



January 19, 2022

Mr. Tom Hazel, Assistant Town Planner
Town Hall Office
933 Hopmeadow Street
Simsbury, CT 06070

**Re: 34 Farms Village Road – Simsbury High School Grandstand and Press Box Replacement
Zoning Special Exception Permit Application
Simsbury, Connecticut
SLR #15030.00007.0040**

Dear Mr. Hazel,

SLR International Corporation (SLR) has been retained by the Simsbury Public Schools to develop design plans and obtain regulatory permits for the reconstruction of the grandstand and press box located at the track and field facility at Simsbury High School in Simsbury, Connecticut.

This project involves the demolition of the existing grandstand and press box structure in addition to the concrete masonry storage building beneath the grandstand and timber shed immediately to the north of the grandstand. Proposed construction activities include the construction of a new 1,082-seat Americans with Disabilities Act (ADA)-compliant grandstand structure and a 240-square-foot press box. New chain link fencing with gates will enclose the underside and rear of the new structure. This project also includes the removal of existing bituminous concrete pavement, some of which will be replaced with structural concrete to support the ramp and stairs for the new grandstand. All proposed construction activity will take place within the limits of the Federal Emergency Management Agency (FEMA)-designated AE floodplain. To date, this project has received approval from the Conservation Commission and Zoning Board of Appeals.

We are requesting a Special Exception and hereby request a public hearing pursuant to the following sections of the Town of Simsbury Zoning Regulations:

- Section 3.4 Residential Districts – Permitted and Special Exception Uses
- Section 6 Floodplain Zone

SLR and Simsbury Public Schools look forward to presenting the Zoning application to the commission at the next regularly scheduled meeting.

January 12, 2022

Mr. Tom Hazel

Page 2



If you or your commission have any questions regarding this project, please do not hesitate to call me at (203) 271-1773.

Sincerely,

SLR International Corporation

A handwritten signature in blue ink, appearing to read "Kevin Fuselier". The signature is fluid and cursive, with the first name "Kevin" and last name "Fuselier" clearly distinguishable.

Kevin Fuselier, PLA, LEED

Principal Landscape Architect

cc: Jason Casey – Simsbury Public Schools

15030.00007.0040.j1222.ltr.dotx



Town of Simsbury

Office of Community Planning and Development - Zoning Commission Application

DATE: _____ FEE: \$ _____ CK #: _____ APP #: _____

PROPERTY ADDRESS: 34 Farms Village Road

NAME OF OWNER: Simsbury Public Schools c/o Jason Casey - Director of Infrastructure

MAILING ADDRESS: 933 Hopmeadow St, Simsbury, CT 06070

EMAIL ADDRESS: jcasey@simsburyschools.net TELEPHONE # 860-651-3361

NAME OF AGENT: SLR International Corporation

MAILING ADDRESS: 99 Realty Drive, Cheshire, CT 06410

EMAIL ADDRESS: kfuselier@slrconsulting.com TELEPHONE # 203-271-1773

ZONING DISTRICT: R-40 LOT AREA: 46.2 acres SQ FT/ACRES

Does this site have wetlands? YES NO Have you applied for a wetlands permit? YES NO

REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):

ZONE CHANGE: The applicant hereby requests that said premises be changed from zone _____ to zone _____.

TEXT AMENDMENT: Please attach proposed changes, including Articles and Sections, and purposes.

SPECIAL EXCEPTION: The applicant hereby requests a public hearing pursuant to Article 3, 6, Section 3.4, 6.3.

SITE PLAN APPROVAL: The applicant hereby requests
 PRELIMINARY FINAL **SITE PLAN AMENDMENT** pursuant to Article 5, Section J

SIGN PERMIT

OTHER (PLEASE EXPLAIN): _____

*NOTE: Each application must fully comply with the requirements of the Zoning Regulations prior to receipt by the Commission. **Each application for zone change and/or special exception shall include a list of names and addresses of abutting property owners and all property owners within 100 feet of the subject site.***

A check payable to the Town of Simsbury must accompany this **original signed and dated** application. **Six (6) complete (folded) sets of plans and eleven (11) copies of the completed application and correspondence** must also be included. If you have a PDF of your plans, we would appreciate a copy of that sent to lbarkowski@simsbury-ct.gov, as well.

[Signature] 1/19/22 [Signature] 1/19/2022
Signature of Owner Date Signature of Agent Date

Telephone (860) 658-3245
Facsimile (860) 658-3206

www.simsbury-ct.gov

933 Hopmeadow Street
Simsbury, CT 06070

TABLE 1
 Abbutters List
 Simsbury High School Grandstand & Press Box Replacement

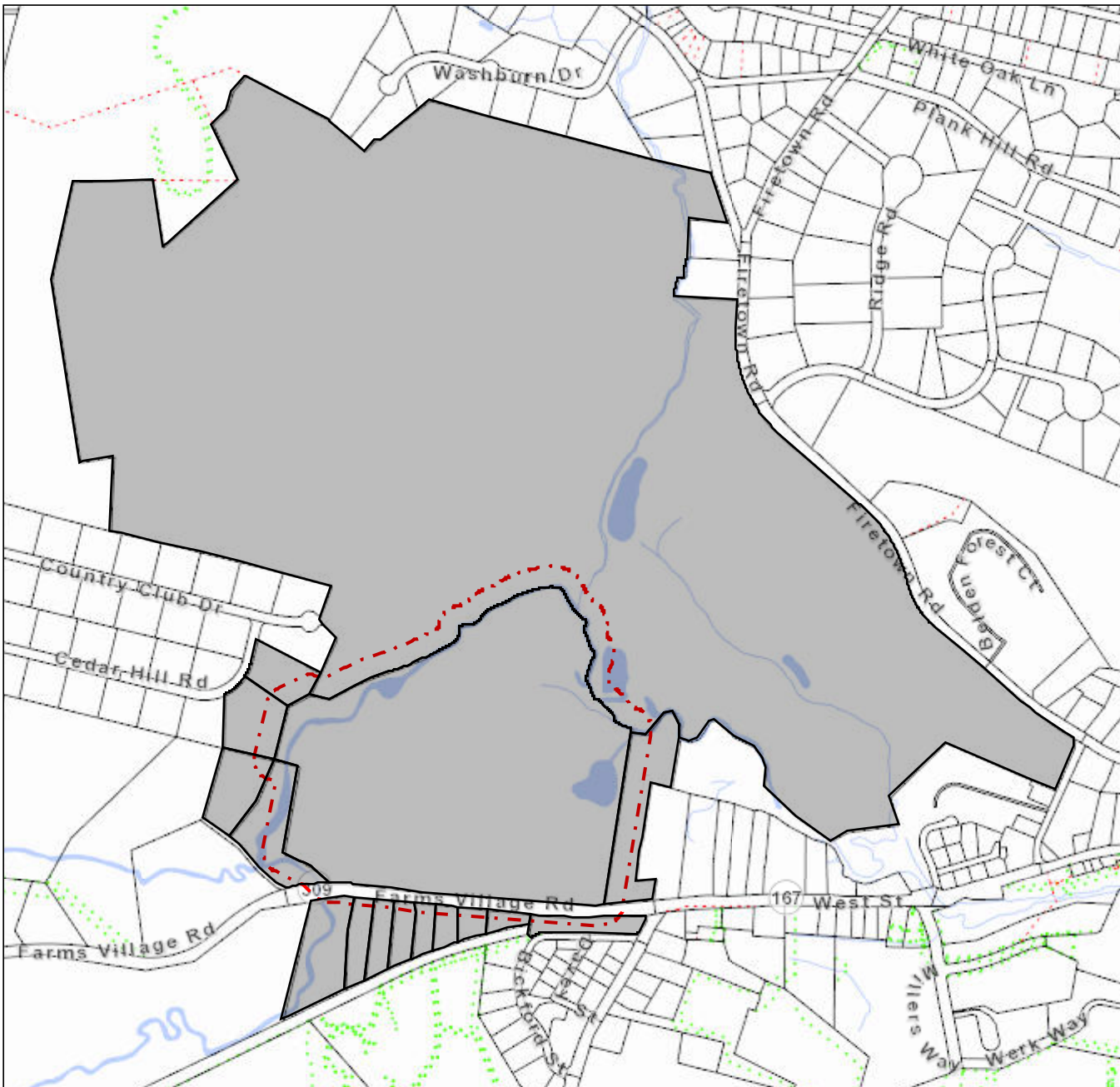
Parcel ID	Site Address	Owner Name	Mailing Address	Mailing City	Mailing State	Mailing Zip
F11 148 016	34 FARMS VILLAGE ROAD	TOWN OF SIMSBURY	34 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
F11 149 002	31 FARMS VILLAGE ROAD	MARKOWSKI SHARON L AND CONSTANTIN	31 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
E11 151 004	37 FARMS VILLAGE ROAD	CHERTKOVA STELLA AND JOHNSON DEAN ADAMS	37 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
F11 149 PARCEL	FARMS VILLAGE ROAD	DAVEY-BICKFORD HOME OWNERS	P O BOX 842	SIMSBURY	CT	06070- 0000
F11 149 013	19 FARMS VILLAGE ROAD	CONROY KATHRYN J	19 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
E11 151 006	45 FARMS VILLAGE ROAD	45 FARMS VILLAGE ROAD LLC	79 WOODRUFF ROAD	FARMINGTON	CT	06032- 0000
F11 148 019	2 FARMS VILLAGE ROAD	GIRARD BROTHERS CORPORATION	P O BOX 581	SIMSBURY	CT	06070- 0000
E10 147 036	23 CEDAR HILL ROAD	HAGEN STEVEN R & HELEN H	23 CEDAR HILL ROAD	WEST SIMSBURY	CT	06092- 0000
E10 147 035	21 CEDAR HILL ROAD	HENSLEY ROBERT S AND SUSAN B	21 CEDAR HILL ROAD	WEST SIMSBURY	CT	06092- 0000
F11 149 012	23 FARMS VILLAGE ROAD	GUNDEL NEIL	23 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
E11 151 005	41 FARMS VILLAGE ROAD	LOGAN HECTOR D AND ISABEL	41 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
F11 149 003	35 FARMS VILLAGE ROAD	JOHNSON JASON K AND MEGHAN	35 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
F11 149 001	27 FARMS VILLAGE ROAD	KROYTOR ANATOLY AND BOGDAN GRETTA	27 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
E10 147 016B	2 WELDEN WAY	FREEMAN WILLIAM AND SUSAN	2 WELDEN WAY	SIMSBURY	CT	06070- 0000
E10 147 16A	4 WELDEN WAY	VERRENGIA JULIE F	4 WELDEN WAY	SIMSBURY	CT	06070- 0000

Town of Simsbury

Geographic Information System (GIS)

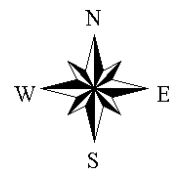


Date Printed: 9/13/2021



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Simsbury and its mapping contractors assume no legal responsibility for the information contained herein.





LETTER OF TRANSMITTAL

To: Simsbury Fire Marshal **Date:** January 19, 2022
Attn: Kevin Kowalski **Project No.:** 15030.00007-0040
Address: 871 Hopmeadow Street
Simsbury, CT 06070
860-658-1971
Re: Simsbury High School Grandstand & Press Box - 34 Farming Village Road – Zoning Application

FOR YOUR:

- Use
- Approval
- Review/Comments
- Information
- Other: [Click here to enter text.](#)

SENT VIA:

- U.S. Postal Service
- Overnight
- Under Separate Cover
- Hand-Carried (Courier)
- Picked Up

DATE	QUANTITY	DESCRIPTION
01/19/2022	1	Zoning Application Package
01/19/2022	1	24" x 36" Site Plans

Remarks:

Per the requirements of the Simsbury Zoning Commission applications, please find the enclosed application package for your review. Please do not hesitate to call me if you have any questions. Thank you,

Kevin Fuselier, PLA, LEED GA
 SLR International Corporation

cc: Jason Casey – Simsbury Public Schools By: Kevin Fuselier, PLA, LEED GA



LETTER OF TRANSMITTAL

To: Farmington Valley Health District
Attn: _____
Address: 95 River Road, Suite C
 Canton, CT 06019
 8600-352-2333
Date: January 19, 2022
Project No.: 15030.00007-0040
Re: Simsbury High School Grandstand & Press Box - 34 Farming Village Road – Zoning Application

FOR YOUR:

- Use
- Approval
- Review/Comments
- Information
- Other: [Click here to enter text.](#)

SENT VIA:

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01/19/2022	1	Zoning Application Package
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Remarks:

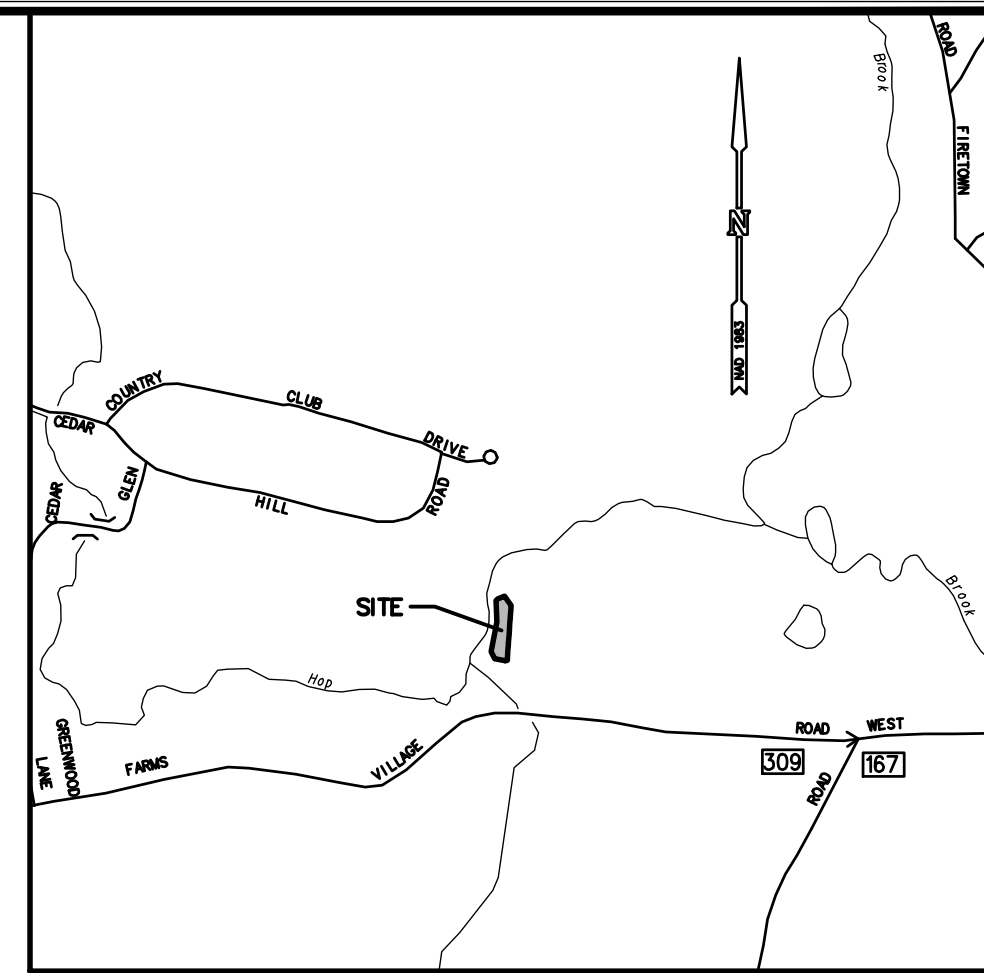
Per the requirements of the Simsbury Zoning Commission applications, please find the enclosed application package for your review. Please do not hesitate to call me if you have any questions. Thank you,

Kevin Fuselier, PLA, LEED GA
 SLR International Corporation

cc: Jason Casey – Simsbury Public Schools By: Kevin Fuselier, PLA, LEED GA

SIMSBURY HIGH SCHOOL GRANDSTAND & PRESS BOX REPLACEMENT

34 FARMS VILLAGE ROAD
SIMSBURY, CONNECTICUT

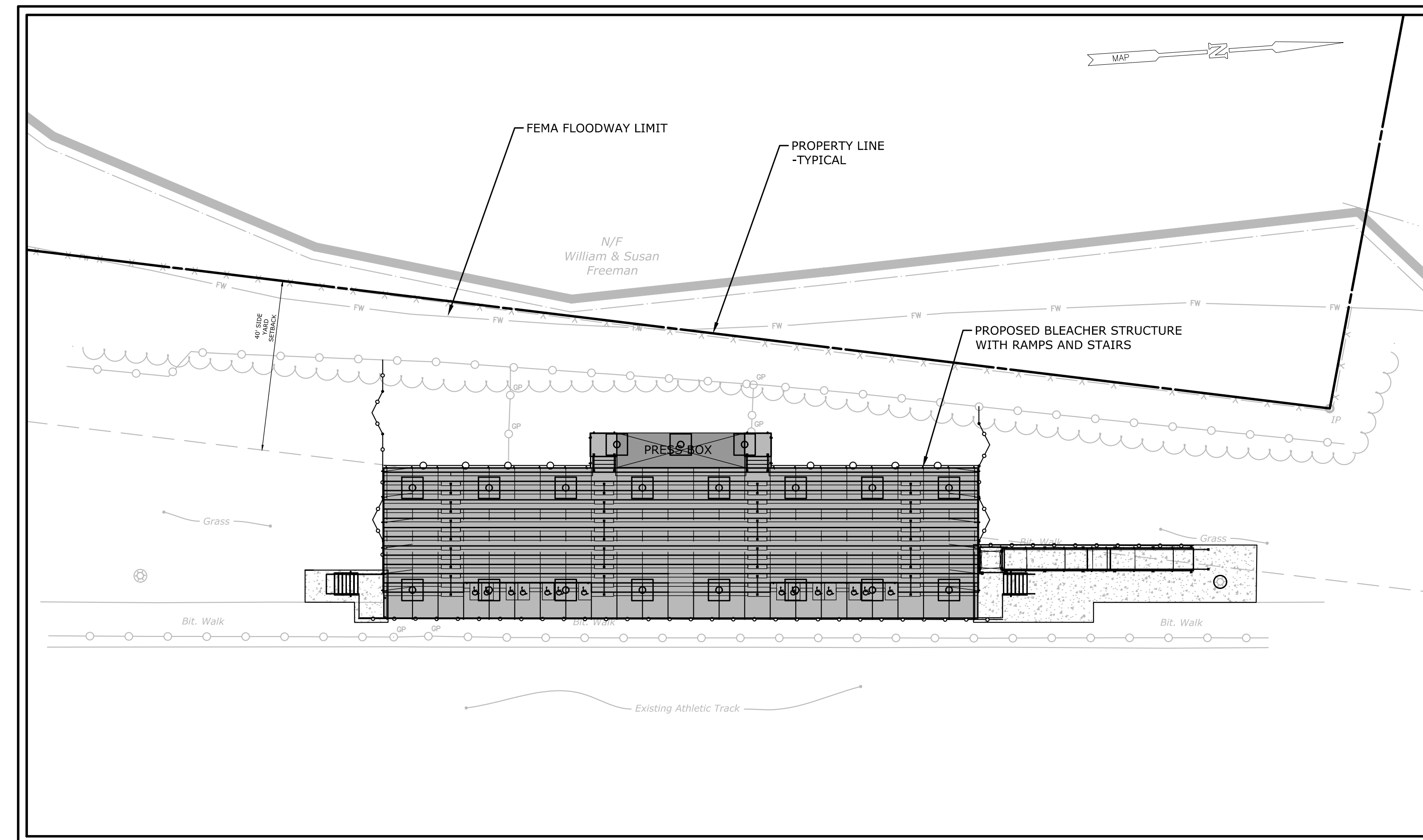


LOCATION MAP
SCALE: 1"=1000'

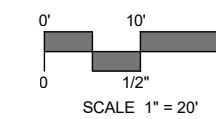
GENERAL NOTES

- BOUNDARY INFORMATION IS BASED UPON FIELD SURVEY CONDUCTED BY: SLR INTERNATIONAL CORPORATION (SLR), TAKEN FROM A MAP ENTITLED "IMPROVEMENT LOCATION SURVEY" PREPARED FOR SIMSBURY BOARD OF EDUCATION AT A SCALE OF 1"=20', DATED: JULY 14, 2021.
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- SLR INTERNATIONAL CORPORATION, ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- INLAND WETLAND BOUNDARY WAS FLAGGED BY: PETER SHEA, LEP, SENIOR ENVIRONMENTAL SCIENTIST, SLR INTERNATIONAL CORPORATION ON JULY 7, 2021.
- ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL, AND BE SEEDED WITH GRASS OR SODDED, AS SHOWN ON THE PLANS.
- ALL STORM DRAIN PIPE SHALL BE HIGH DENSITY POLY ETHYLENE (HDPE) UNLESS OTHERWISE INDICATED.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF SIMSBURY REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 818 AND ADDENDUMS
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
- PERIMETER SWALES AND RESPECTIVE SILTATION BASINS SHALL BE COMPLETED AND RESTORED PRIOR TO PROCEEDING WITH OTHER SITE CONSTRUCTION.
- THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

ZONING APPLICATION
JANUARY 19, 2022



PROJECT SITE VICINITY MAP:



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	
—x—x—	WIRE FENCE	
—o—o—	CHAIN LINK FENCE	
~~~~~	TREELINE	
—FW—	AE - FEMA FLOODWAY	
o _{GP}	GATE POST	
o _{FP}	FENCE POST	
*	LIGHT POST	
o _{IP}	IRON PIPE FOUND	
o _{IPIN}	IRON PIN FOUND	
⊙	BORINGS BY SLR	
---	FOOTPRINT OF EXISTING BUILDING TO REMAIN	---
	BLEACHER PILE FOUNDATIONS	⊙
	BLEACHER SPREAD FOOTING	---

## PROJECT DATA:

PROPERTY AREA:	46.2 ACRES (2,012,472 SQ. FT.)
EXISTING ZONE:	R-40 (LOW DENSITY RESIDENTIAL)

## ZONING DATA:

	REGULATION	REQUIRED	EXISTING	PROPOSED
MINIMUM REQUIRED	LOT SIZE	40,000 SQ. FT.	NO CHANGE	NO CHANGE
	LOT FRONTAGE	200'	NO CHANGE	NO CHANGE
	FRONT YARD SETBACK	50'	NO CHANGE	NO CHANGE
	SIDE YARD SETBACK	40'	21.65'	15.42'
MAXIMUM REQUIRED	REAR YARD SETBACK	50'	NO CHANGE	NO CHANGE
	BUILDING HEIGHT	35'	±33'	34'-2"
	IMPERVIOUS COVERAGE	N/A	N/A	+356 SF (0.00017 INCREASE)

## PREPARED BY:



## PREPARED FOR:

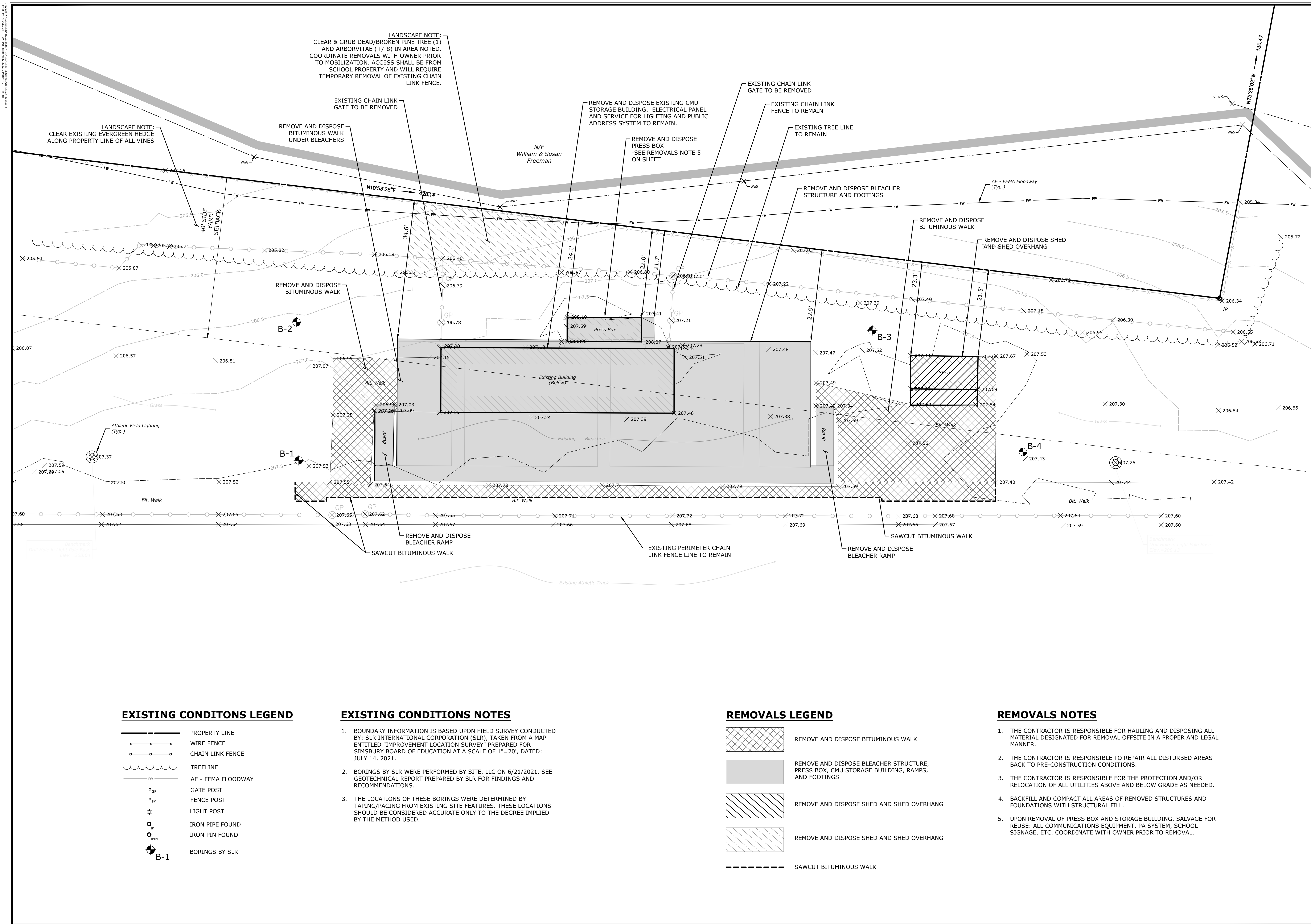
MR. JASON CASEY  
DIRECTOR OF INFRASTRUCTURE & TECHNOLOGY  
SIMSBURY PUBLIC SCHOOLS  
34 FARMS VILLAGE ROAD  
SIMSBURY, CT 06070

## LIST OF DRAWINGS

NAME	TITLE
--	TITLE SHEET
EX-1	EXISTING CONDITIONS AND REMOVALS PLAN
SP-1	SITE PLAN
SE-1	SEDIMENT AND EROSION CONTROL PLAN NOTES AND DETAILS
SD-1 - SD-2	SITE DETAILS
PB-1	SITE DETAILS - PRESS BOX



Know what's below.  
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www.cbyd.com



**LANDSCAPE NOTE:**  
 CLEAR & GRUB DEAD/BROKEN PINE TREE (1) AND ARBORVITAE (+/-) IN AREA NOTED. COORDINATE REMOVALS WITH OWNER PRIOR TO MOBILIZATION. ACCESS SHALL BE FROM SCHOOL PROPERTY AND WILL REQUIRE TEMPORARY REMOVAL OF EXISTING CHAIN LINK FENCE.

**LANDSCAPE NOTE:**  
 CLEAR EXISTING EVERGREEN HEDGE ALONG PROPERTY LINE OF ALL VINES

**EXISTING CONDITONS LEGEND**

- PROPERTY LINE
- WIRE FENCE
- CHAIN LINK FENCE
- TREELINE
- FW — AE - FEMA FLOODWAY
- GP — GATE POST
- FP — FENCE POST
- ☆ — LIGHT POST
- IP — IRON PIPE FOUND
- IPIN — IRON PIN FOUND
- B-1 — BORINGS BY SLR

**EXISTING CONDITIONS NOTES**

- BOUNDARY INFORMATION IS BASED UPON FIELD SURVEY CONDUCTED BY: SLR INTERNATIONAL CORPORATION (SLR), TAKEN FROM A MAP ENTITLED "IMPROVEMENT LOCATION SURVEY" PREPARED FOR SIMSBURY BOARD OF EDUCATION AT A SCALE OF 1"=20', DATED: JULY 14, 2021.
- BORINGS BY SLR WERE PERFORMED BY SITE, LLC ON 6/21/2021. SEE GEOTECHNICAL REPORT PREPARED BY SLR FOR FINDINGS AND RECOMMENDATIONS.
- THE LOCATIONS OF THESE BORINGS WERE DETERMINED BY TAPING/PACING OF EXISTING SITE FEATURES. THESE LOCATIONS SHOULD BE CONSIDERED ACCURATE ONLY TO THE DEGREE IMPLIED BY THE METHOD USED.

**REMOVALS LEGEND**

- REMOVE AND DISPOSE BITUMINOUS WALK
- REMOVE AND DISPOSE BLEACHER STRUCTURE, PRESS BOX, CMU STORAGE BUILDING, RAMPS, AND FOOTINGS
- REMOVE AND DISPOSE SHED AND SHED OVERHANG
- REMOVE AND DISPOSE SHED AND SHED OVERHANG
- SAWCUT BITUMINOUS WALK

**REMOVALS NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR HAULING AND DISPOSING ALL MATERIAL DESIGNATED FOR REMOVAL OFFSITE IN A PROPER AND LEGAL MANNER.
- THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DISTURBED AREAS BACK TO PRE-CONSTRUCTION CONDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ALL UTILITIES ABOVE AND BELOW GRADE AS NEEDED.
- BACKFILL AND COMPACT ALL AREAS OF REMOVED STRUCTURES AND FOUNDATIONS WITH STRUCTURAL FILL.
- UPON REMOVAL OF PRESS BOX AND STORAGE BUILDING, SALVAGE FOR REUSE: ALL COMMUNICATIONS EQUIPMENT, PA SYSTEM, SCHOOL SIGNAGE, ETC. COORDINATE WITH OWNER PRIOR TO REMOVAL.



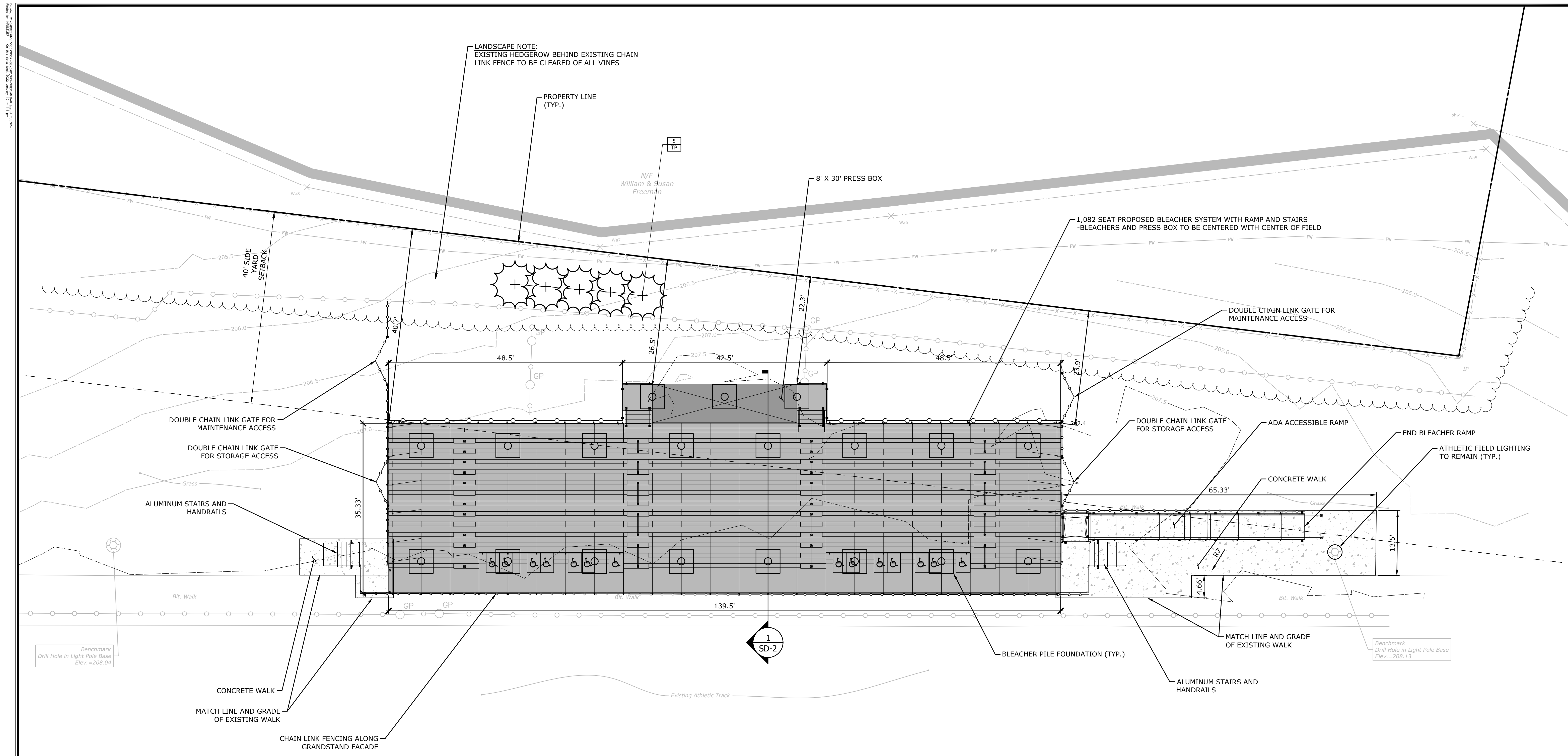
DESCRIPTION	DATE	BY
ADD. REMOVALS	12/16/21	KCF

**SITE PLAN - EXISTING CONDITIONS AND REMOVALS PLAN**  
 SIMSBURY HIGH SCHOOL  
 GRANDSTAND & PRESS BOX REPLACEMENT  
 34 FARMS VILLAGE ROAD  
 SIMSBURY, CONNECTICUT

JDL DESIGNED	JDL DRAWN	KCF CHECKED
SCALE 1"=10'		
DATE JANUARY 19, 2022		
PROJECT NO. 15030.00007		

**EX-1**

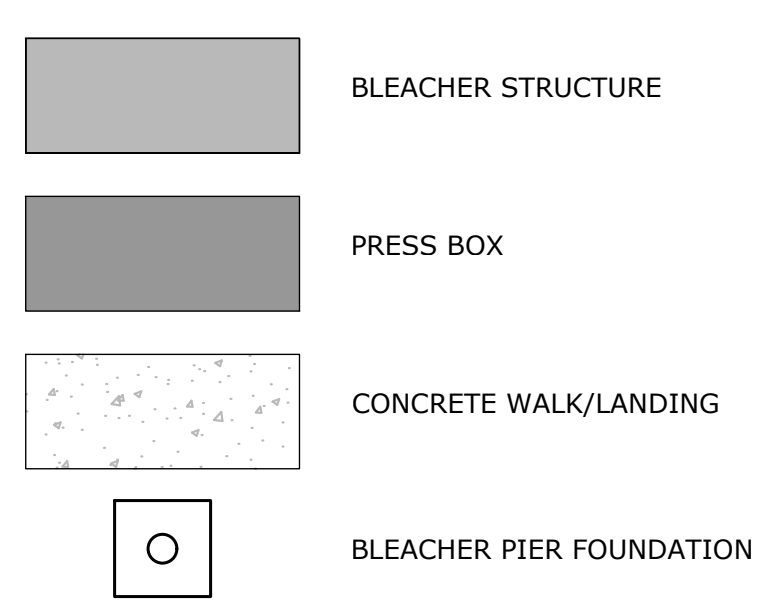




**LAYOUT NOTES**

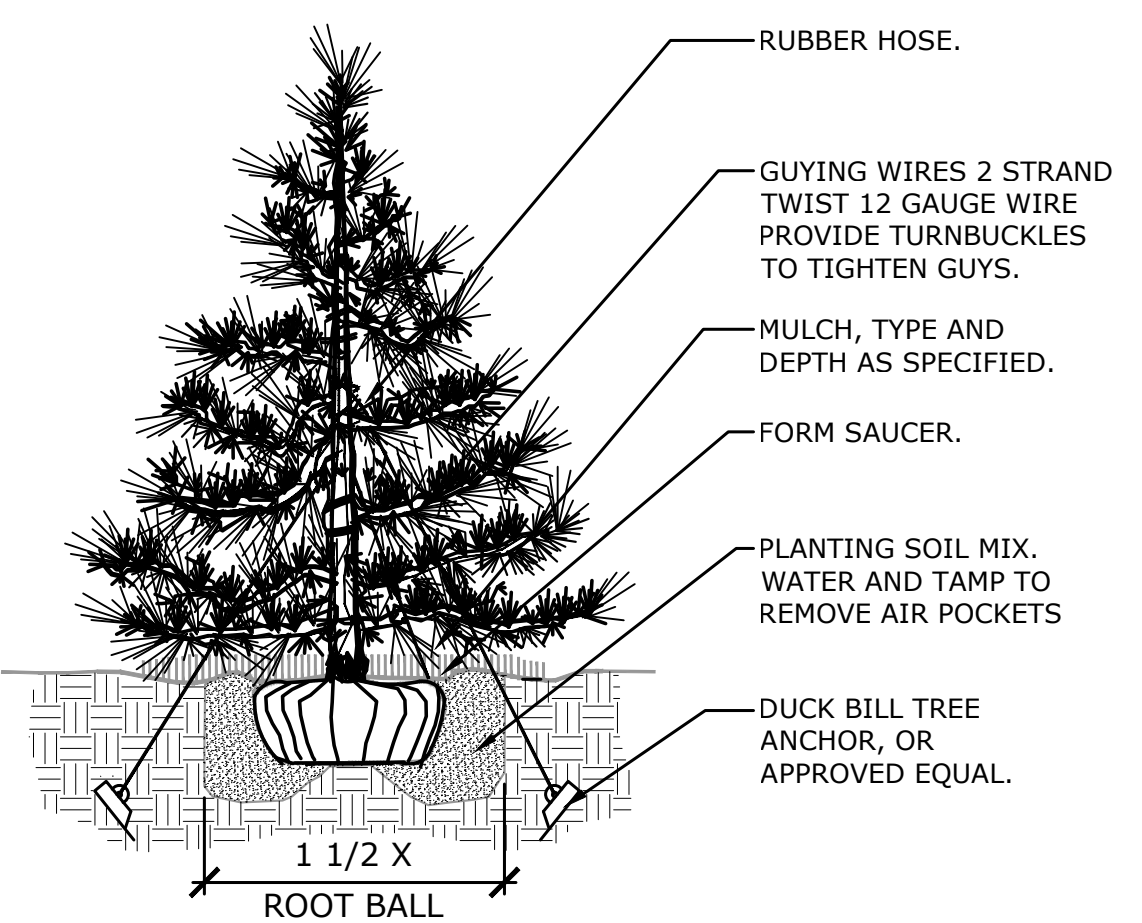
- SLR INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR MAPS AND DATA THAT HAVE BEEN PREPARED AND SUPPLIED BY OTHERS.
- LAYOUT CRITERIA AND DIMENSIONS FOR BUILDINGS ARE NOT SHOWN ON THIS PLAN. ALL BUILDINGS SHALL BE LOCATED BY A CONNECTICUT LICENSED SURVEYOR AND COORDINATED WITH THE FOUNDATION PLANS SUPPLIED BY THE ARCHITECT OR THEIR CONSULTANT. ALL FOUNDATION PLANS SHALL BE PROVIDED TO THE SURVEYOR AND THE ENGINEER AT THE TIME OF STAKE-OUT REQUEST.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

**LAYOUT LEGEND**



**SEATING PLAN**

ROWS 14	ELEVATION 42"
RISE 13	RUN 26
DECK SYSTEM - WELDED	
DECK FINISH - ANODIZED SRD	
BENCH SEATING CAPACITY	1054
CHAIR SEATING CAPACITY	0
WHEELCHAIR SEATING CAPACITY	14
COMPANION SEATING CAPACITY	14
<b>TOTAL SEATING CAPACITY</b>	<b>1082</b>



- NOTES:**
- PROVIDE STAKING AS REQUIRED.
  - PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
  - PAINT ALL CUTS OVER 25.4mm DIA.
  - REMOVE ALL CONTAINERS AND BASKETS FROM ROOT BALL.
  - REMOVE BURLAP FROM TOP 8.5mm OF ROOT BALL.
- NOTE: REMOVE ALL BOULDERS & LEDGE 18" BELOW SUBGRADE

**EVERGREEN TREE PLANTING DETAIL**

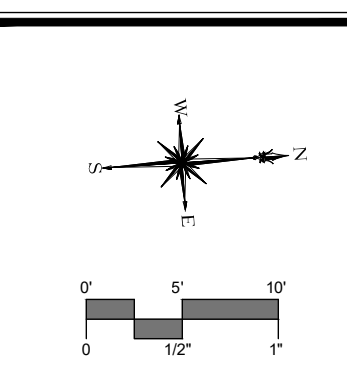
NOT TO SCALE

**PLANT SCHEDULE**

TREES TP	QTY	BOTANICAL NAME	COMMON NAME	SIZE
5		Thuja plicata 'Green Giant'	Green Giant Western Red Cedar	7' / 8" HT.

**PLANTING NOTES**

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
- THE EVERGREEN HEDGEROW BETWEEN THE CHAIN LINK FENCE AND HOP BROOK SHALL BE CLEARED OF ALL INVASIVE VINES. ALL REMOVED PLANT MATERIALS SHALL BE DISPOSED OF OFF SITE.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 4" MINIMUM DEPTH OF TOPSOIL FOR ALL LAWN AREAS. WATER AS NECESSARY TO ESTABLISH TURF.
- ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH (AFTER COMPACTION) OF SHREDDED MULCH OVER ALL TREE PLANTINGS.
- PLANT SPECIES MAY BE ADJUSTED BASED ON AVAILABILITY AT TIME OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER.
- WHERE A SIZE RANGE IS SPECIFIED AT LEAST 50% OF PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- QUANTITY AND PLACEMENT OF PLANTS ARE APPROXIMATE AND ARE SUBJECT TO FINAL PLACEMENT IN THE FIELD BY THE OWNER.



DESCRIPTION	DATE	BY

**SITE PLAN**  
SIMSBURY HIGH SCHOOL  
GRANDSTAND & PRESS BOX REPLACEMENT  
34 FARMS VILLAGE ROAD  
SIMSBURY, CONNECTICUT

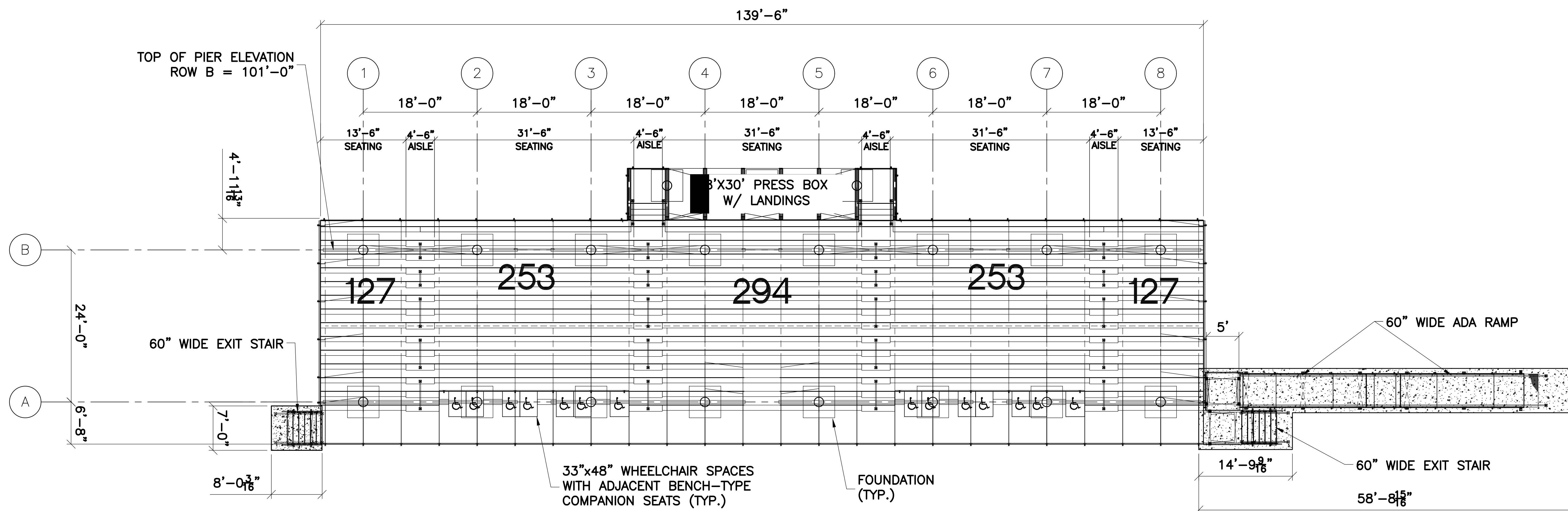
JDL	JDL	KCF
DESIGNED	DRAWN	CHECKED
SCALE 1"=10'		
DATE JANUARY 19, 2022		
PROJECT NO. 15030.00007		

**SP-1**



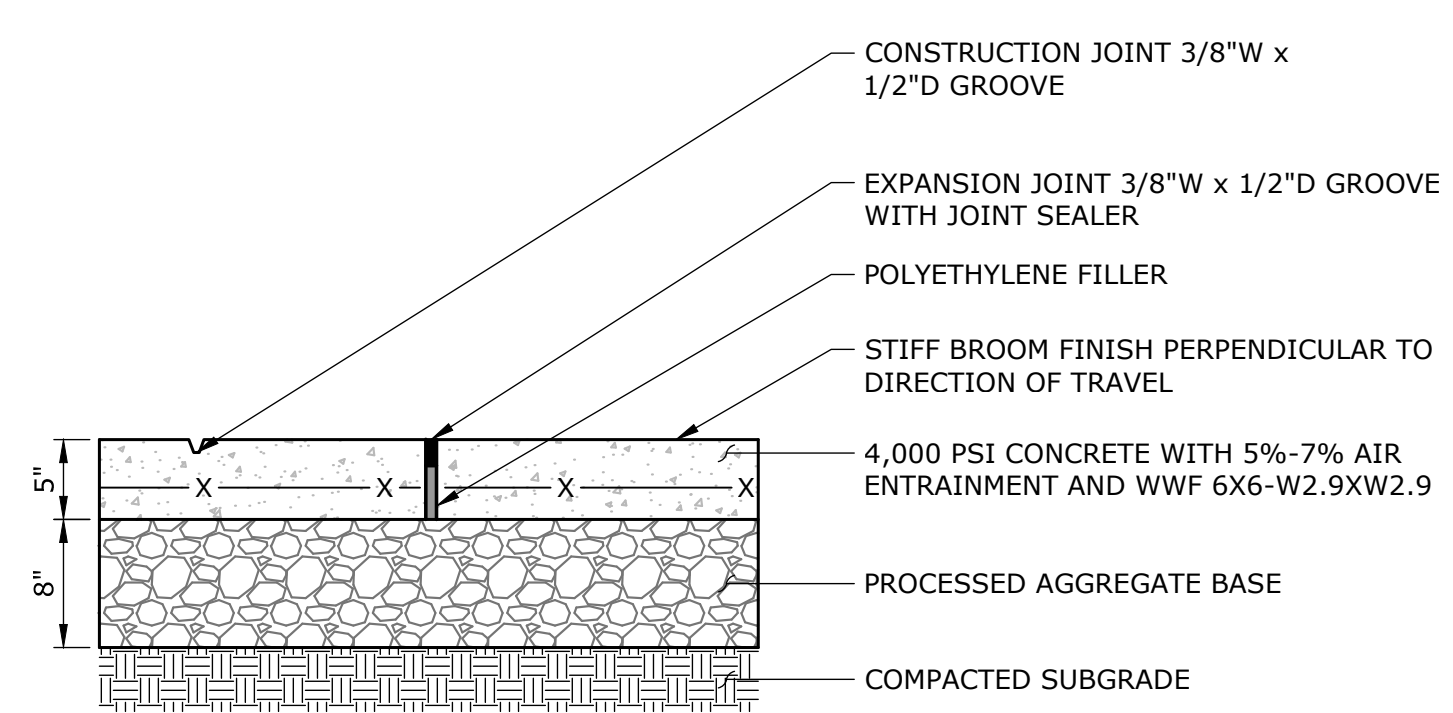


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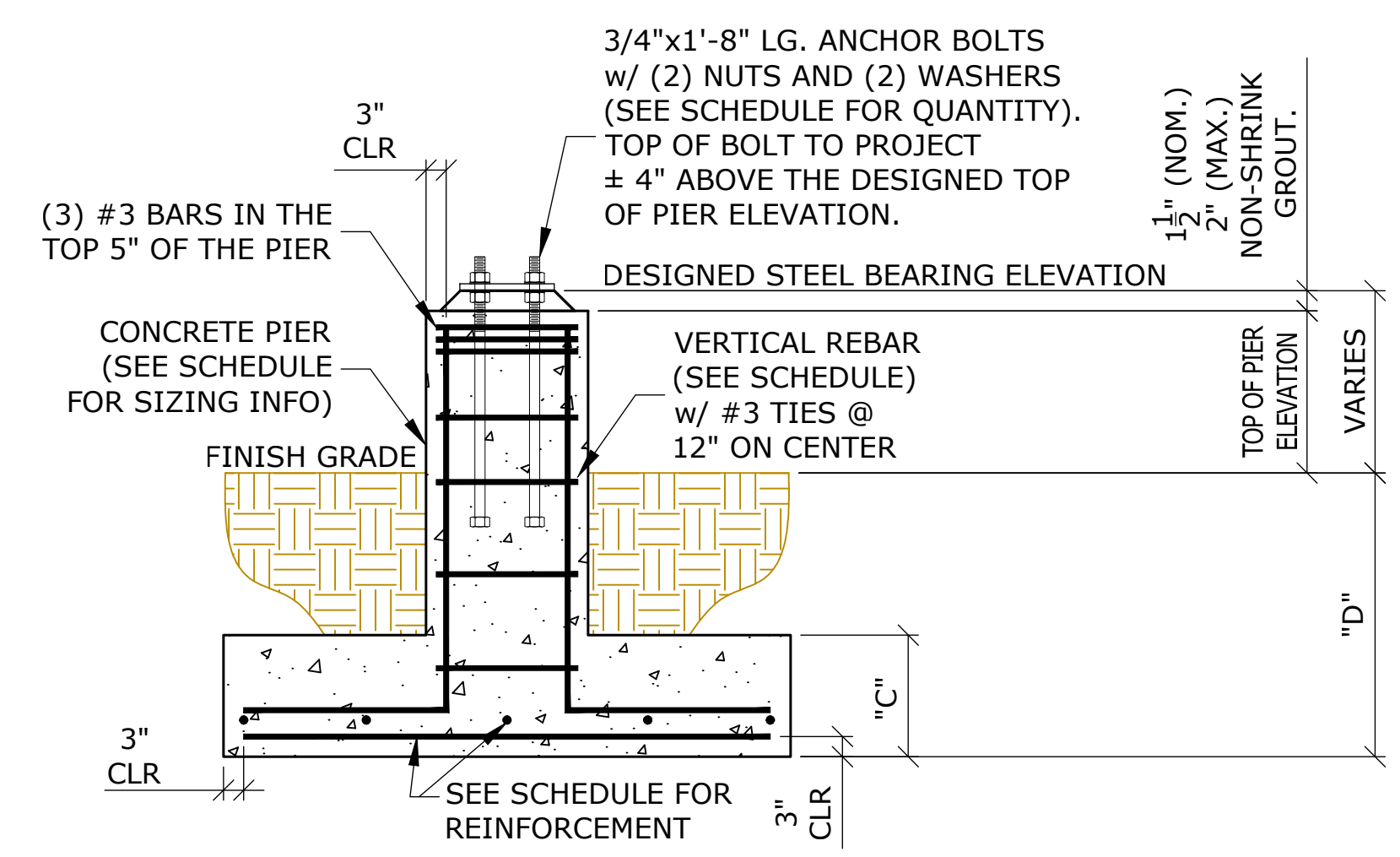


**SEATING PLAN**  
 SCALE: 3/32" = 1'-0"

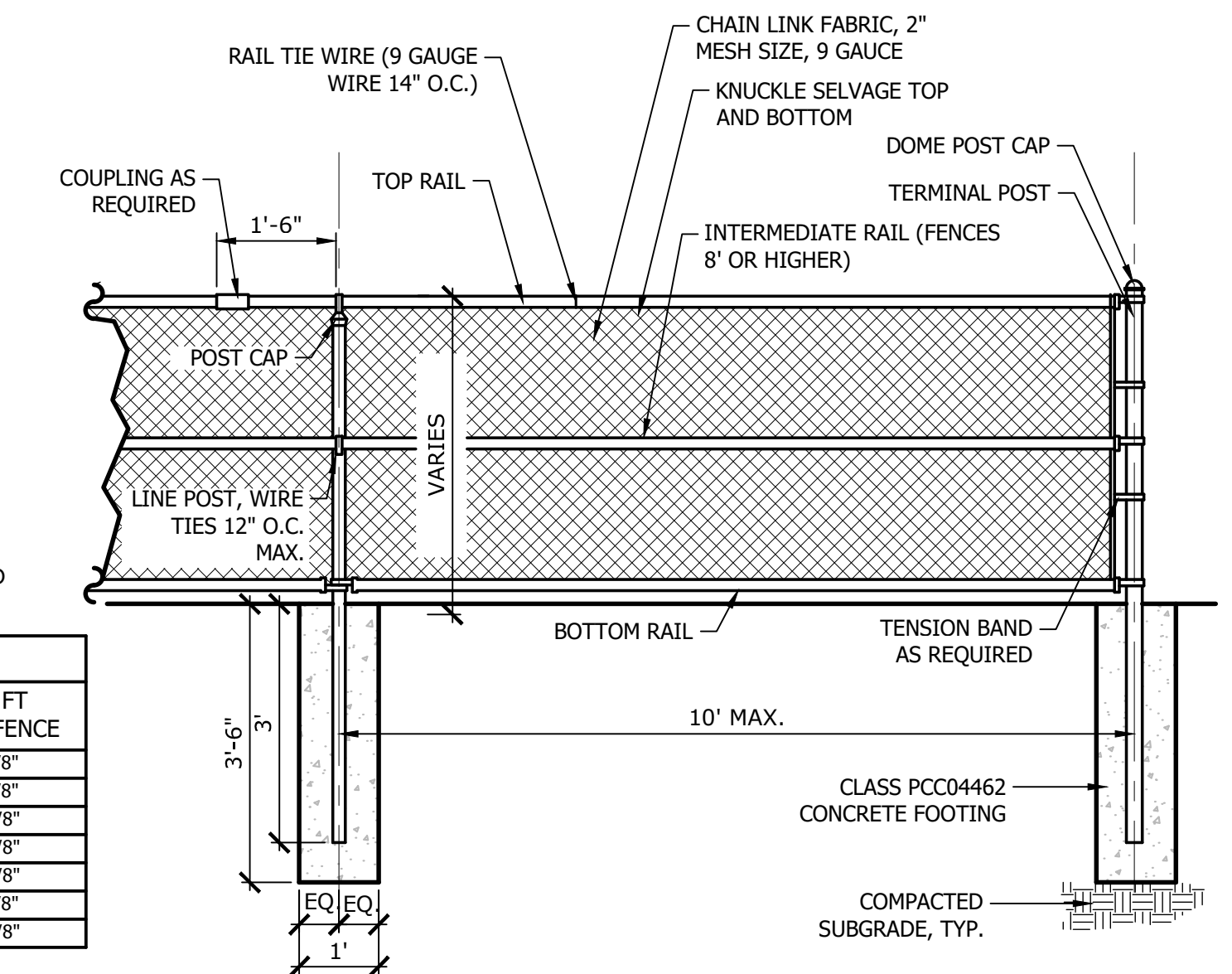
ROWS 14	ELEVATION 42"
RISE 13	RUN 26
DECK SYSTEM - WELDED	
DECK FINISH - SSRD	
BENCH SEATING CAPACITY	1054
CHAIR SEATING CAPACITY	0
WHEELCHAIR SEATING CAPACITY	14
COMPANION SEATING CAPACITY	14
<b>TOTAL SEATING CAPACITY</b>	<b>1082</b>



**CONCRETE SIDEWALK**  
 NOT TO SCALE



**SECTION THROUGH FOUNDATION**  
 NOT TO SCALE



NOTE: 1. ALL CHAIN LINK POSTS, RAILS, FABRIC, AND HARDWARE TO HAVE THERMALLY FUSED AND BONDED. COLOR: BLACK

CHAIN LINK FENCE POST AND RAIL SIZING	3 FT TO 6 FT HIGH FENCE	>6' FT HIGH FENCE
POST OR RAIL TYPE		
TERMINAL OR COMMON	2-3/8"	2-7/8"
LINE POST	1-7/8"	2-3/8"
TOP RAIL	1-5/8"	1-5/8"
INTERMEDIATE RAIL	1-5/8"	1-5/8"
BOTTOM RAIL	2-7/8"	2-7/8"
GATE POST	2-7/8"	2-7/8"
GATE FRAME	1-7/8"	1-7/8"

ALL POSTS AND RAILS TO BE ROUND

**CHAIN LINK FENCE**  
 NOT TO SCALE



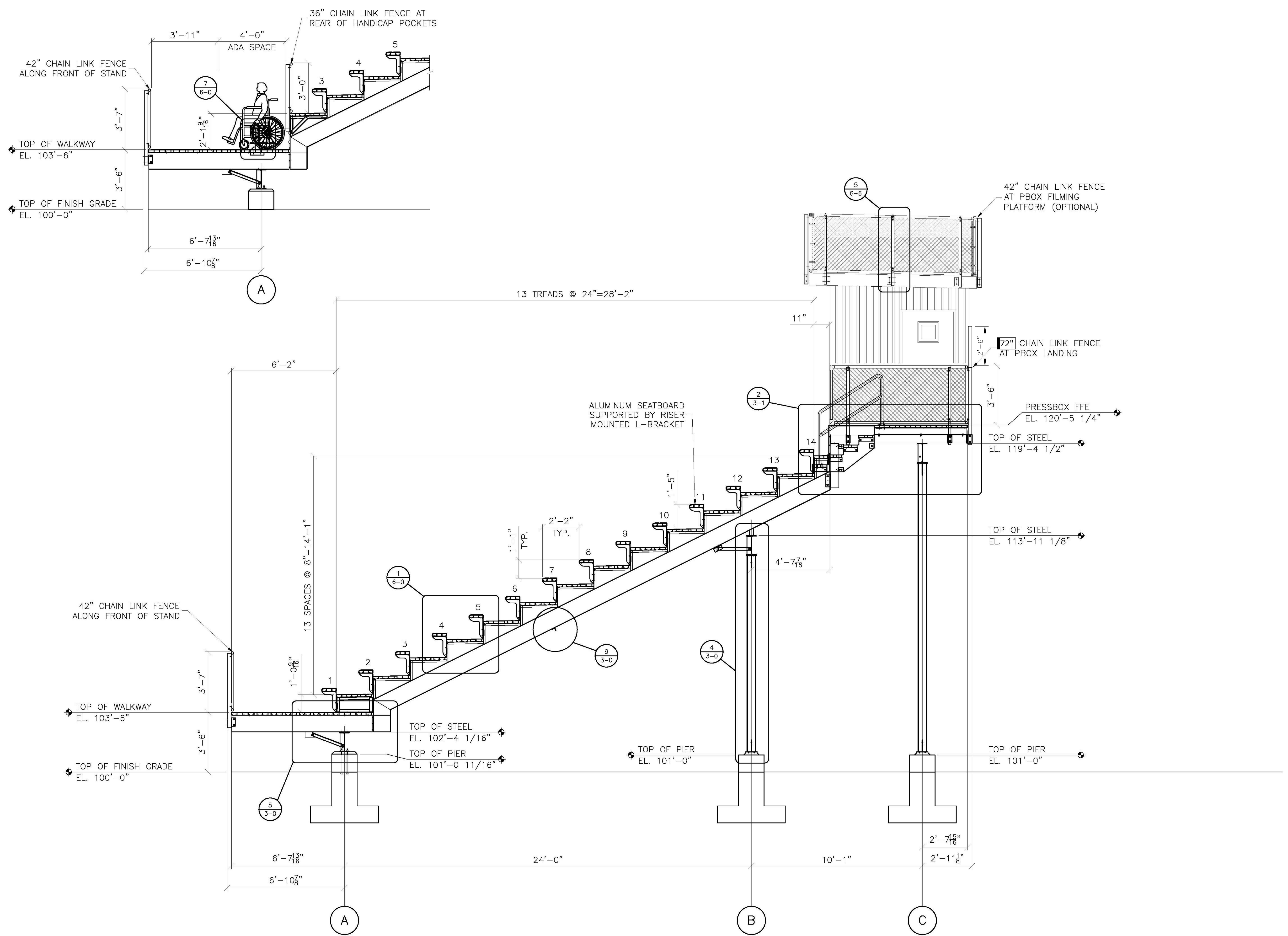
DESCRIPTION	DATE	BY

**SITE DETAILS**  
 SIMSBURY HIGH SCHOOL  
 GRANDSTAND & PRESS BOX REPLACEMENT  
 34 FARMS VILLAGE ROAD  
 SIMSBURY, CONNECTICUT

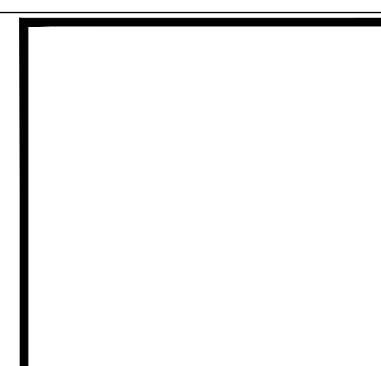
JDL	JDL	KCF
DESIGNED	DRAWN	CHECKED
AS NOTED		
JANUARY 19, 2022		
DATE		
15030.00007		
PROJECT NO.		

**SD-1**

15/21/22 - 41 SIMSBURY HIGH SCHOOL GRANDSTAND & PRESS BOX REPLACEMENT  
 99 REALTY DRIVE SUITE 200 WESTFIELD, MA 01095  
 TEL: 413-253-1177 FAX: 413-253-1178  
 WWW.SLRCONSULTING.COM



**1** SECTION THRU BLEACHER  
 SCALE: N.T.S.



**SLR**  
 CONSULTING  
 99 REALTY DRIVE  
 SUITE 200  
 WESTFIELD, MA 01095  
 TEL: 413-253-1177  
 WWW.SLRCONSULTING.COM

DESCRIPTION	DATE	BY

**SITE DETAILS**  
**SIMSBURY HIGH SCHOOL**  
**GRANDSTAND & PRESS BOX REPLACEMENT**  
 34 FARMS VILLAGE ROAD  
 SIMSBURY, CONNECTICUT

JDL DESIGNED	JDL DRAWN	KCF CHECKED
SCALE AS NOTED		
DATE JANUARY 19, 2022		
PROJECT NO. 15030.00007		

**SD-2**  
 SHEET NAME



