5 POUNDS PER LINEAR FOOT X 48".
  - JOINTS, WHEN REQUIRED, SHALL BE SPLICED & SECURELY SEALED TOGETHER, AT POST LOCATIONS ONLY, WITH A MINIMUM 6" OVERLAP.

**SEDIMENT FENCE EROSION CONTROL (SFEC)**

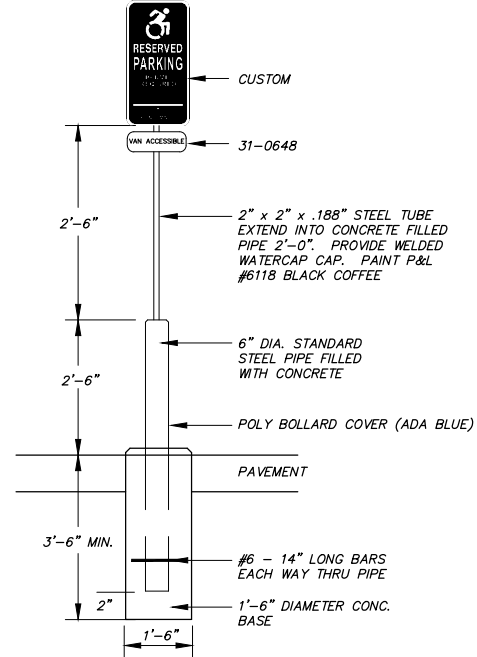
N.T.S.



- NOTES:
- AISLE CONFIGURATION PER PLAN.
  - SIGN/BOLLARD LOCATION PER PLAN.
  - LINE STRIPING COLOR AND ADA SYMBOL SPECIFICS NEED TO COORDINATED WITH ELLINGTON BUILDING INSPECTOR BEFORE INSTALLATION

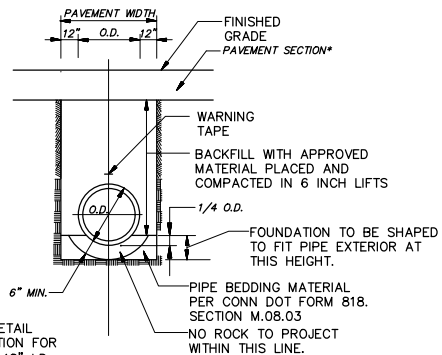
**ACCESSIBLE PARKING SPACE LAYOUT**

N.T.S.



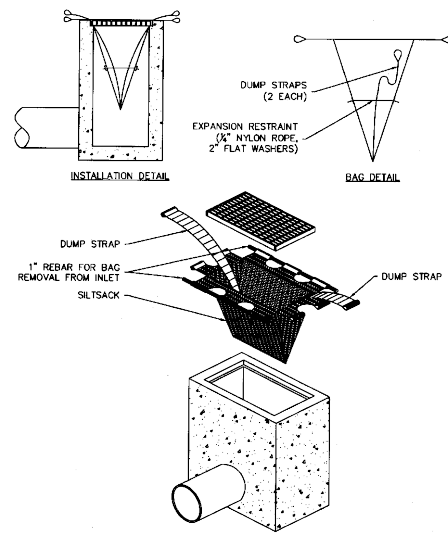
**ACCESSIBLE SPACE SIGN POST/BASE**

N.T.S.



**STORM SEWER TRENCH**

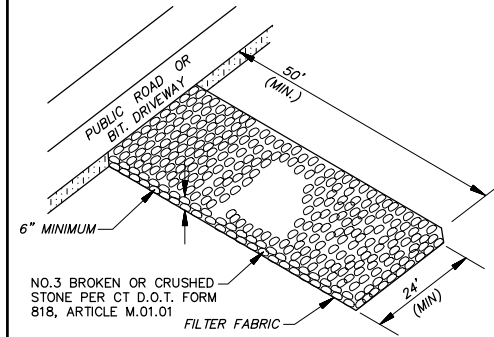
N.T.S.



- INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

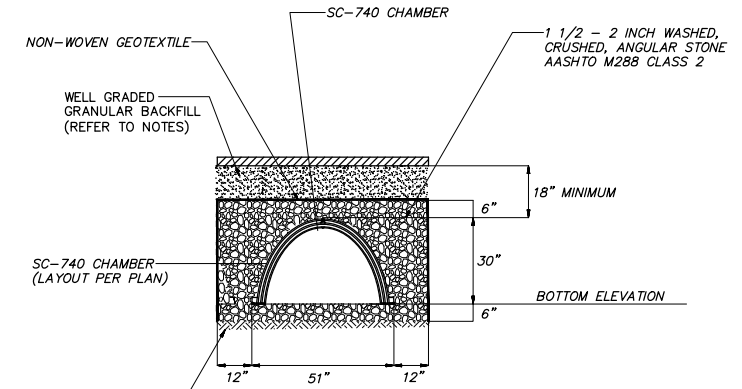
**INLET PROTECTION (IP) [SILT SACK INSERT]**

N.T.S.



**CONSTRUCTION EXIT (CE)**

N.T.S.

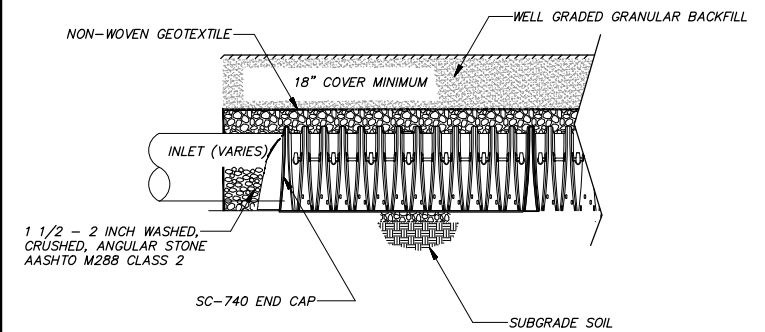


CONTRACTOR IS RESPONSIBLE FOR ENSURING SUITABILITY OF SUBGRADE SOILS REFER TO STORMTECH'S DESIGN MANUAL.

- NOTES:
- WELL GRADED GRANULAR BACKFILL (3-INCH MINUS) CONTAINS AN EVEN DISTRIBUTION OF PARTICLE SIZES WITH NO MORE THAN 12% PASSING THE #200 SIEVE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. REFER TO THE TABLE OF ACCEPTABLE FILL MATERIALS IN STORMTECH'S DESIGN MANUAL, INSTALLATION MANUAL, OR WWW.STORMTECH.COM.

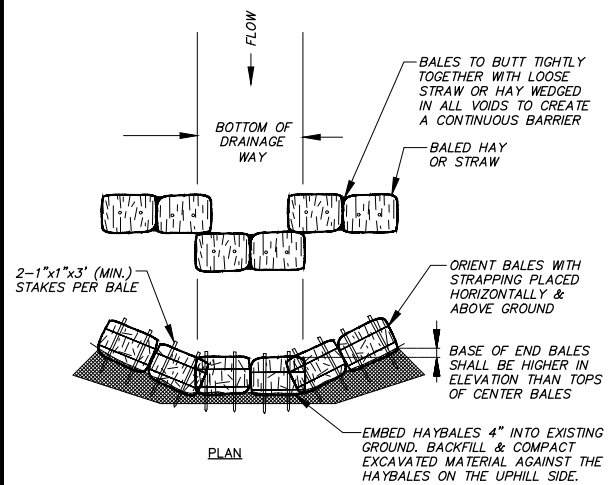
**TYPICAL CROSS SECTION**

N.T.S.



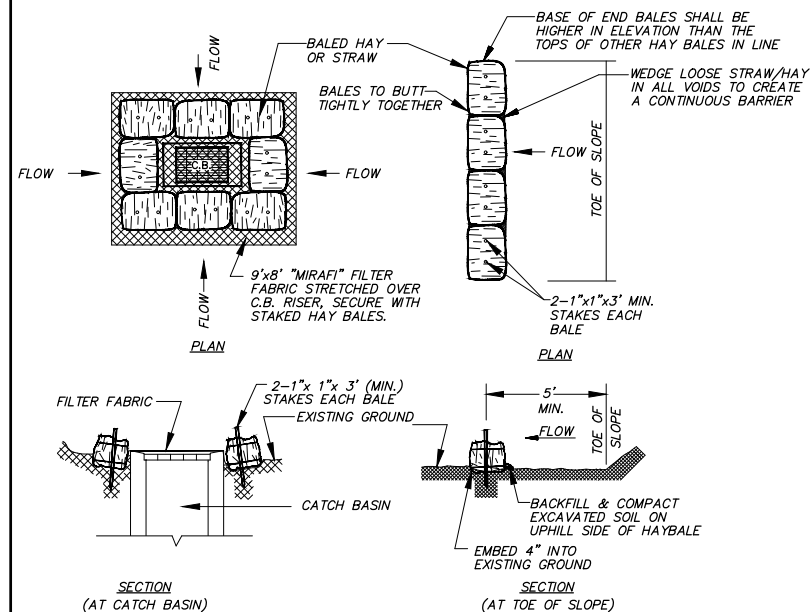
**TYPICAL PROFILE - INLET ROW**

N.T.S.



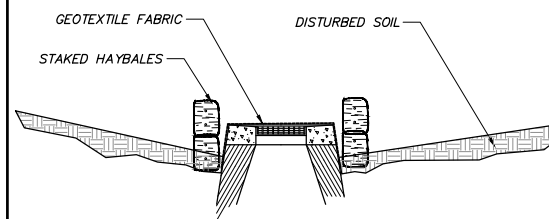
**HAYBALE CHECK DAM (HBCD)**

N.T.S.



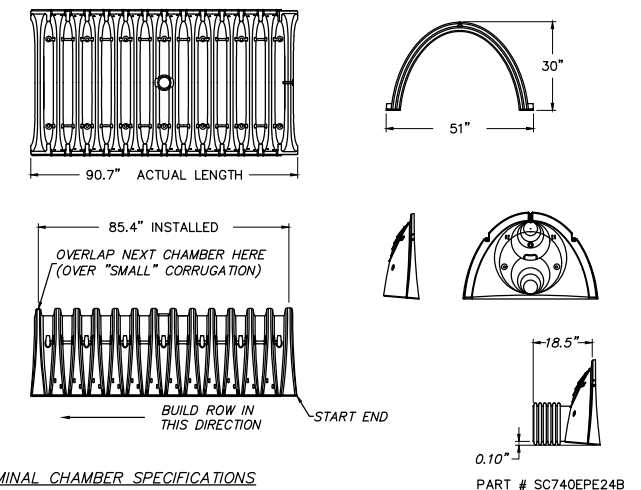
**HAYBALE EROSION CONTROL (HBEC)**

N.T.S.



**TEMP. SEDIMENT TRAP AT CATCH BASIN**

N.T.S.



**NOMINAL CHAMBER SPECIFICATIONS**

- SIZE (W x H x INSTALLED LENGTH) - 51.0" x 30.0" x 85.4"
- CHAMBER STORAGE - 45.9 CUBIC FEET (1.3 m<sup>3</sup>)
- MINIMUM INSTALLED STORAGE - 74.9 CUBIC FEET (2.1m<sup>3</sup>)
- WEIGHT - 75 lbs. (33.6 kg)

**STORMTECH SC-740 CHAMBER SYSTEM**

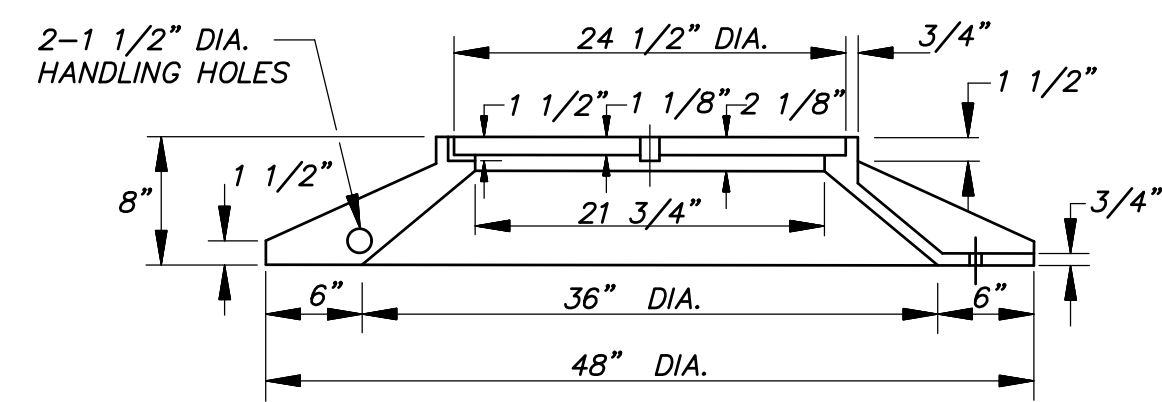
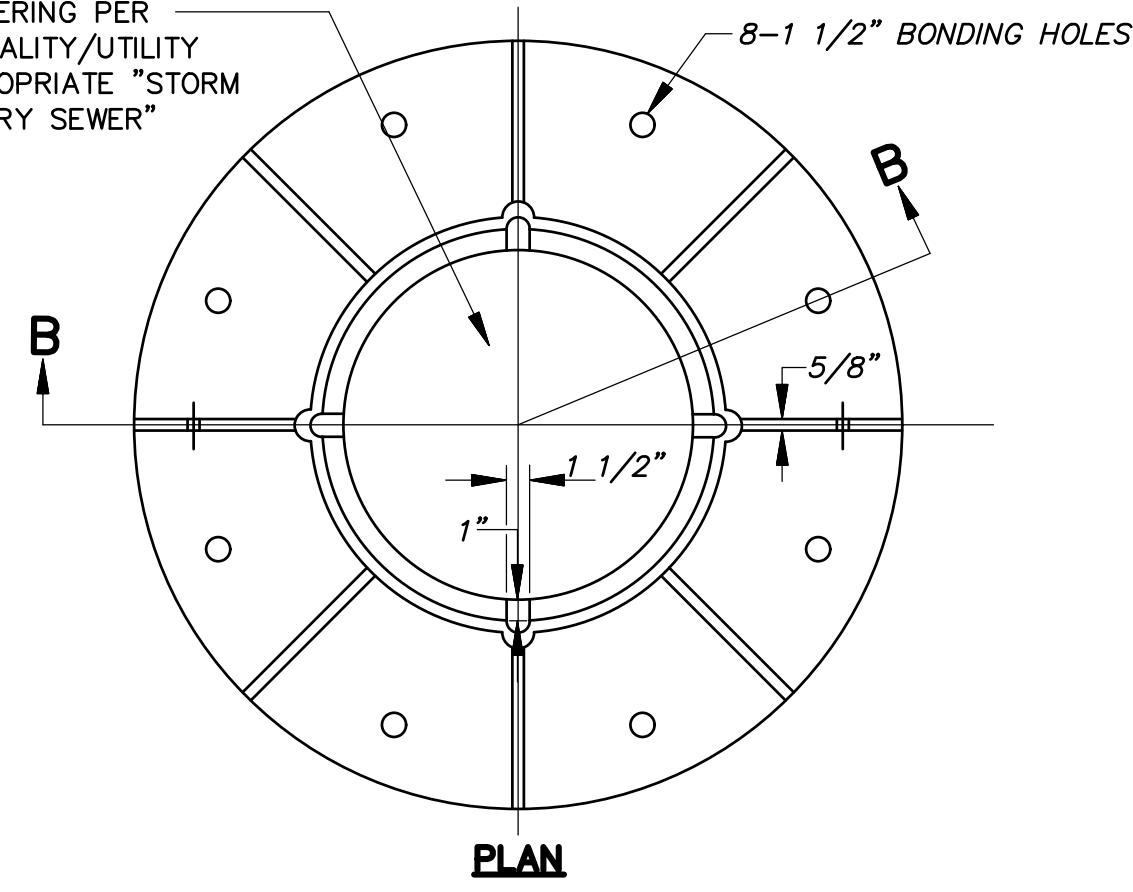
N.T.S.

No.	Date	Description

DETAILS FOR <b>CURALEAF EXPANSION</b> 34 HOPMEADOW STREET SIMSBURY, CONNECTICUT	Drawn by: ERN Job no.: 21126 Checked by: DSZ Sheet no.: 1 OF 3
--	---

Date: 08-27-2021 Scale: N.T.S. Curaleaf Storage Curaleaf	2021-08-27 CUR 30-1 2021-08-27 Aug, 26, 2021 - 2:14:14 PM
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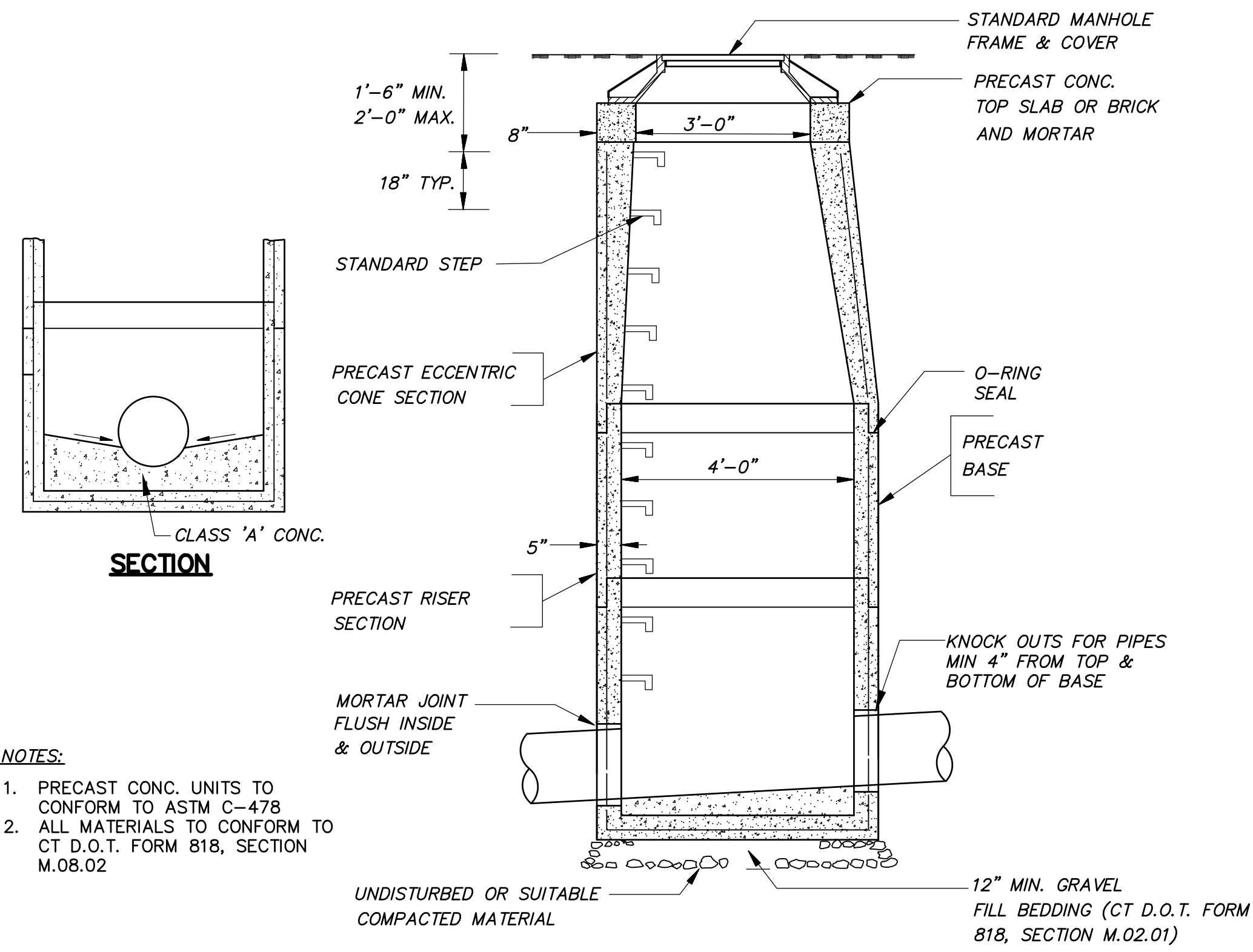
PATTERN AND LETTERING PER GOVERNING MUNICIPALITY/UTILITY COMPANY AS APPROPRIATE "STORM DRAIN" OR "SANITARY SEWER"



SECTION B-B

**STANDARD FRAME & COVER**

N.T.S.



**NOTES:**

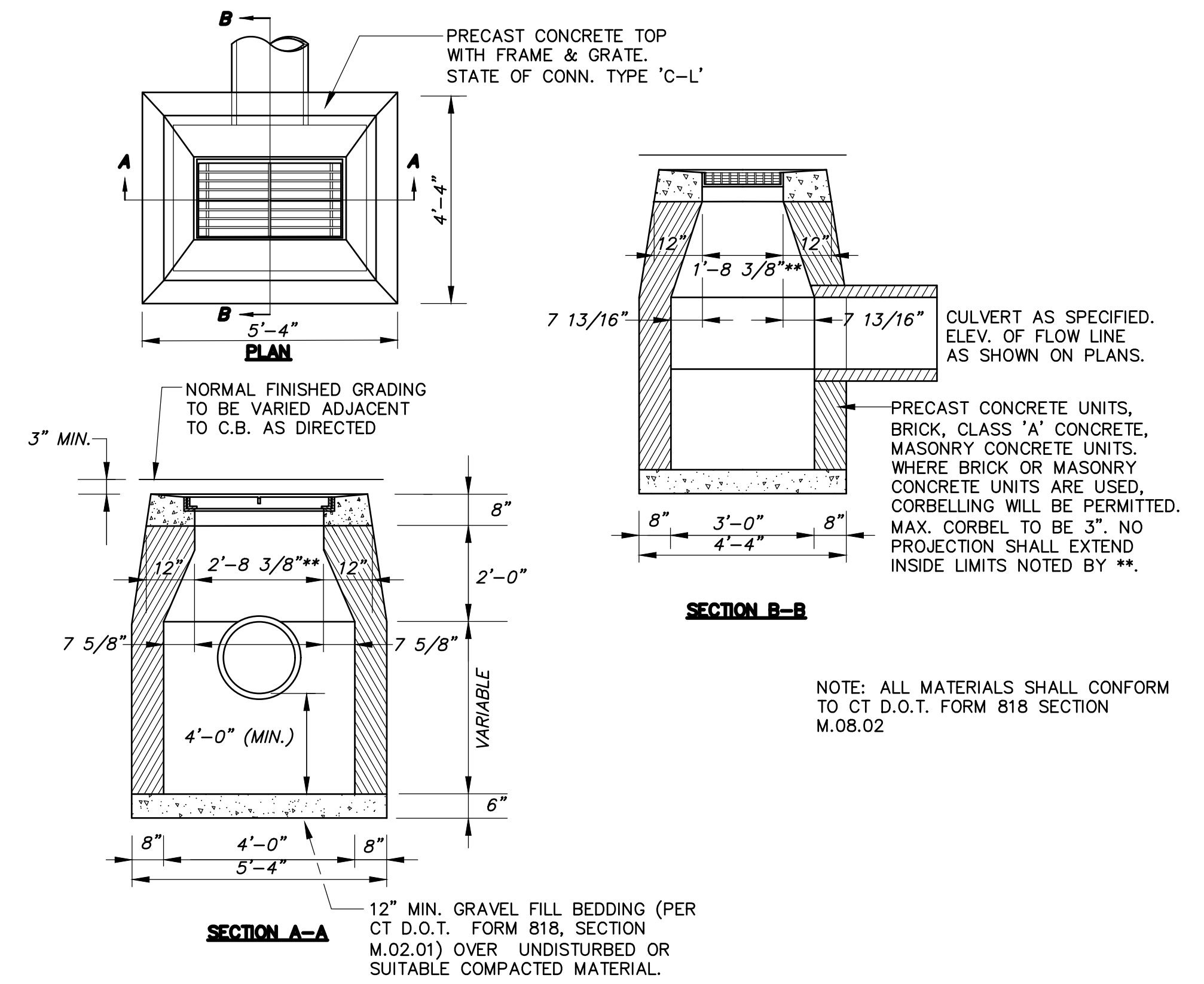
1. PRECAST CONC. UNITS TO CONFORM TO ASTM C-478
2. ALL MATERIALS TO CONFORM TO CT D.O.T. FORM 818, SECTION M.08.02

UNDISTURBED OR SUITABLE COMPACTED MATERIAL

12" MIN. GRAVEL FILL BEDDING (CT D.O.T. FORM 818, SECTION M.02.01)

**STORM SEWER MANHOLE**

N.T.S.



SECTION A-A

SECTION B-B

NOTE: ALL MATERIALS SHALL CONFORM TO CT D.O.T. FORM 818 SECTION M.08.02

**TYPE 'C-L' CATCH BASIN**

N.T.S.

No.	Date	Revisions:
		Description

DETAILS  
 PREPARED FOR  
**CURALEAF EXPANSION**  
 34 HOPMEADOW STREET  
 SIMSEBURY, CONNECTICUT

Date: 08-27-2021 Drawn by: ERN Job no: 21126  
 Checked by: DSZ Sheet no: 2 OF 3  
 Scale: N.T.S.

**SD-2**



**F. A. Hesketh & Associates, Inc.**  
 3 Creamery Brook, East Granby, CT 06026  
 Phone (860) 653-8000 Fax (860) 844-8600  
 www.fahhesketh.com

Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects  
 www.fahhesketh.com







I. PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT SITE IS COMPRISED OF A 25.84 +/- ACRE PROPERTY IDENTIFIED AS ADJUSTED PARCEL 1C ON THE PROPERTY SURVEY, LOCATED ON THE EAST SIDE OF HOPMEADOW STREET - ROUTE 10. THE DEVELOPMENT SITE IS CURRENTLY A PORTION OF A LARGER MASTER PLAN PAD WHICH IS A COMBINATION OF THREE DIFFERENT ENTITIES: THE ACTUAL CURALEAF FACILITY, THE ASPEN GREEN APARTMENT DEVELOPMENT, AND INCORPORATES THE PROPOSED U-STORAGE PROJECT.

THE PROPOSAL INCLUDES AN EXPANSION TO THE MAIN CURALEAF FACILITY. THE BUILDING IS APPROXIMATELY 65,775 S.F. AS IT CURRENTLY STANDS AND THE PROPOSED 41,168 S.F. EXPANSION WOULD BRING THE BUILDING'S TOTAL SQUARE FOOTAGE UP TO 107,000 S.F. THE PROPOSAL ALSO INCLUDES A DELIVERY TRUCK ACCESS DRIVE AND PARKING RE-DELINEATION AS SHOWN. TO HANDLE RUNOFF FROM THE ROOFTOP OF THE NEW BUILDING EXPANSION, ROOF LEADERS WILL TRAVEL TO AN UNDERGROUND STORAGE SYSTEM THAT CONSISTS OF 72 - SC-740 UNITS, AND A CURB-LESS CATCH BASIN FOR OVERFLOW TO THE ADJACENT WETLANDS. THE UNDERGROUND STORAGE SYSTEM AS BEEN DESIGNED TO MEET THE RECOMMENDED CIDEEP WATER QUALITY VOLUME.

THE FACILITY WILL BE SERVED BY EXISTING SANITARY SEWER, FIRE AND DOMESTIC WATER, ELECTRICITY, TELEPHONE AND COMMUNICATION, AND A COMBINATION OF INTERNAL BUILDING CONNECTIONS AND A NEW ELECTRICAL SERVICE FROM HOPMEADOW STREET.

IN GENERAL, THE WORK INCLUDES, BUT IS NOT LIMITED TO:

1. SELECTIVE CLEARING ON SITE.
2. ROUGH GRADING FOR BUILDING CONSTRUCTION.
3. STORM DRAINAGE SYSTEM/ROOF LEADERS AND UNDERGROUND STORAGE UNITS.
4. CONSTRUCTION OF BUILDING FOUNDATION/SLAB.
5. CONSTRUCTION OF BUILDING.
6. INSTALLATION OF PAVEMENT MARKINGS AND REQUIRED SIGNAGE.

II. CONSTRUCTION SEQUENCE:

A DETAILED CONSTRUCTION PHASING PLAN AND SCHEDULE SHALL BE SUBMITTED BY THE CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO THE START OF CONSTRUCTION. THIS PHASING PLAN AND SCHEDULE SHALL INCLUDE ALL MAJOR CONSTRUCTION, TRAFFIC CONTROL, SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THIS PLAN AND SCHEDULE SHALL PROVIDE FOR ALL WORK TO BE COMPLETED WITHIN THE ALLOTTED TIME, SHALL MINIMIZE TRAFFIC AND ENVIRONMENTAL IMPACTS, AND SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL PERMITS AND REGULATIONS.

IN GENERAL, SITE WORK CONSTRUCTION SHALL FOLLOW THE SEQUENCE OUTLINED BELOW:

1. INSTALLATION OF EROSION CONTROL DEVICES.
2. CLEARING AND GRUBBING.
3. DEMOLITION OF EXISTING STRUCTURES AS REQUIRED.
4. ROUGH GRADING AND EXCAVATION/PREPARATION FOR BUILDING FOUNDATION/SLAB.
5. CONSTRUCTION OF STORM DRAINAGE SYSTEM, AND UNDERGROUND STORAGE UNITS.
6. FINAL STABILIZATION OF DISTURBED AREAS, INSTALLATION OF LANDSCAPE MATERIALS, PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS.
7. REMOVAL OF TEMPORARY EROSION CONTROL DEVICES.
8. IT IS ANTICIPATED THAT CONSTRUCTION WILL BEGIN IN THE FALL OF 2021 AND BE COMPLETED BY SUMMER OF 2022.

III. GENERAL NOTES:

1. EXISTING TOPOGRAPHY TAKEN FROM A MAP ENTITLED "EXISTING CONDITIONS SURVEY", PREPARED FOR CURALEAF EXPANSION, 34 HOPMEADOW STREET, SIMSBURY, CONNECTICUT" BY F.A. HESKETH & ASSOCIATES, INC., DATED 06-08-2021, REVISED 08-27-2021, AND A COMPILATION PLAN ENTITLED "COMPILATION PLAN, LOT LINE ADJUSTMENT PLAN", PREPARED FOR INFINITY IV, LLC, 34 HOPMEADOW STREET, SIMSBURY, CONNECTICUT, DATED 08-27-2021.
2. ALL WORK AND MATERIALS TO CONFORM TO THE SPECIFICATIONS, DOT FORM 818, TOWN OF SIMSBURY SPECIFICATIONS, CUSTODIAL UTILITY COMPANY SPECIFICATIONS, AND THE DETAILS SHOWN ON THESE PLANS, AS APPLICABLE.
3. PRIOR TO ANY EXCAVATION THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING "CALL BEFORE YOU DIG" 1-800-922-4455 AT LEAST 48 HOURS IN ADVANCE.
4. THE LOCATION OF ALL UTILITIES SHOWN IS APPROXIMATE AND IS BASED UPON AVAILABLE AS-BUILT INFORMATION FROM UTILITY COMPANY RECORDS, THE PROPERTY OWNER, AND LIMITED SURVEY DATA. NOT ALL UTILITIES MAY BE SHOWN, AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES ON THE SITE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY AND NOTIFYING THE SITE DESIGN ENGINEER OR ARCHITECT, AS APPLICABLE, OF ANY ADJUSTMENTS TO THE PLANS WHICH ARE NECESSARY. TEST PITS WILL BE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS IN ORDER TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND TO IDENTIFY POTENTIAL CONFLICTS WITH VERTICAL AND HORIZONTAL ALIGNMENTS SHOWN ON THE PLANS. TEST PITS SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.
5. ALL UTILITIES TO BE INSTALLED, RELOCATED, AND/OR PROTECTED IN ACCORDANCE WITH UTILITY COMPANY STANDARDS, AS APPLICABLE, AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. FINAL LOCATION OF UTILITY CONNECTIONS OR METHODS OF PROTECTION ARE SUBJECT TO REVISION BY INDIVIDUAL UTILITY COMPANIES PRIOR TO THE INSTALLATION OR IMPLEMENTATION OF PROTECTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK WITH THE APPLICABLE UTILITY COMPANIES, FOR COORDINATING UTILITY CONNECTIONS OR RELOCATIONS WITH THE SITE WORK AND BUILDING CONSTRUCTION, AND COORDINATING THE PROTECTION OF ALL UTILITIES NECESSARY TO PERFORM THE WORK SHOWN ON THE PLANS. COORDINATION ACTIVITIES SHALL BE SCHEDULED AND TAKE PLACE PRIOR TO THE START OF CONSTRUCTION ACTIVITIES EFFECTING THE UTILITIES INSTALLATION, REPLACEMENT, AND/OR PROTECTION.
6. INSTALLATION OF UTILITIES SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE PLANS, BOTH IN VERTICAL AND HORIZONTAL ALIGNMENTS, UNLESS SPECIFICALLY APPROVED BY THE SITE ENGINEER.
7. A PRE-CONSTRUCTION MEETING AND AUTHORIZATION TO PROCEED WILL BE REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION, INCLUDING REMOVAL OF TREES AND/OR DEMOLITION ACTIVITIES. PROCEDURES FOR SUCH PRE-CONSTRUCTION MEETING AND AUTHORIZATION TO PROCEED SHALL BE IN ACCORDANCE WITH TOWN AND STATE REQUIREMENTS.
8. PRIOR TO CONSTRUCTION, THE TOWN PLANNING & DEVELOPMENT DEPARTMENT SHALL BE CONTACTED AT (860) 658-3228, TO INSPECT THE INSTALLATION OF EROSION CONTROL MEASURES.
9. ALL WORK ON THIS PROJECT SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF THE VARIOUS FEDERAL, STATE, AND LOCAL PERMITS ISSUED FOR THIS PROJECT.
10. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLAN, SPECIFICATIONS, THE EROSION AND SEDIMENTATION CONTROL NOTES, AND APPLICABLE STATE AND LOCAL REQUIREMENTS.
11. NO STUMPS OR OTHER DELETERIOUS MATERIALS ARE TO BE BURIED ON THE SITE.
12. ALL DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
13. DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SO AS NOT TO CAUSE FLOODING OF ROADWAYS OR DAMAGE TO PRIVATE PROPERTY.
14. TRAFFIC CONTROL OPERATIONS SHALL BE CONDUCTED TO THE SATISFACTION OF THE TOWN AND STATE OFFICIALS.
15. WORK WITHIN THE STATE HIGHWAY RIGHT OF WAY REQUIRES AND ENCROACHMENT PERMIT FROM THE CT. D.O.T. DISTRICT 4. THE CONTRACTOR IS RESPONSIBLE FOR PROCURING THE PERMIT PRIOR TO THE START OF CONSTRUCTION.
16. PERIMETER SITE LIGHTING SHALL BE DIRECTED AWAY FROM ABUTTERS PROPERTY.

CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES

Refer to the "Connecticut Guidelines For Soil Erosion And Sediment Control - 2002" (see Erosion and Sediment Control Note 3) when constructing erosion control devices shown on this plan.

All of the control devices listed below may not be indicated on the initial SE&SC Plans and may not be necessary on a specific project. The Contractor shall utilize these devices, and others as necessary, as the project proceeds and as conditions warrant.

CE - CONSTRUCTION EXIT: a broken stone pad providing a hard surface point where vehicles will leave the site. The construction exits reduce tracking of sediment into adjacent pavement. Excess sediment should be periodically removed from the stone surface.

DB - DETENTION BASIN: An impoundment made by constructing a dam or an embankment (embankment detention basin), or by excavating a pit or dugout (excavated detention basin). Basins resulting from both excavation and embankment construction are classified as embankment detention basins where the depth of water impounded against the embankment at emergency spillway elevation is three feet or more.

DC - DUST CONTROL: The control of dust with water or calcium chloride.

DWM - DEWATERING EARTHEN MATERIALS: A procedure that uses a perimeter earthen berm and excavation to create a containment area where excessively wet soil is placed to allow for the draining of water or evaporation of excessive moisture.

ECB - EROSION CONTROL BLANKET: A manufactured blanket composed of biodegradable / photodegradable natural or polymer fibers and/or filaments that have been mechanically, structurally or chemically bound together to form a continuous matrix.

FD - FOUNDATION DEWATERING: A excavated area, surrounded by hay bales for receiving ground water pumped from foundation excavations. If the pumped water includes significant sediment loads use a Pump Settling Basin.

HBCD - HAY BALE CHECK DAMS: shall be staked in a single row perpendicular to the flow along the bottom and sides of drainage ditches and channels or in other locations where runoff is concentrated. Check dams shall be installed at 100' intervals unless indicated otherwise. Silt must be removed and haybales replaced periodically.

HBEC - HAYBALE EROSION CHECKS shall be staked a minimum of five (5) feet from the base of disturbed slopes exceeding eight (8) feet in height, or at locations shown on the plans. Place haybales before starting a fill slope and after digging a cut slope. Heel haybales 4" into the soil. Remove all sediment when deposits reach 1/2 bale height. Haybales must be replaced periodically.

IP - CATCH BASINS INLET PROTECTION: Staked haybales around the perimeter of catch basins or silt sacks installed within the catch basin.

LG - LAND GRADING: Reshaping of the ground surface by excavation or filling or both, to obtain planned grades.

LP - LANDSCAPE PLANTING: Planting trees, shrubs, or ground covers for stabilization of disturbed areas.

MS - MULCH FOR SEED: Application of a mulch that will protect the soil surface on a temporary basis and promote the establishment of temporary or permanent seedings.

PS - PERMANENT SEEDING: Establishment of permanent stand of grass and/or legumes by seeding and mulching exposed soils with a seed mixture appropriate for long term stabilization.

PSB - PUMPING SETTLING BASIN: An enclosed sediment barrier or excavated pit constructed with a stable inlet and outlet such that sediment laden water from pumping operations is de-energized and temporarily stored, allowing sediments to be settled and/or filtered out before being released from the construction site.

RRPP - RIP RAP PLUNGE POOL: a riprap lined apron installed at a zero percent grade to absorb the initial impact of stormwater discharge from the storm drainage system and further reduce flow velocities to prevent erosion downstream.

RRSW - RIP RAP SWALE: a swale with rip rap lining installed to absorb the energy of flowing stormwater and reduce flow velocities to prevent erosion of the channel.

SCD - STONE CHECK DAM: A temporary or permanent stone dam placed across a drainage-way.

SD - SUBSURFACE DRAINS: Used in areas having a high water table where benefits of lowering or controlling groundwater or surface runoff are desired. Where soil permeability is sufficient to permit installation of an effective and economically feasible system.

SFB - STONE FILTER BERM: A temporary or permanent stone filter placed across a drainage-way or discharge area designed to slow flow and filter sediment.

SFEC - SEDIMENT FENCE EROSION CHECK: a synthetic textile barrier designed to filter sediment from surface water runoff. Placement shall be similar to HBEC and installation requires anchoring the fence bottom to prevent bypass. All sediment shall be removed if deposits reach one (1) foot in depth. Additional support (such as snow fence or wire fence) on the downhill face may be required to strengthen sediment fence in high flow locations.

TD - TEMPORARY DIVERSION: A temporary channel with a berm of tamped or compacted soil placed in such a manner so as to divert flows.

TO - TOPSOILING: The application of topsoil to promote the growth of vegetation following the establishment of final grades.

TP - TREE PROTECTION: The protection of trees to remain by surrounding with silt fence or construction fence. The fence should be placed approximately at the drip line of the tree.

TS - TEMPORARY SEEDING: Establishment of a temporary stand of grass and/or legumes by seeding and mulching exposed soils with a seed mixture appropriate for long term stabilization.

TSP - TEMPORARY SLOPE PROTECTION: Application of a degradable material that will protect the soil surface on a temporary basis with the intention of promoting plant growth

TSS - TEMPORARY SOIL STOCKPILE: Temporary location of stockpiled topsoil. Locations shall generally be on level ground away from drainage-ways and shall be ringed with silt fence and/or haybales. Stockpile shall be seeded if it remains in place for more than 30 days.

TST - TEMPORARY SEDIMENTATION TRAP: A temporary ponding area with a stone outlet formed by excavation and/or constructing an earthen embankment to detain sediment-laden runoff from small disturbed areas long enough to allow a majority of the sediment to settle out.

TRM - PERMANENT TURF REINFORCEMENT MAT: A manufactured mat composed of non-biodegradable polymer or synthetic fibers mechanically, structurally or chemically bound together to form a continuous matrix.

LONG TERM STORMWATER SYSTEM AND OVERALL SITE MAINTENANCE PLAN

IT IS IMPORTANT THAT A LONG TERM MAINTENANCE PLAN BE IMPLEMENTED AND EXECUTED THROUGHOUT THE LIFE OF THE FACILITY.

STORMWATER SYSTEM

1. MAINTENANCE OF THE ON-SITE STORM WATER SYSTEM IS THE RESPONSIBILITY OF THE PROPERTY OWNER. THIS INCLUDES ALL CATCH BASINS, YARD DRAINS, PIPING, MANHOLES, WATER QUALITY BASIN, INFILTRATOR UNITS, ROOF LEADERS AND THE DRAINAGE PIPES.
2. THE FOLLOWING SCHEDULE OF MAINTENANCE SHALL BE FOLLOWED:

A. IN GENERAL, GOOD HOUSEKEEPING PRACTICES SHALL BE INCORPORATED INTO THE ROUTINE SITE AND FACILITY MAINTENANCE PLAN TO MINIMIZE DEPOSITION OF SEDIMENT, LITER AND CONTAMINANTS INTO THE STORM DRAINAGE SYSTEM.

B. PAVED PARKING AND LOADING AREAS AND WALKS SHALL BE SWEEPED OF DEBRIS, SAND, AND LITTER AT LEAST TWICE ANNUALLY, IN PARTICULAR, LATE SPRING AFTER WINTER SANDING OPERATIONS, AND IN LATE FALL AFTER LEAF LITTER CLEANUP.

C. CATCH BASINS, INFILTRATOR UNITS, AND THE WATER QUALITY BASIN SHALL BE INSPECTED SEMIANNUALLY, FOLLOWING SPRING AND FALL SITE CLEANUP. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED AND DISPOSED OF TO APPROVED OFF-SITE LOCATIONS.

3. MAINTENANCE RECORDS DOCUMENTING SYSTEM INSPECTIONS AND CLEANING OPERATIONS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BE MADE AVAILABLE FOR INSPECTION BY THE TOWN AS REQUESTED.

No.	Date	Description

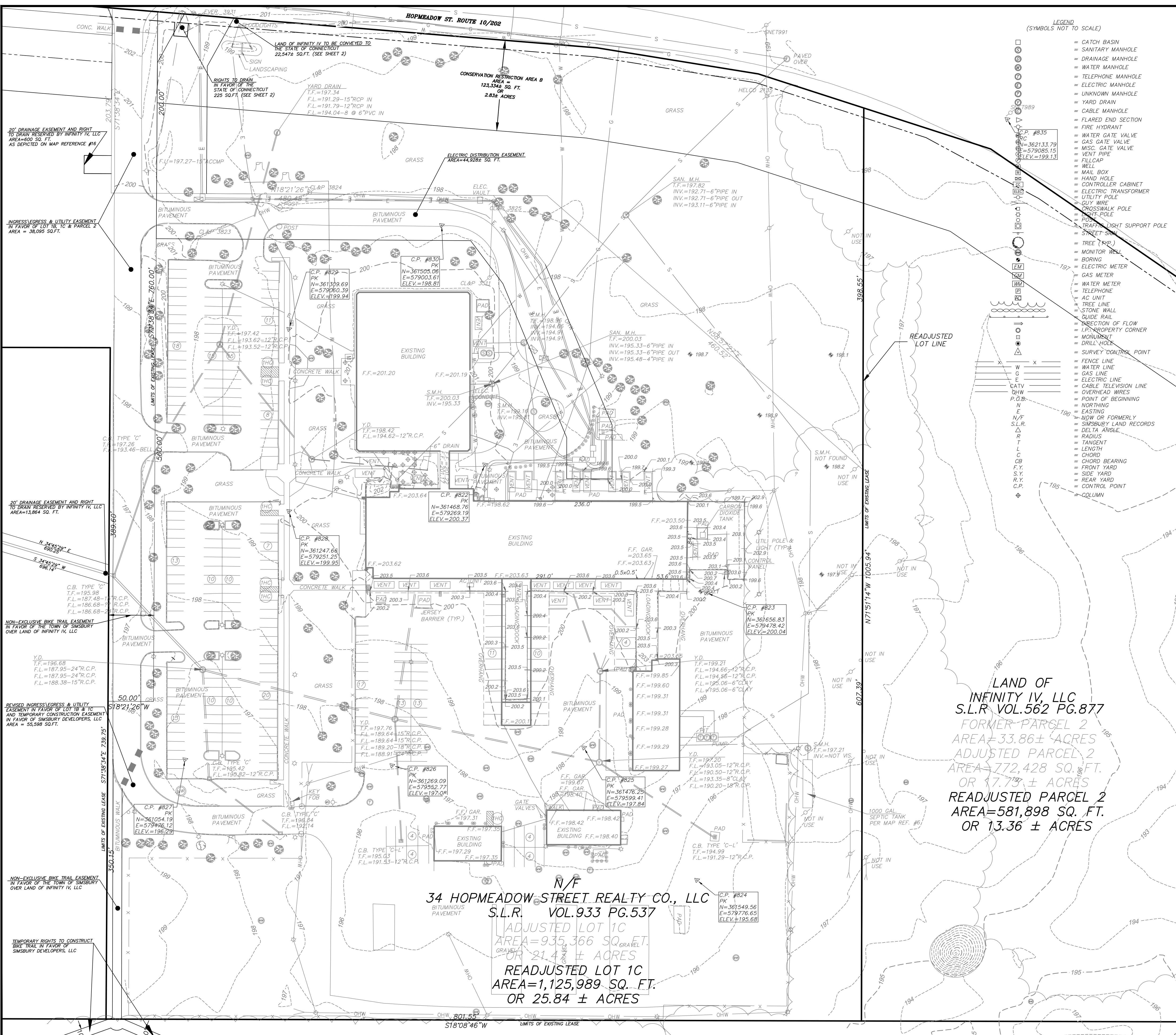
NOTES  
PREPARED FOR  
**CURALEAF EXPANSION**  
34 HOPMEADOW STREET  
SIMSBURY, CONNECTICUT

Date: 08-27-2021 Drawn by: ERN Job no: 21126  
Checked by: DSZ Sheet no: 1 OF 1  
Scale: NTS

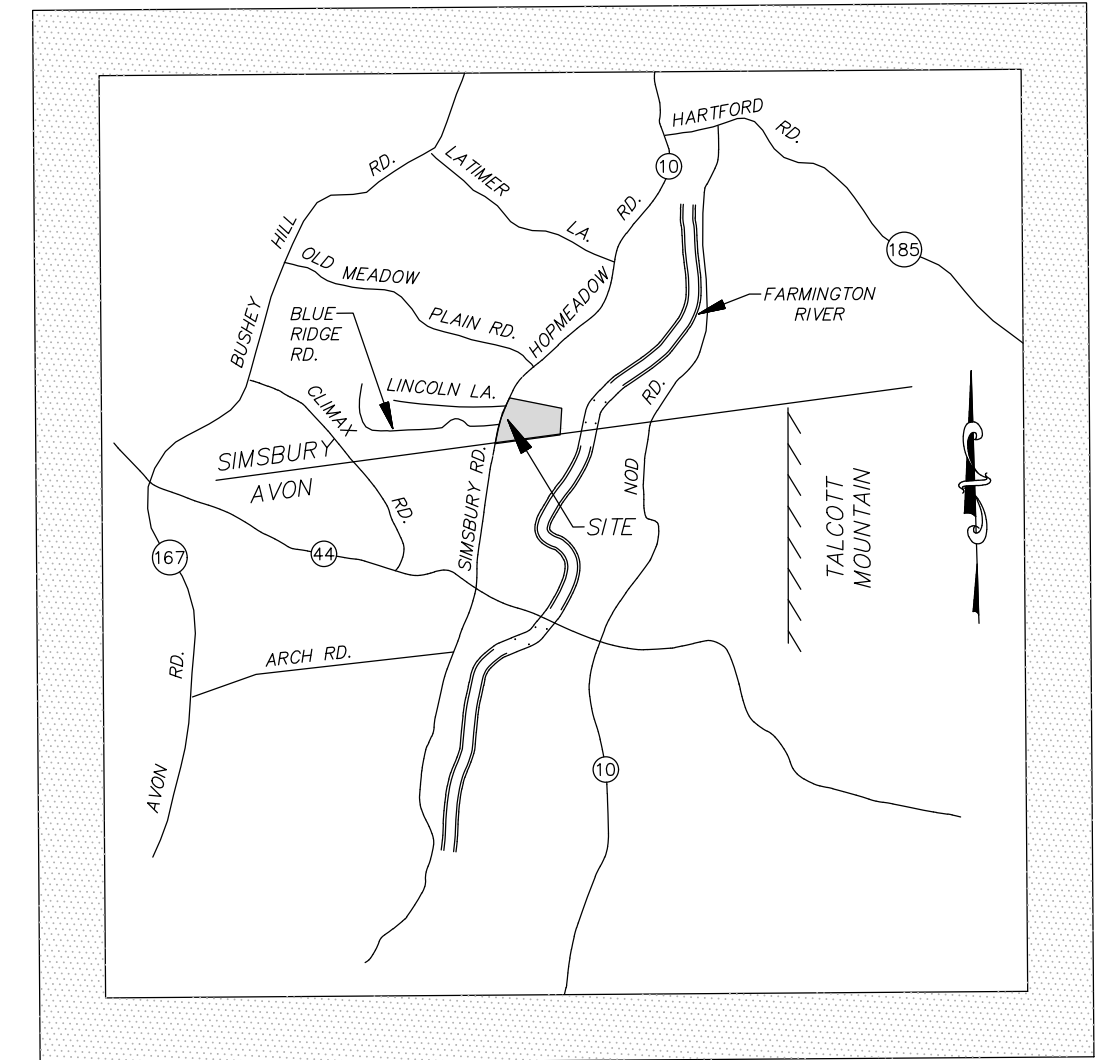
NT-1

**FAH**  
F. A. Hesketh & Associates, Inc.  
3 Creamery Brook, East Granby, CT 06026 · 146 N W Broad Street, Southern Pines, NC 28887  
Phone (860) 653-8000 · Fax (860) 844-9800 · Phone (910) 692-2844 · Fax (910) 692-3356  
Civil & Traffic Engineers · Planners · Landscape Architects · www.fahhesketh.com · malfahhesketh.com





- LEGEND (SYMBOLS NOT TO SCALE)
- = CATCH BASIN
  - = SANITARY MANHOLE
  - = DRAINAGE MANHOLE
  - = WATER MANHOLE
  - = TELEPHONE MANHOLE
  - = ELECTRIC MANHOLE
  - = UNKNOWN MANHOLE
  - = YARD DRAIN
  - = CABLE MANHOLE
  - = FLARED END SECTION
  - = FIRE HYDRANT
  - = WATER GATE VALVE
  - = GAS GATE VALVE
  - = MISS. GATE VALVE
  - = VENT PIPE
  - = FILLCAP
  - = MAIL BOX
  - = HAND HOLE
  - = CONTROLLER CABINET
  - = ELECTRIC TRANSFORMER
  - = UTILITY POLE
  - = GUY WIRE
  - = CROSSWALK POLE
  - = NIGHT POLE
  - = POWER LIGHT SUPPORT POLE
  - = STREET SIGN
  - = TREE (R.F.P.)
  - = MONITOR WELL
  - = BORING
  - = ELECTRIC METER
  - = GAS METER
  - = WATER METER
  - = TELEPHONE
  - = AC UNIT
  - = TREE LINE
  - = STONE WALL
  - = GUIDE RAIL
  - = DIRECTION OF FLOW
  - = I.P. PROPERTY CORNER
  - = MONUMENT
  - = DRILL VIOLE
  - = SURVEY CONTROL POINT
  - = FENCE LINE
  - = WATER LINE
  - = GAS LINE
  - = ELECTRIC LINE
  - = CABLE TELEVISION LINE
  - = OVERHEAD WIRES
  - = POINT OF BEGINNING
  - = NORTHING
  - = EASTING
  - = NOW OR FORMERLY
  - = SIMSBURY LAND RECORDS
  - = DELTA ANGLE
  - = RADIUS
  - = TANGENT
  - = LENGTH
  - = CHORD
  - = CHORD BEARING
  - = FRONT YARD
  - = SIDE YARD
  - = REAR YARD
  - = S.Y.
  - = R.Y.
  - = C.P.
  - = COLUMN



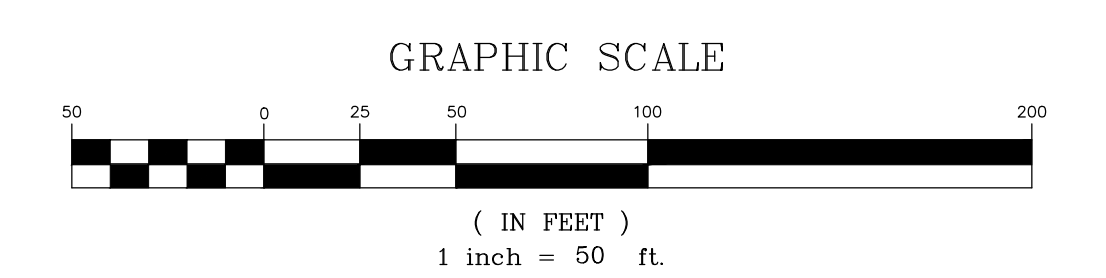
VICINITY MAP (NOT TO SCALE)

- NOTES:
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
  2. IT IS AN EXISTING CONDITIONS SURVEY INTENDED TO BE USED FOR PLANNING PURPOSES.
  3. PROPERTY & EASEMENT LINES DEPICTED HEREON CONFORM TO THE RESURVEY BOUNDARY CATEGORY AND ARE DEPENDENT IN NATURE BASED UPON REFERENCED MAP. LAND RECORDS NOT RESEARCHED FOR PURPOSES OF THIS SURVEY.
  4. THIS SURVEY CONFORMS TO CLASS A-2 HORIZONTAL AND T-2 TOPOGRAPHIC ACCURACY STANDARDS.
  5. THE SUBJECT PROPERTY IS CURRENTLY OWNED BY 34 HOPMEADOW STREET REALTY CO LLC SIMSBURY LAND RECORDS VOL. 933 PG. 537.
  6. BEARINGS AND COORDINATES DEPICTED HEREON REFER TO 1927 NORTH AMERICAN DATUM (NAD 27). CONNECTICUT GEODETIC SURVEY STATION TM 4-209 NORTHING = 363,714.74 EASTING = 580,691.94 AND STATION CTGS 762X NORTHING = 364,777.46 EASTING = 581,631.82 WERE USED FOR REFERENCE.
  7. ELEVATIONS DEPICTED HEREON REFER TO ABRAMS AERIAL SURVEY CORP. SURVEY CONTROL DATA MARK J-209 ELEVATION=185.56 PURPORTED TO REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
  8. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PAROL TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

- MAP REFERENCES:
1. COMPILATION PLAN LOT LINE ADJUSTMENT PLAN PREPARED FOR INFINITY IV, LLC 34 HOPMEADOW STREET (ROUTE 10) SIMSBURY, CONNECTICUT DATE 07-16-2018 SCALE 1"=100' BY F.A. HESKETH & ASSOCIATES, INC.
  2. SUBDIVISION PLAN LOT 1A PROPERTY OF INFINITY IV, LLC 34 HOPMEADOW STREET (ROUTE 10) SIMSBURY, CONNECTICUT DATE 02-25-2015 SCALE 1"=100' REV. 1 04-20-2015 APPROVAL COMMENTS BY F.A. HESKETH & ASSOCIATES, INC.
  3. FILE NO. EB142 COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY D.B.A. EVERSOURCE ENERGY ACROSS THE PROPERTIES OF 34 HOPMEADOW STREET REALTY CO, LLC & INFINITY IV, LLC 34 HOPMEADOW STREET SIMSBURY, CONNECTICUT DATE 03-07-2019 SCALE 1"=40' BY F.A. HESKETH & ASSOCIATES, INC.
  4. COMPILATION PLAN CONSERVATION RESTRICTION AREAS ON LANDS OF INFINITY IV, LLC 34 HOPMEADOW STREET (ROUTE 10) LOT 1B SIMSBURY, CONNECTICUT DATE 02-25-2015 SCALE 1"=80' REV. 4 11-17-2015 FINAL COMMENTS BY F.A. HESKETH & ASSOCIATES, INC.
  5. ALTA/ACSM LAND TITLE SURVEY PROPERTY SURVEY PREPARED FOR SIMSBURY DEVELOPERS, LLC 34 HOPMEADOW STREET (ROUTE 10) LOT 1B SIMSBURY, CONNECTICUT DATE 02-25-2015 SCALE 1"=80' REV. 4 11-17-2015 FINAL COMMENTS BY F.A. HESKETH & ASSOCIATES, INC.
  6. ADDITIONS AND ALTERATIONS TO SIMSBURY SERVICE CENTER NORTHEAST UTILITIES SERVICES CO. FOR THE CONNECTICUT LIGHT & POWER CO. SIMSBURY SERVICE CENTER SITE GRADING, DRAINAGE & SANITARY PLAN DATE NOV. 1, 1982 SCALE 1"=40'

LAND OF INFINITY IV, LLC  
S.L.R. VOL.562 PG.877  
FORMER PARCEL 2  
AREA=33.86 ± ACRES  
ADJUSTED PARCEL 2  
AREA=772,428 SQ. FT.  
OR 17.77 ± ACRES  
READJUSTED PARCEL 2  
AREA=581,898 SQ. FT.  
OR 13.36 ± ACRES

34 HOPMEADOW STREET REALTY CO., LLC  
S.L.R. VOL.933 PG.537  
ADJUSTED LOT 1C  
AREA=935,366 SQ. FT.  
OR 21.4 ± ACRES  
READJUSTED LOT 1C  
AREA=1,125,989 SQ. FT.  
OR 25.84 ± ACRES



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE NAME APPEARS HEREON.

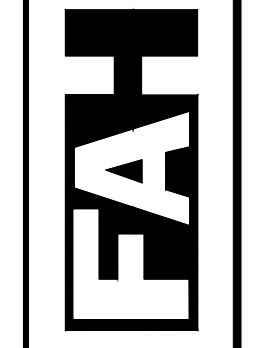
TODD S. HESKETH LS 17945

No.	Date	Description
1	08-16-2021	MODIFY LEASE LINE

EXISTING CONDITIONS SURVEY  
PREPARED FOR  
**CURALEAF EXPANSION**  
34 HOPMEADOW STREET  
PORTION OF ADJUSTED LOT 1C  
SIMSBURY, CONNECTICUT  
Date: 08-27-2021 Drawn by: BAB Job no: 98126  
Checked by: TSH Sheet no: 1 OF 1  
Scale: 1" = 50'

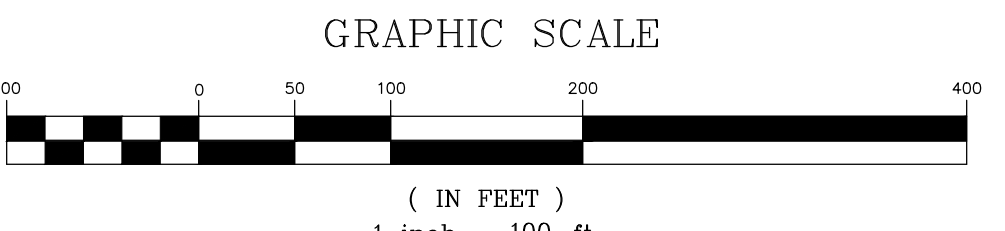
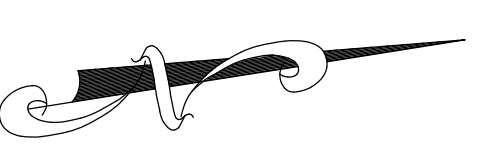
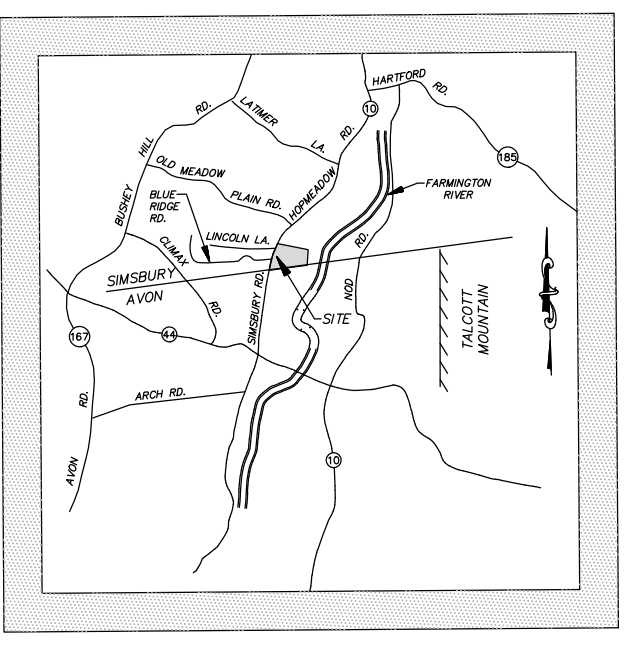
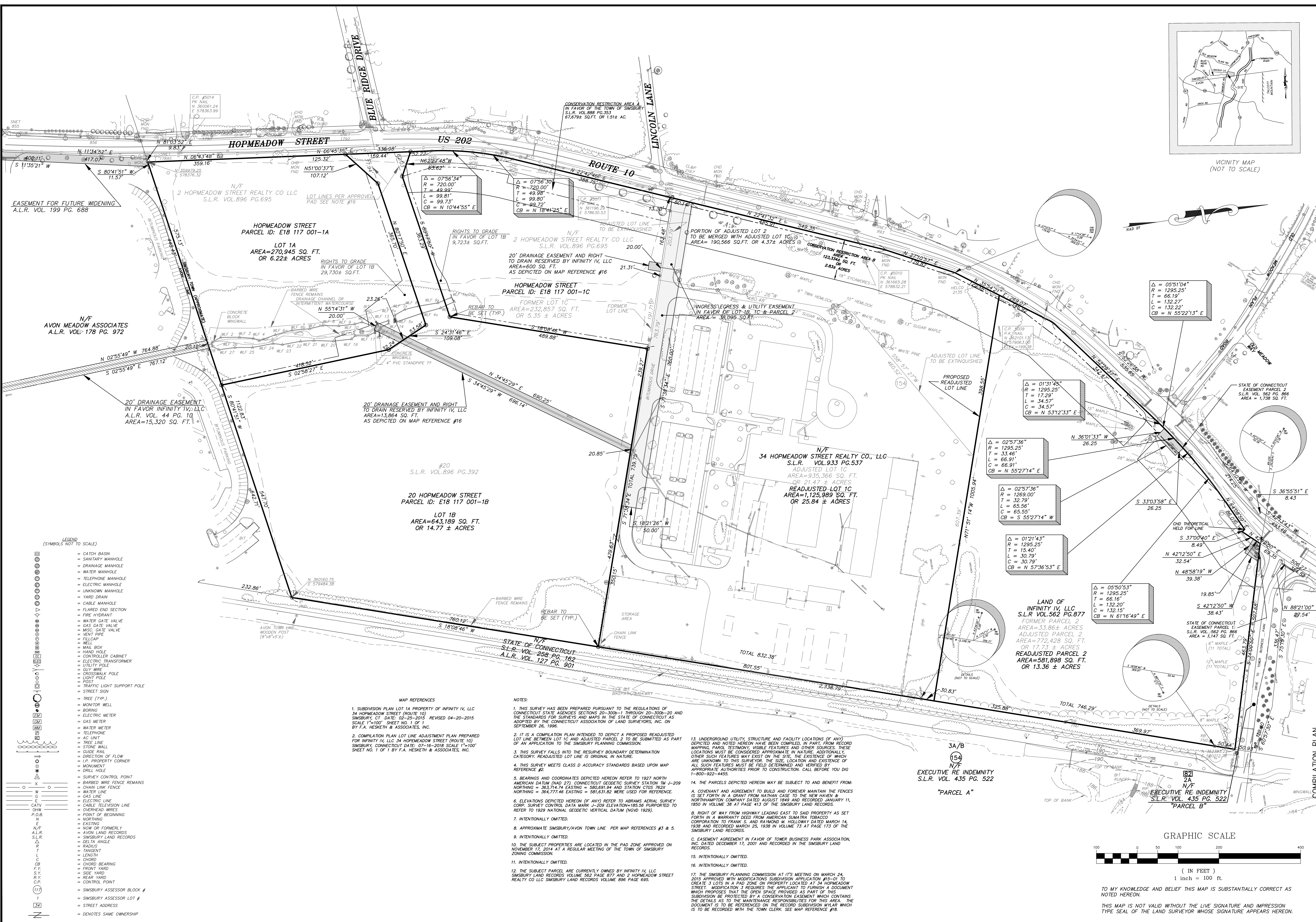
**S-1**

F. A. Hesketh & Associates, Inc.  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 644-8600  
www.fahsketh.com malfrank@fahsketh.com



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- LEGEND (SYMBOLS NOT TO SCALE)**
- = CATCH BASIN
  - = SANITARY MANHOLE
  - = DRAINAGE MANHOLE
  - = WATER MANHOLE
  - = TELEPHONE MANHOLE
  - = ELECTRIC MANHOLE
  - = UNKNOWN MANHOLE
  - = YARD DRAIN
  - = CABLE MANHOLE
  - = FLARED END SECTION
  - = FIRE HYDRANT
  - = WATER GATE VALVE
  - = MISC. GATE VALVE
  - = VENT PIPE
  - = FLESHOOP
  - = WELL
  - = MAIL BOX
  - = HAND HOLE
  - = CONTROLLER CABINET
  - = ELECTRIC TRANSFORMER
  - = UTILITY POLE
  - = LIGHT POLE
  - = CROSSWALK POLE
  - = POST
  - = TRAFFIC LIGHT SUPPORT POLE
  - = STREET SIGN
  - = TREE (TYP.)
  - = MONITOR WELL
  - = BORING
  - = ELECTRIC METER
  - = GAS METER
  - = WATER METER
  - = TELEPHONE
  - = AC UNIT
  - = TREE LINE
  - = STONE WALL
  - = GUIDE RAIL
  - = DIRECTION OF FLOW
  - = L.P. PROPERTY CORNER
  - = MONUMENT
  - = DRILL HOLE
  - = SURVEY CONTROL POINT
  - = BARBED WIRE FENCE REMAINS
  - = CHAIN LINK FENCE
  - = WATER LINE
  - = GAS LINE
  - = ELECTRIC LINE
  - = CABLE TELEVISION LINE
  - = OVERHEAD WIRES
  - = POINT OF BEGINNING
  - = NORTHING
  - = EASTING
  - = NOW OR FORMERLY
  - = AVON LAND RECORDS
  - = SIMSBURY LAND RECORDS
  - = DELTA ANGLE
  - = RADIUS
  - = TANGENT
  - = LENGTH
  - = CHORD
  - = CHORD BEARING
  - = FRONT YARD
  - = SIDE YARD
  - = REAR YARD
  - = CONTROL POINT
  - = SIMSBURY ASSESSOR BLOCK #
  - = SIMSBURY ASSESSOR LOT #
  - = STREET ADDRESS
  - = DENOTES SAME OWNERSHIP

**MAP REFERENCES**

1. SUBDIVISION PLAN LOT 1A PROPERTY OF INFINITY IV, LLC 34 HOPMEADOW STREET (ROUTE 10) SIMSBURY, CT. DATE: 02-25-2015 REVISED 04-20-2015 SCALE: 1"=100' SHEET NO. 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC.
2. COMPILATION PLAN LOT LINE ADJUSTMENT PLAN PREPARED FOR INFINITY IV, LLC 34 HOPMEADOW STREET (ROUTE 10) SIMSBURY, CONNECTICUT DATE: 07-16-2014 SCALE: 1"=100' SHEET NO. 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC.

**NOTES**

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
2. IT IS A COMPILATION PLAN INTENDED TO DEPICT A PROPOSED READJUSTED LOT LINE BETWEEN LOT 1C AND ADJUSTED PARCEL 2 TO BE SUBMITTED AS PART OF AN APPLICATION TO THE SIMSBURY PLANNING COMMISSION.
3. THIS SURVEY FALLS INTO THE RESURVEY BOUNDARY DETERMINATION CATEGORY: READJUSTED LOT LINE IS ORIGINAL IN NATURE.
4. THIS SURVEY MEETS CLASS D ACCURACY STANDARDS BASED UPON MAP REFERENCE #2.
5. BEARINGS AND COORDINATES DEPICTED HEREON REFER TO 1927 NORTH AMERICAN DATUM (NAD 27), CONNECTICUT GEODETIC SURVEY STATION 1M J-209 NORTHING = 363,714.74 EASTING = 580,691.94 AND STATION CTGS 762X NORTHING = 364,772.46 EASTING = 581,651.82 WERE USED FOR REFERENCE.
6. ELEVATIONS DEPICTED HEREON (IF ANY) REFER TO ADAMS AERIAL SURVEY CORP. SURVEY CONTROL DATA MARK J-209 ELEVATION=185.56 PURPORTED TO REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
7. INTENTIONALLY OMITTED.
8. APPROXIMATE SIMSBURY/AVON TOWN LINE PER MAP REFERENCES #3 & 5.
9. INTENTIONALLY OMITTED.
10. THE SUBJECT PROPERTIES ARE LOCATED IN THE PAD ZONE APPROVED ON NOVEMBER 17, 2014 AT A REGULAR MEETING OF THE TOWN OF SIMSBURY ZONING COMMISSION.
11. INTENTIONALLY OMITTED.
12. THE SUBJECT PARCEL ARE CURRENTLY OWNED BY INFINITY IV, LLC SIMSBURY LAND RECORDS VOLUME 562 PAGE 877 AND 2 HOPMEADOW STREET REALTY CO LLC SIMSBURY LAND RECORDS VOLUME 896 PAGE 695.
13. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPS, PARCEL TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
14. THE PARCELS DEPICTED HEREON MAY BE SUBJECT TO AND BENEFIT FROM:
  - A. COVENANT AND AGREEMENT TO BUILD AND FOREVER MAINTAIN THE FENCES IS SET FORTH IN A GRANT FROM NATHAN CASE TO THE NEW HAVEN & NORTHAMPTON COMPANY DATED AUGUST 1849 AND RECORDED JANUARY 11, 1850 IN VOLUME 38 AT PAGE 413 OF THE SIMSBURY LAND RECORDS.
  - B. RIGHT OF WAY FROM HIGHWAY LEADING EAST TO SAID PROPERTY AS SET FORTH IN A WARRANTY DEED FROM AMERICAN SUMATRA TOBACCO CORPORATION TO FRANK S. AND PATRICK M. HOLLOWAY DATED MARCH 14, 1938 AND RECORDED MARCH 25, 1938 IN VOLUME 73 AT PAGE 173 OF THE SIMSBURY LAND RECORDS.
  - C. EASEMENT AGREEMENT IN FAVOR OF TOWER BUSINESS PARK ASSOCIATION, INC. DATED DECEMBER 17, 2001 AND RECORDED IN THE SIMSBURY LAND RECORDS.
15. INTENTIONALLY OMITTED.
16. INTENTIONALLY OMITTED.
17. THE SIMSBURY PLANNING COMMISSION AT ITS MEETING ON MARCH 24, 2015 APPROVED WITH MODIFICATIONS SUBDIVISION APPLICATION #15-D-1 TO CREATE 3 LOTS IN A PAD ZONE ON PROPERTY LOCATED AT 34 HOPMEADOW STREET. MODIFICATION 3 REQUIRES THE APPLICANT TO FURNISH A DOCUMENT WHICH PROPOSES THAT THE MAINTENANCE RESPONSIBILITIES FOR THIS AREA, THE SUBDIVISION BE PROTECTED BY A CONSERVATION EASEMENT WHICH CONTAINS THE DETAILS AS TO THE MAINTENANCE RESPONSIBILITIES FOR THIS AREA. THE DOCUMENT IS TO BE REFERENCED ON THE RECORD SUBDIVISION MAP WHICH IS TO BE RECORDED WITH THE TOWN CLERK. SEE MAP REFERENCE #18.

No.	Date	Description

**COMPILE PLAN**  
**LOT LINE READJUSTMENT PLAN**  
 PREPARED FOR  
**INFINITY IV, LLC**  
 34 HOPMEADOW STREET (ROUTE 10)  
 SIMSBURY, CONNECTICUT

Date: 08-27-2021 Drawn by: BAB Job no: 21126  
 Scale: 1" = 100' Checked by: TSH Sheet no: 1 OF 1  
 Scale: 1" = 100' Checked by: TSH Sheet no: 1 OF 1

**CP-2**

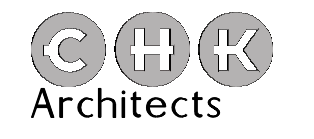
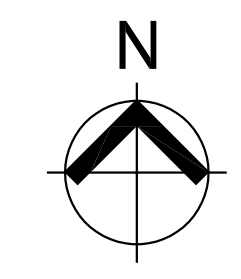
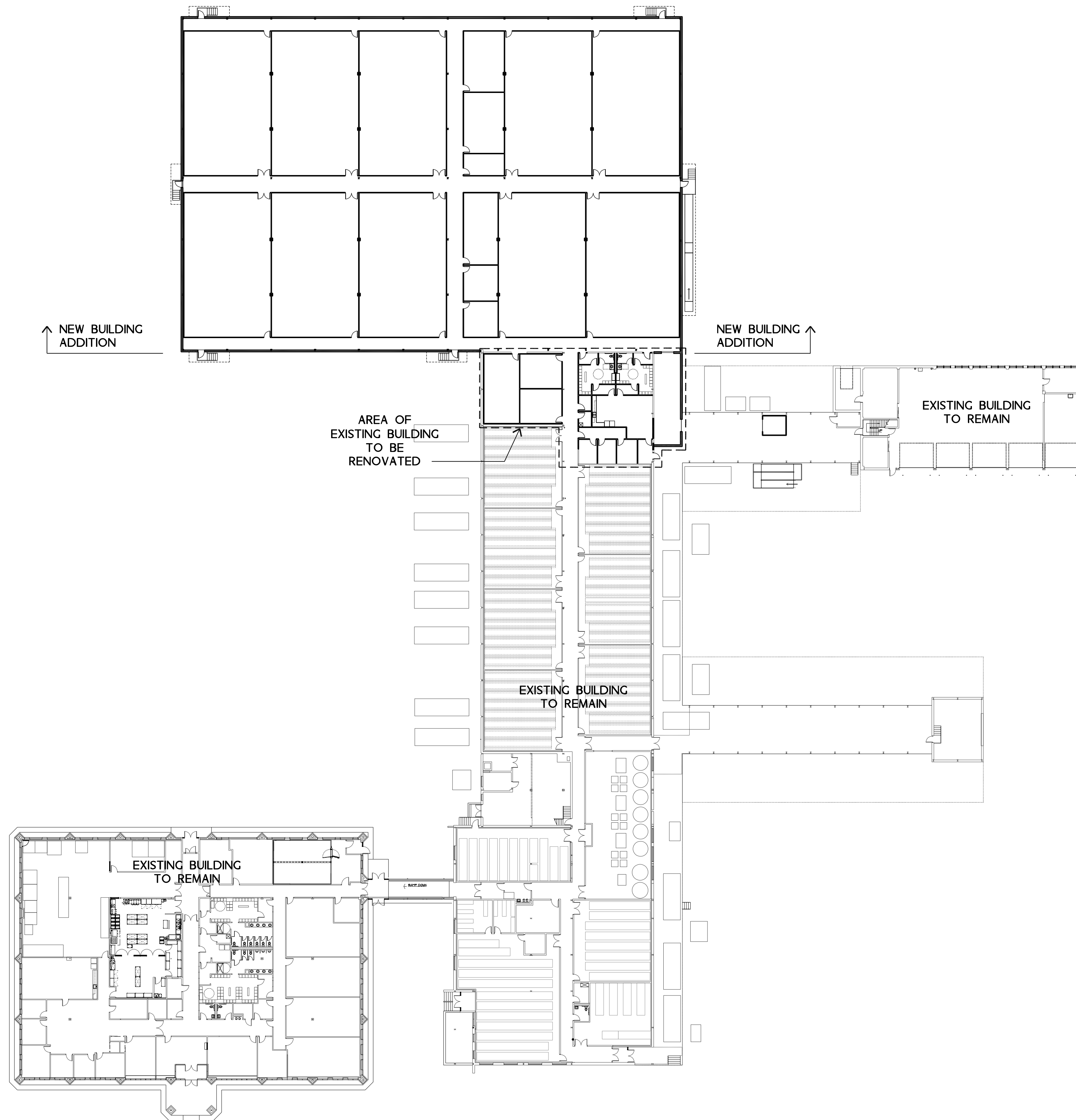
Phone (860) 653-8000  
 Fax (860) 644-8600  
 e-mail: info@fah.com

**F.A.H.**  
**F. A. Hesketh & Associates, Inc.**  
 3 Creamery Brook, East Granby, CT 06026  
 Civil & Traffic Engineers • Surveyors • Landscaper-Architects



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G:\31101 - Curaleaf Addition\Draw\SD01\1101 base - Site Plan Approval 08-30-2021.dwg, SD01, 8/26/2021 2:59:51 PM, Title: 1:1



Greystone Court West  
573 Hopmeadow Street  
PO Box 95  
Simsbury, CT 06070

P: 860-651-3777  
F: 860-651-7316  
E: info@chkarch.com

Consultants  
Structural Engineer  
Szweczak Associates Consulting Engineers  
860-677-4570

# CURALEAF Building Addition

34 Hopmeadow Street  
Simsbury, CT

Revisions

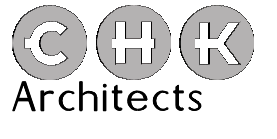
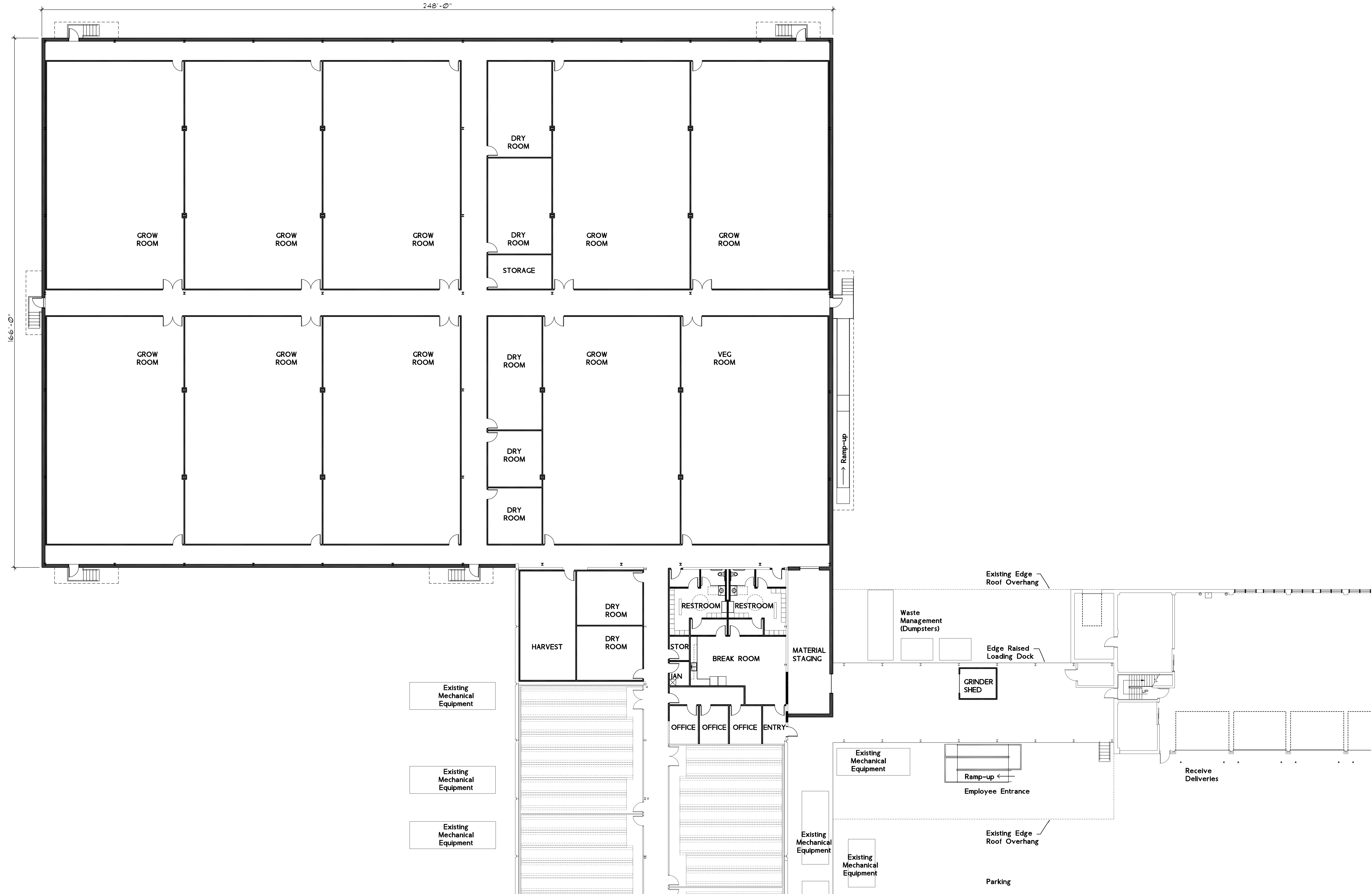
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Date 08-27-2021  
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Project Number 21101  
Drawn By TRP

OVERALL  
PLAN

# SD01

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Greystone Court West  
573 Hopmeadow Street  
PO Box 95  
Simsbury, CT 06070

P: 860-651-3777  
F: 860-651-7316  
E: info@chkarch.com

Consultants  
Structural Engineer  
Szwczak Associates Consulting Engineers  
860-677-4570

# CURALEAF Building Addition

34 Hopmeadow Street  
Simsbury, CT

Revisions

No.	Date	Description

Date 08-27-2021  
Scale 1/16"=1'-0"  
Project Number 21101  
Drawn By TRP

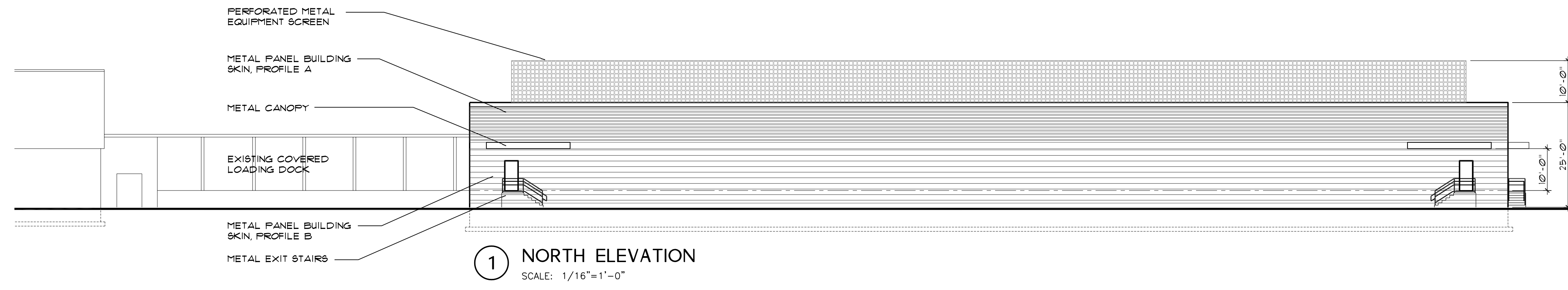
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DESIGN  
PLAN**

**SD02**

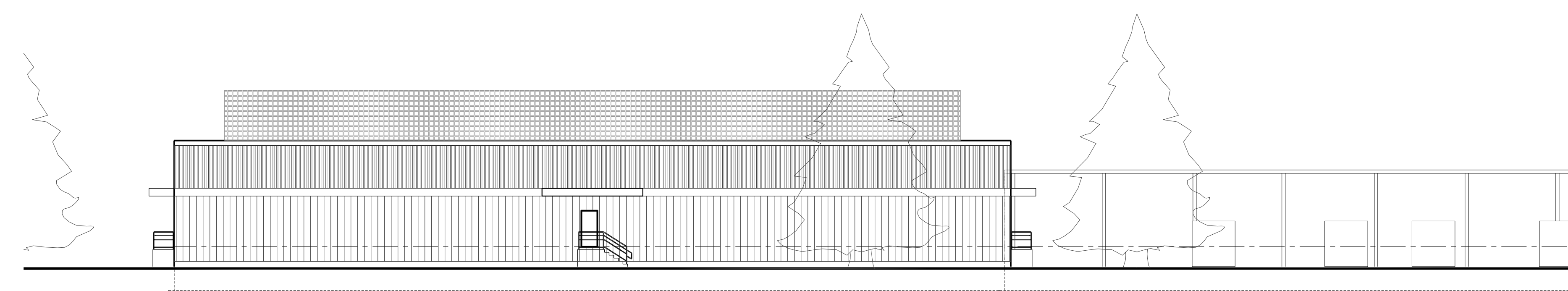
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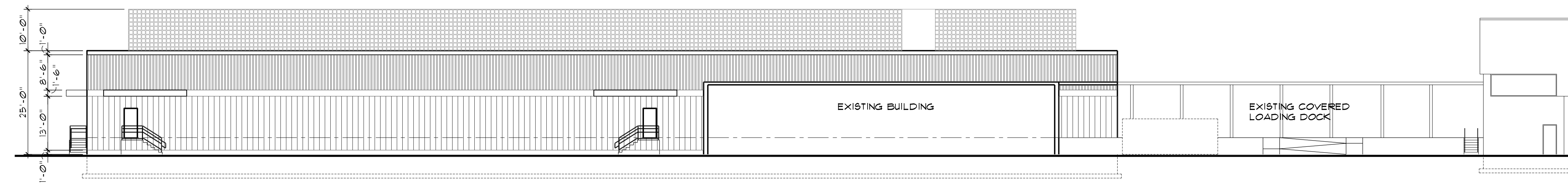
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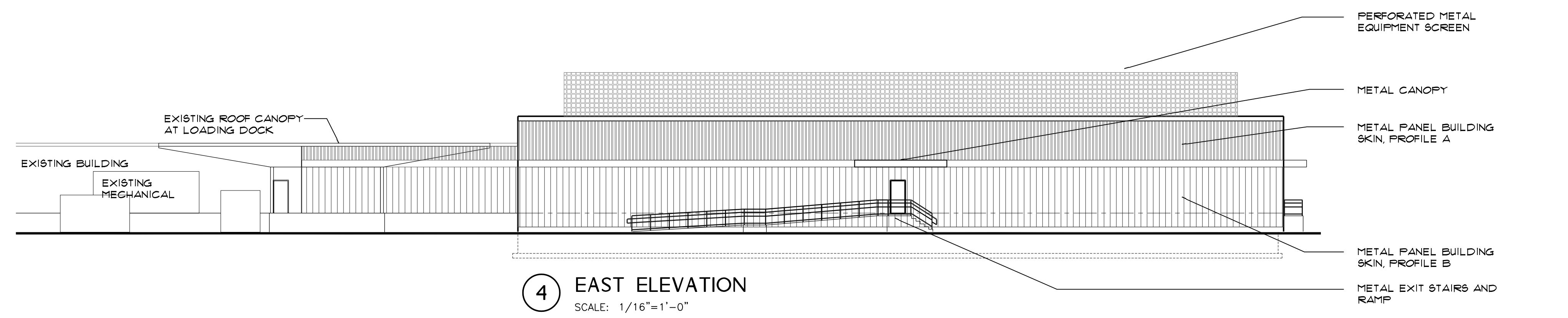
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② WEST ELEVATION  
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③ SOUTH ELEVATION  
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④ EAST ELEVATION  
SCALE: 1/16"=1'-0"

**CURALEAF**  
Building Addition  
34 Hopmeadow Street  
Simsbury, CT

Revisions

No.	Date	Description

Date: 08-27-2021  
Scale: 1/16"=1'-0"  
Project Number: 21101  
Drawn By: TRP

**SCHEMATIC  
DESIGN  
ELEVATIONS**

**SD03**

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