

**ZONING BOARD OF APPEALS APPLICATION
TOWN OF SIMSBURY, 933 HOPMEADOW STREET, SIMSBURY, CT 06070**

Application Number: _____ Fee \$ _____

Requested Action (please check appropriate box):

Variance

Appeal Decision of
Zoning Official

Location of Property: 34 Farms Village Road
(number and street name)

Simsbury Assessor's Map Number F11 Block Number 148 Lot Number 016


Deed Volume Number 0147 Page Number 0676 (property owner must supply copy of the deed)

Applicant - Please Print the Following:

Name: SLR International Corporation c/o Kevin Fuselier, PLA
Address: 99 Realty Drive
Cheshire, CT 06410
Email: kfuselier@slrconsulting.com Telephone: 203-271-1773

Signature of Applicant:  Date: 10/5/21

Applicant's Interest in Property: Engineer/Architect on the project.

Record Owner of Property: Simsbury Public Schools c/o Jason Casey - Director of Infrastructure and Technology
(print name & address of owner)
 Date: 10/5/21
(signature of owner)

Property is in Zone R-40 of (applicable section(s) Zoning Regulations Section 3

Describe the nature of your application, including the amount of variance requested:
See attached project summary and supplemental permit information.

Describe the specific hardship:
See attached project summary and supplemental permit information.

*This application must be accompanied by required fee, site plan and any other information required by the Zoning Regulations, Building Code, or Rules of the Board. **EACH APPLICATION SHALL INCLUDE A LIST OF NAMES AND ADDRESSES OF ALL ABUTTING PROPERTY OWNERS AND ALL PROPERTY OWNERS WITHIN 100 FEET OF THE SUBJECT SITE. Six complete sets of folded plans and eleven copies of the completed and signed application, and any correspondence, must be submitted with the application. Pictures of the property and letters from the neighbors are very helpful. Applicant and/or Authorized Agent must attend meeting.***

NOTE: PICKUP YOUR PUBLIC HEARING SIGN WHEN APPLICATION IS SUBMITTED.

INCOMPLETE APPLICATIONS WILL NOT BE CONSIDERED



**Town of Simsbury
Zoning Board of Appeals Application
Project Description/Variance Request/Specific Hardship
for
34 Farms Village Road
Simsbury High School
Grandstand and Press Box Reconstruction**

Describe the nature of your application, including the amount of variance requested:

Simsbury Public Schools is proposing to replace the existing grandstand and press box that serve the running track and synthetic turf multisport field located at Simsbury High School. The existing structure(s) are located on the western side of the high school property along the existing primary track and field. This project will require the removal of the existing grandstand and press box structure, the associated steel and concrete support system, and a small timber storage shed. The existing concrete-masonry storage building beneath the grandstand shall remain. This application is seeking approvals to construct a new, safer, and more accessible grandstand and press box that will be compliant with the state building code and Americans with Disabilities Act (ADA). In order to achieve compliance, the new grandstand and press box structure will require a slightly larger footprint than the existing grandstand footprint.

The Simsbury Zoning Regulations Section 3.9 Dimensional Requirements states that the side yard building setback in a R-40 Low Density Residential designated zone is 40 feet. The current grandstand and press box do not meet the required setback and are located approximately 21.65 feet from the side yard property line. If approved and constructed, the proposed grandstand improvements will reduce the proposed setback by approximately 6.23 feet, resulting in a proposed setback of 15.42 feet from the property in this same location.

Describe the specific hardship:

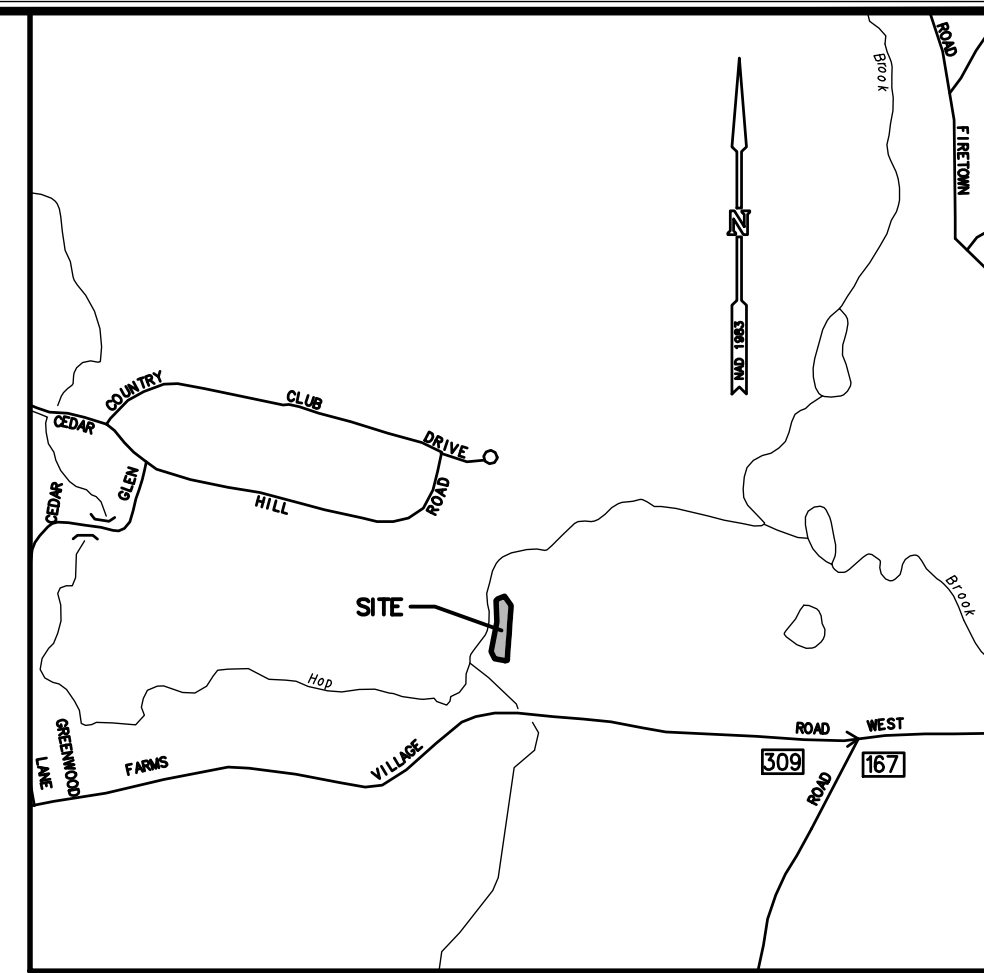
The current grandstand and press box do not meet the required 40-foot setback, at 21.65 feet from a side yard property line as designated in a R-40 Zone, and this replacement project will require a further reduction in the setback to 15.42 feet. The need for the project is to bring the bleacher and press box up to modern building codes, improve universal accessibility, and increase the overall seating capacity, which is deficient. If the grandstand replacement was required to meet the 40-foot setback, or even the current reduced setback of 21.65 feet, the project would not meet the need for increased seating and increased universal accessibility. The track and field stadium are the high school's primary competition field, and there are no plans to relocate this facility elsewhere on the campus. It is not feasible to shift the track and field in its current location to accommodate the proposed grandstand improvements, and a 40-foot building setback at this location would require complete reconstruction of the track and field. All required sedimentation and erosion controls will be implemented prior to any work on this project to define and protect the existing setback area.

The existing vegetative buffer between the grandstand and property line will remain unchanged. For these reasons, a variance is respectfully requested for reduction of the R-40 side yard building setback.

15030.00007.o621.ltr

SIMSBURY HIGH SCHOOL GRANDSTAND & PRESS BOX REPLACEMENT

34 FARMS VILLAGE ROAD
SIMSBURY, CONNECTICUT

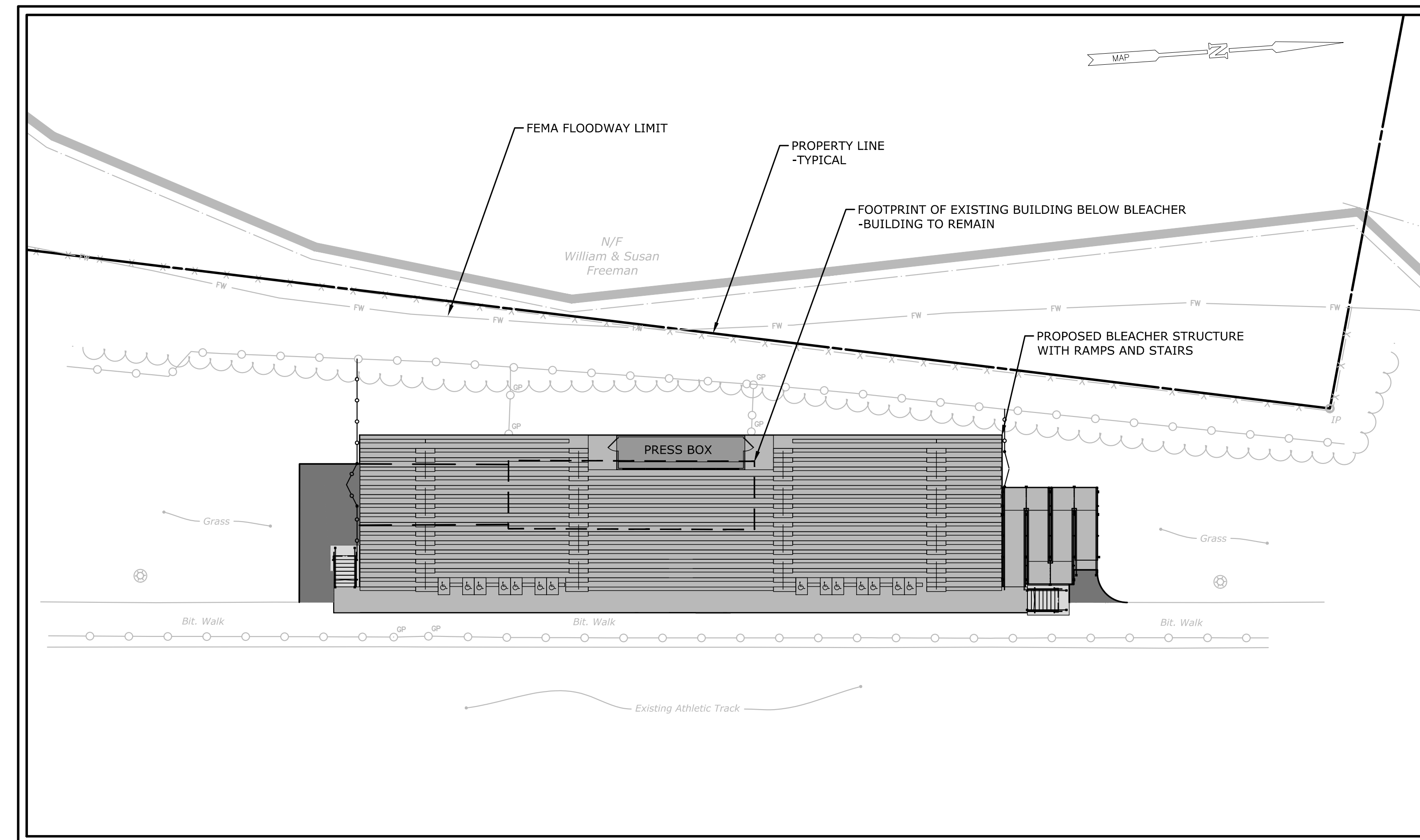


LOCATION MAP
SCALE: 1"=1000'

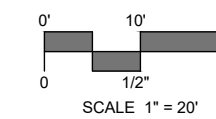
GENERAL NOTES

- BOUNDARY INFORMATION IS BASED UPON FIELD SURVEY CONDUCTED BY: SLR INTERNATIONAL CORPORATION (SLR), TAKEN FROM A MAP ENTITLED "IMPROVEMENT LOCATION SURVEY" PREPARED FOR SIMSBURY BOARD OF EDUCATION AT A SCALE OF 1"=20', DATED: JULY 14, 2021.
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- SLR INTERNATIONAL CORPORATION, ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- INLAND WETLAND BOUNDARY WAS FLAGGED BY: PETER SHEA, LEP, SENIOR ENVIRONMENTAL SCIENTIST, SLR INTERNATIONAL CORPORATION ON JULY 7, 2021.
- ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL, AND BE SEEDED WITH GRASS OR SODDED, AS SHOWN ON THE PLANS.
- ALL STORM DRAIN PIPE SHALL BE HIGH DENSITY POLY ETHYLENE (HDPE) UNLESS OTHERWISE INDICATED.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF SIMSBURY REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 818 AND ADDENDUMS
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
- PERIMETER SWALES AND RESPECTIVE SILTATION BASINS SHALL BE COMPLETED AND RESTORED PRIOR TO PROCEEDING WITH OTHER SITE CONSTRUCTION.
- THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

ZONING BOARD OF APPEALS
OCTOBER 5, 2021



PROJECT SITE VICINITY MAP:



PROJECT DATA:

PROPERTY AREA:	46.2 ACRES (2,012,472 SQ. FT.)
EXISTING ZONE:	R-40 (LOW DENSITY RESIDENTIAL)

ZONING DATA:

	REGULATION	REQUIRED	EXISTING	PROPOSED
MINIMUM REQUIRED	LOT SIZE	40,000 SQ. FT.	NO CHANGE	NO CHANGE
	LOT FRONTAGE	200'	NO CHANGE	NO CHANGE
	FRONT YARD SETBACK	50'	NO CHANGE	NO CHANGE
	SIDE YARD SETBACK	40'	21.65'	15.42'
MAXIMUM REQUIRED	REAR YARD SETBACK	50'	NO CHANGE	NO CHANGE
	BUILDING HEIGHT	35'	±33'	34'-2"
	IMPERVIOUS COVERAGE	N/A	N/A	N/A

PREPARED BY:



PREPARED FOR:

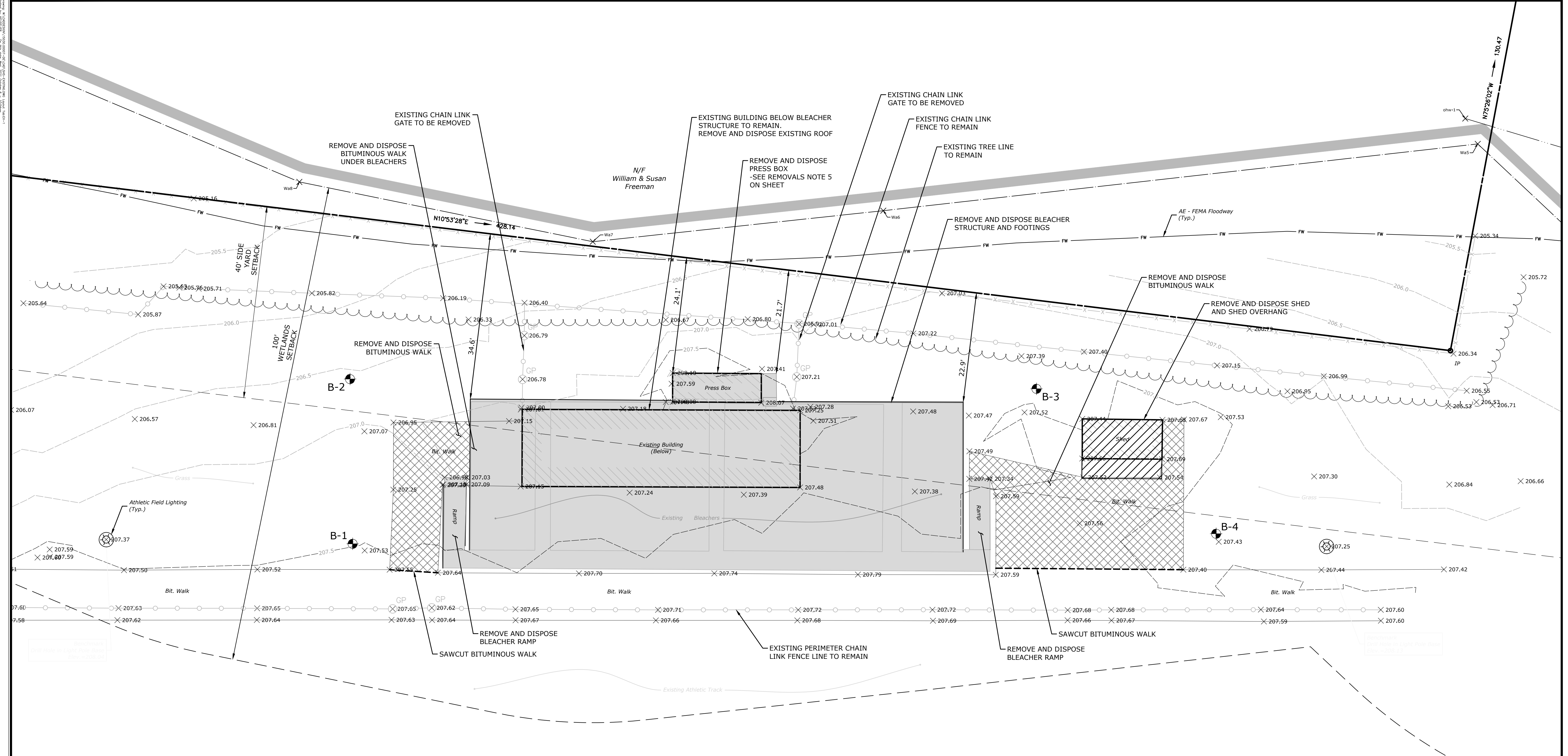
MR. JASON CASEY
DIRECTOR OF INFRASTRUCTURE & TECHNOLOGY
SIMSBURY PUBLIC SCHOOLS
34 FARMS VILLAGE ROAD
SIMSBURY, CT 06070

LIST OF DRAWINGS

NAME	TITLE
--	TITLE SHEET
EX-1	EXISTING CONDITIONS AND REMOVALS PLAN
SP-1	SITE PLAN
SE-1	SEDIMENT AND EROSION CONTROL PLAN NOTES AND DETAILS
SD-1 - SD-4	SITE DETAILS
PB-1	SITE DETAILS - PRESS BOX



Know what's below.
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EXISTING CONDITIONS NOTES

- BOUNDARY INFORMATION IS BASED UPON FIELD SURVEY CONDUCTED BY: SLR INTERNATIONAL CORPORATION (SLR), TAKEN FROM A MAP ENTITLED "IMPROVEMENT LOCATION SURVEY" PREPARED FOR SIMSBURY BOARD OF EDUCATION AT A SCALE OF 1"=20', DATED: JULY 14, 2021.
- BORINGS BY SLR WERE PERFORMED BY SITE, LLC ON 6/21/2021. SEE GEOTECHNICAL REPORT PREPARED BY SLR FOR FINDINGS AND RECOMMENDATIONS.
- THE LOCATIONS OF THESE BORINGS WERE DETERMINED BY TAPING/PACING FROM EXISTING SITE FEATURES. THESE LOCATIONS SHOULD BE CONSIDERED ACCURATE ONLY TO THE DEGREE IMPLIED BY THE METHOD USED.

EXISTING CONDITONS LEGEND

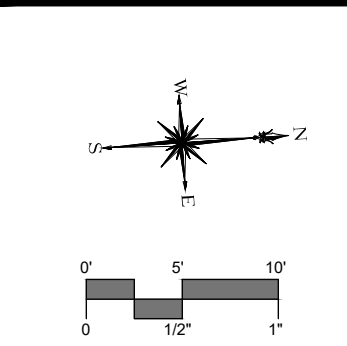
- PROPERTY LINE
- WIRE FENCE
- CHAIN LINK FENCE
- TREELINE
- AE - FEMA FLOODWAY
- GATE POST
- FENCE POST
- LIGHT POST
- IRON PIPE FOUND
- IRON PIN FOUND
- BORINGS BY SLR

REMOVALS NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR HAULING AND DISPOSING ALL MATERIAL DESIGNATED FOR REMOVAL OFFSITE IN A PROPER AND LEGAL MANNER.
- THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DISTURBED AREAS BACK TO PRE-CONSTRUCTION CONDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ALL UTILITIES ABOVE AND BELOW GRADE AS NEEDED.
- BACKFILL AND COMPACT ALL AREAS OF REMOVED STRUCTURES AND FOUNDATIONS WITH STRUCTURAL FILL.
- UPON REMOVAL OF PRESS BOX, SALVAGE FOR REUSE: ALL COMMUNICATIONS EQUIPMENT, PA SYSTEM, SCHOOL SIGNAGE, ECT. COORDINATE WITH OWNER PRIOR TO REMOVAL.

REMOVALS LEGEND

- REMOVE AND DISPOSE BITUMINOUS WALK
- REMOVE AND DISPOSE BLEACHER STRUCTURE, PRESS BOX, RAMP, AND FOOTINGS
- REMOVE AND DISPOSE SHED AND SHED OVERHANG
- SAWCUT BITUMINOUS WALK

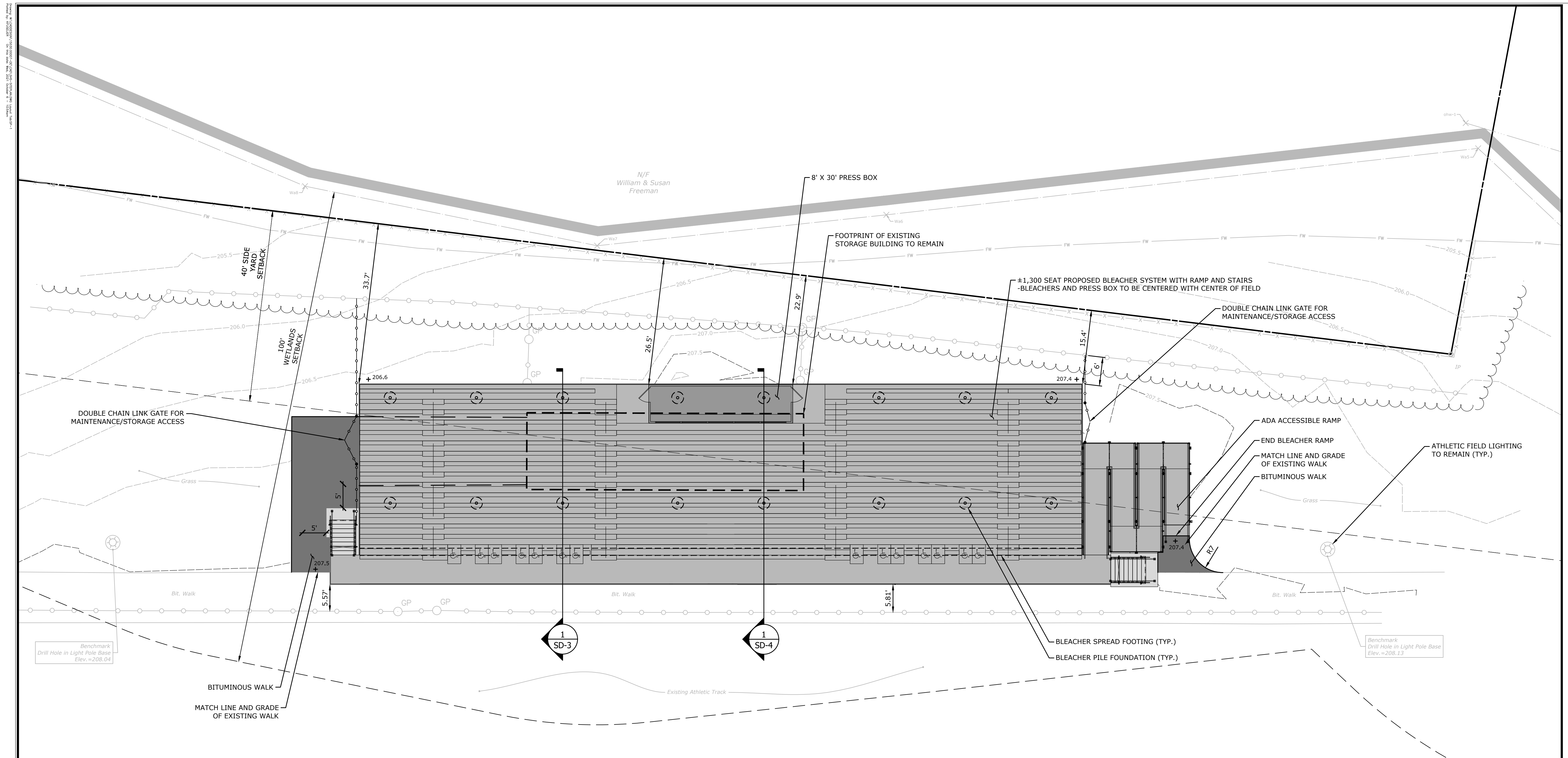


DATE	BY

SITE PLAN - EXISTING CONDITIONS AND REMOVALS PLAN
SIMSBURY HIGH SCHOOL
GRANDSTAND & PRESS BOX REPLACEMENT
 34 FARMS VILLAGE ROAD
 SIMSBURY, CONNECTICUT

JDL DESIGNED	JDL DRAWN	KCF CHECKED
SCALE 1"=10'		
DATE OCTOBER 5, 2021		
PROJECT NO. 15030.00007		

EX-1



LAYOUT NOTES

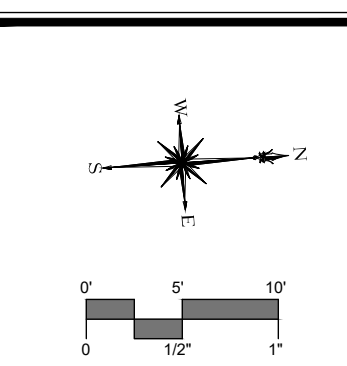
1. SLR INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR MAPS AND DATA THAT HAVE BEEN PREPARED AND SUPPLIED BY OTHERS.
2. LAYOUT CRITERIA AND DIMENSIONS FOR BUILDINGS ARE NOT SHOWN ON THIS PLAN. ALL BUILDINGS SHALL BE LOCATED BY A CONNECTICUT LICENSED SURVEYOR AND COORDINATED WITH THE FOUNDATION PLANS SUPPLIED BY THE ARCHITECT OR THEIR CONSULTANT. ALL FOUNDATION PLANS SHALL BE PROVIDED TO THE SURVEYOR AND THE ENGINEER AT THE TIME OF STAKE-OUT REQUEST.
3. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
4. FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDINGS AND BLEACHERS REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.

LAYOUT LEGEND

- CONCRETE
- BLEACHER STRUCTURE
- PRESS BOX
- BITUMINOUS WALK
- FOOTPRINT OF EXISTING BUILDING TO REMAIN
- BLEACHER PIER FOUNDATION
- BLEACHER SPREAD FOOTING

SEATING PLAN

ROWS 17	ELEVATION 56"
RISE 14	RUN 26
DECK SYSTEM - WELDED	
DECK FINISH - ANODIZED SRD	
BENCH SEATING CAPACITY	1285
CHAIR SEATING CAPACITY	0
WHEELCHAIR SEATING CAPACITY	14
COMPANION SEATING CAPACITY	14
TOTAL SEATING CAPACITY	1313



DESCRIPTION	DATE	BY

SITE PLAN
 SIMSBURY HIGH SCHOOL
 GRANDSTAND & PRESS BOX REPLACEMENT
 34 FARMS VILLAGE ROAD
 SIMSBURY, CONNECTICUT

JDL DESIGNED	JDL DRAWN	KCF CHECKED
SCALE 1"=10'		
DATE OCTOBER 5, 2021		
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SP-1

SEDIMENT & EROSION CONTROL SPECIFICATIONS

GENERAL:
 THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION, AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.
 IN GENERAL, ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATER BODY, AND CONDUIT CARRYING WATER, ETC. THE CONTRACTOR SHALL LIMIT, INsofar AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATER COURSES, AND WATER BODIES, AND TO PREVENT, INsofar AS POSSIBLE, EROSION ON THE SITE.

LAND GRADING

- GENERAL:
- THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES, SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
 - THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4).
 - PROVISION SHALL BE MADE TO CONDUCT SURFACE WATER SAFELY TO STORM DRAINS TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
 - EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTling, OR CRACKING.
 - NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSES, OR WATER BODIES.
 - PRIOR TO ANY REGRADING, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.

TOPSOIL

- GENERAL:
- TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH, AND MAINTENANCE OF VEGETATION.
 - UPON ATTAINING FINAL SUBGRADES, SCARIFY SURFACE TO PROVIDE A GOOD BOND WITH TOPSOIL.
 - REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS AND CONSTRUCTION DEBRIS.
 - APPLY LIME ACCORDING TO SOIL TEST OR AT THE RATE OF TWO (2) TONS PER ACRE. MATERIAL: 1. TOPSOIL SHOULD HAVE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS FAVORABLE TO THE GROWTH OF PLANTS.
 - TOPSOIL SHOULD HAVE A SANDY OR LOAMY TEXTURE. 3. TOPSOIL SHOULD BE RELATIVELY FREE OF SUBSOIL MATERIAL AND MUST BE FREE OF STONES LARGER THAN 1.25" , LUMPS OF SOIL, ROOTS, TREE LIMBS, TRASH, OR CONSTRUCTION DEBRIS. IT SHOULD BE FREE OF ROOTS OR RHIZOMES SUCH AS THISTLE, NUTGRASS, AND QUACKGRASS.

- AN ORGANIC MATTER CONTENT OF SIX PERCENT (6%) IS REQUIRED. AVOID LIGHT COLORED SUBSOIL MATERIAL. SUITABLE. AVOID TIDAL MARSH SOILS BECAUSE OF HIGH SALT CONTENT
- SOLUBLE SALT CONTENT OF OVER 500 PARTS PER MILLION (PPM) IS LESS 6. THE pH SHOULD BE 5.5 TO 7 IF LESS, ADD LIME TO INCREASE pH TO AN ACCEPTABLE LEVEL.

EXECUTION

- AVOID SPREADING WHEN TOPSOIL IS WET OR FROZEN.
- SPREAD TOPSOIL UNIFORMLY TO A DEPTH OF AT LEAST SIX INCHES (6"), OR TO THE DEPTH SHOWN ON THE LANDSCAPING PLANS.

VEGETATIVE COVER SELECTION AND MULCHING

TEMPORARY VEGETATIVE COVER:
 PERENNIAL RYEGRASS 5 LBS./1,000 SQ.FT. (LOLIUM PERENNE)
 * PERMANENT VEGETATIVE COVER: SEE SPECIFICATIONS

TEMPORARY MULCHING:
 CLEAN DRY STRAW OR HAY FREE OF WEEDS WITH A MULCH TACKIFIER 70-90 LBS./1,000 SQ.FT. (TEMPORARY VEGETATIVE AREAS)
 WOOD FIBER IN HYDROMULCH SLURRY 25-50 LBS./1,000 SQ. FT.

- ESTABLISHMENT:
- SMOOTH AND FIRM SEEDBED WITH CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING).
 - SELECT ADAPTED SEED MIXTURE FOR THE SPECIFIC SITUATION. NOTE RATES AND THE SEEDING DATES (SEE VEGETATIVE COVER SELECTION & MULCHING SPEC. ABOVE).
 - APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
 - COVER GRASS AND LEGUME SEED WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).
 - MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO TEMPORARY MULCHING SPECIFICATIONS. (SEE VEGETATIVE COVER SELECTION & MULCHING SPECIFICATION ABOVE).
 - USE PROPER INOCULANT ON ALL LEGUME SEEDINGS, USE FOUR (4) TIMES NORMAL RATES WHEN HYDROSEEDING.
 - USE SOD WHERE THERE IS A HEAVY CONCENTRATION OF WATER AND IN CRITICAL AREAS WHERE IT IS IMPORTANT TO GET A QUICK VEGETATIVE COVER TO PREVENT EROSION.

- MAINTENANCE:
- TEST FOR SOIL ACIDITY EVERY THREE (3) YEARS AND LIME AS REQUIRED.
 - ON SITES WHERE GRASSES PREDOMINATE, BROADCAST ANNUALLY 500 POUNDS OF 10-10-10 FERTILIZER PER ACRE (12 LBS. PER 1,000 SQ. FT.) OR AS NEEDED ACCORDING TO ANNUAL SOIL TESTS.
 - ON SITES WHERE LEGUMES PREDOMINATE, BROADCAST EVERY THREE (3) YEARS OR AS INDICATED BY SOIL TEST 300 POUNDS OF 0-20-20 OR EQUIVALENT PER ACRE (8 LBS PER 1,000 SQ. FT.).

EROSION CHECKS

GENERAL:
 TEMPORARY PVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND OR GEOTEXTILE FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

- CONSTRUCTION:
- BALES SHOULD BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF FOUR (6") INCHES.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY WOOD STAKES OR REINFORCEMENT BARS DRIVEN THROUGH THE BALES AND INTO THE GROUND. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
 - GEOTEXTILE FABRIC SHALL BE SECURELY ANCHORED AT THE TOP OF A THREE FOOT (3') HIGH FENCE AND BURIED A MINIMUM OF SIX INCHES (6") TO THE SOIL. SEAMS BETWEEN SECTIONS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF TWO FEET (2').

- INSTALLATION AND MAINTENANCE:
- BALED HAY EROSION BARRIERS SHALL BE INSTALLED AT ALL STORM SEWER INLETS.
 - BALED HAY EROSION BARRIERS AND GEOTEXTILE FENCE SHALL BE INSTALLED AT THE LOCATION INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DEEMED APPROPRIATE DURING CONSTRUCTION.
 - ALL EROSION CHECKS SHALL BE MAINTAINED UNTIL ADJACENT AREAS ARE STABILIZED.
 - INSPECTION SHALL BE FREQUENT (PER TABLE BELOW) AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - EROSION CHECKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM WATER FLOW OR DRAINAGE.

TEMPORARY VEGETATIVE COVER

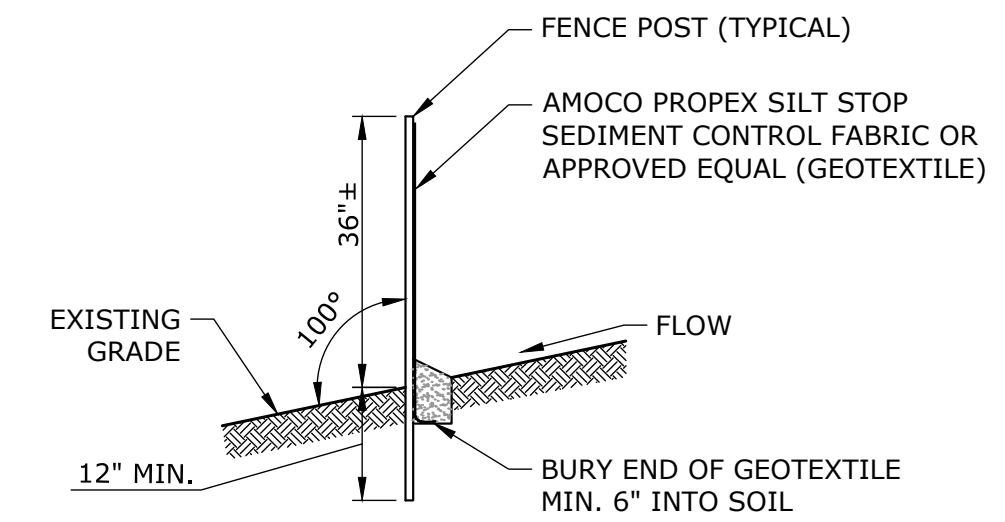
TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT, AREAS WHERE FINAL GRADING HAS BEEN COMPLETED, AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS. TEMPORARY VEGETATIVE COVER SHALL BE APPLIED IF AREAS WILL NOT BE PERMANENTLY SEEDDED BY SEPTEMBER 1.

- GENERAL:
- INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
 - REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
 - APPLY LIME ACCORDING TO SOIL TEST OR AT A RATE OF TWO (2) TON OF GROUND DOLOMITIC LIMESTONE PER ACRE (5 LBS. PER 100 SQ. FT.).
 - APPLY FERTILIZER ACCORDING TO SOIL TEST OR AT THE RATE OF 300 LBS. OF 10-10-10 PER ACRE (7 LBS. PER 1,000 SQ. FT.) AND SECOND APPLICATION OF 200 LBS. OF 10-10-10- (5 LBS. PER 1,000 SQ. FT.) WHEN GRASS IS FOUR INCHES (4") TO SIX INCHES (6") HIGH. APPLY ONLY WHEN GRASS IS DRY.
 - UNLESS HYDROSEEDDED, WORK IN LIME AND FERTILIZER TO A DEPTH OF FOUR (4") INCHES USING A DISK OR ANY SUITABLE EQUIPMENT.
 - TILLAGE SHOULD ACHIEVE A REASONABLY UNIFORM LOOSE SEEDBED. WORK ON CONTOUR IF SITE IS SLOPING.

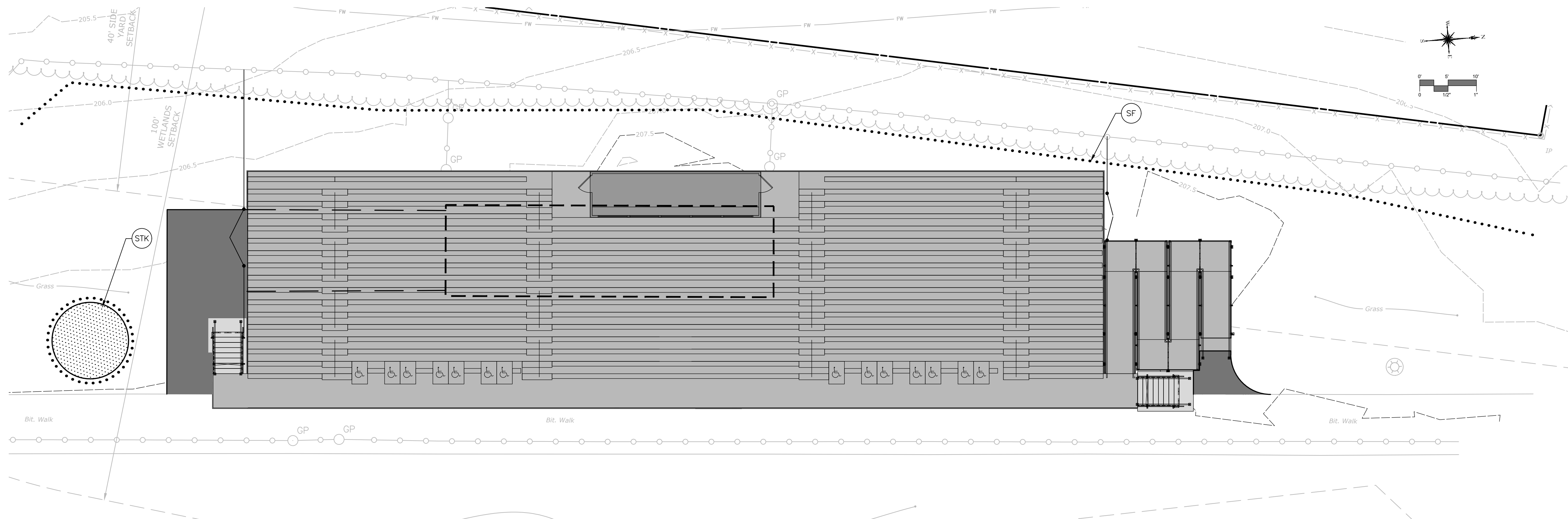
- SITE PREPARATION:
- SELECT APPROPRIATE SPECIES FOR THE SITUATION. NOTE RATES AND SEEDING DATES (SEE VEGETATIVE COVER SELECTION & MULCHING)
 - APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
 - UNLESS HYDROSEEDDED, COVER RYEGRASS SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL USING SUITABLE EQUIPMENT.
 - MULCH IMMEDIATELY AFTER SEEDING IF REQUIRED. (SEE VEGETATIVE)

GENERAL:
 PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF, AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

- SITE PREPARATION:
- INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
 - REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
 - PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
 - APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.
 - APPLY FERTILIZER ACCORDING TO SOIL TEST OR PER THE TECHNICAL SPECIFICATIONS.



SEDIMENT FILTER FENCE
 NOT TO SCALE



EROSION CONTROL LEGEND

- SF SEDIMENT FILTER FENCE
- STK TEMPORARY STOCKPILE SURROUND WITH SEDIMENT FILTER FENCE

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, TOWN OF SIMSBURY, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.

- PURPOSE AND DESCRIPTION OF PROJECT
 - UPGRADES TO EXISTING BLEACHER SYSTEM
 - ESTIMATED AREA OF DISTURBANCE: 40.23 ACRES
- IDENTIFICATION OF EROSION AND SEDIMENT CONTROL CONCERNS
 - SPOILS FROM FOUNDATION/FOOTING INSTALLATION FOR NEW BLEACHERS
 - PROTECTION OF WETLANDS
- OTHER REPORTS
 - INLAND WETLANDS DELINEATION REPORT PREPARED BY SLR CONSULTING

SEDIMENT AND EROSION CONTROL PLAN
 SCALE: 1"=10'



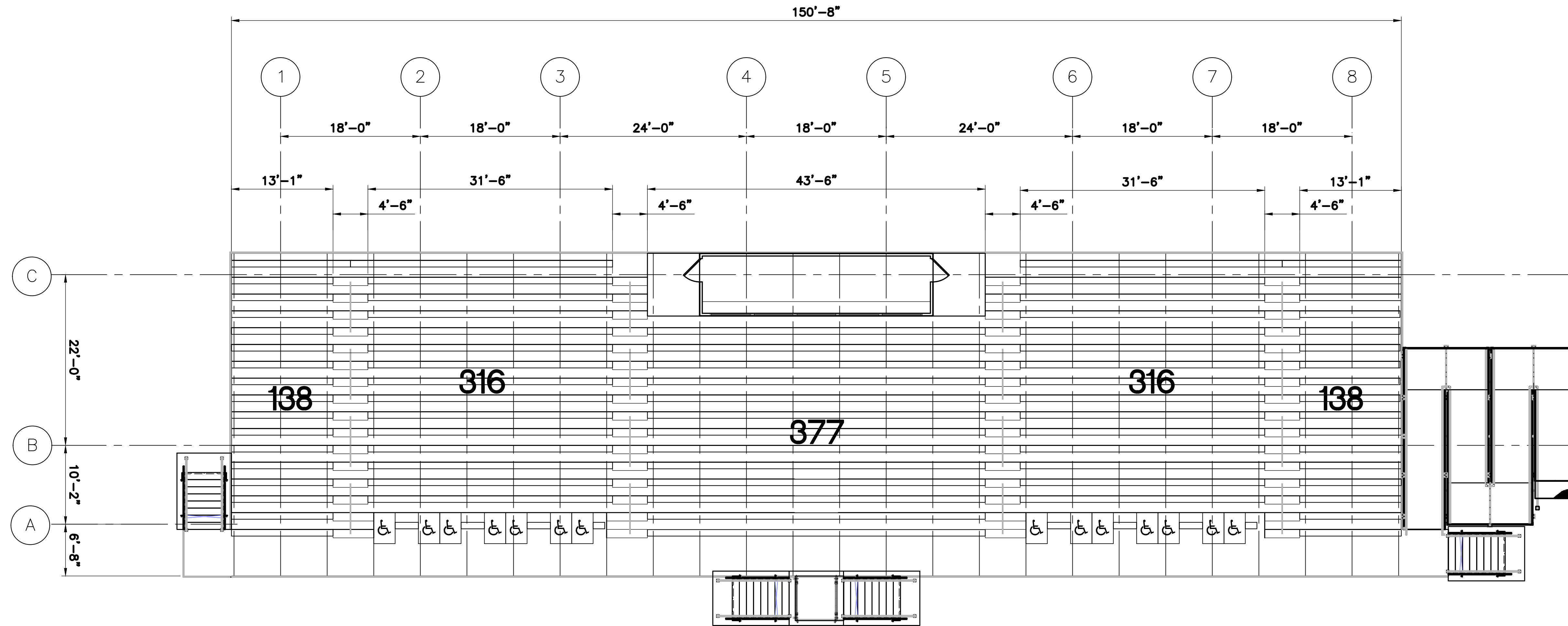
DESCRIPTION	DATE	BY

SEDIMENT AND EROSION CONTROL PLAN NOTES AND DETAILS
 SIMSBURY HIGH SCHOOL
 GRANDSTAND & PRESS BOX REPLACEMENT
 34 FARMS VILLAGE ROAD
 SIMSBURY, CONNECTICUT

JDL DESIGNED	JDL DRAWN	KCF CHECKED
AS NOTED		
OCTOBER 5, 2021		
15030.00007		
PROJECT NO.		

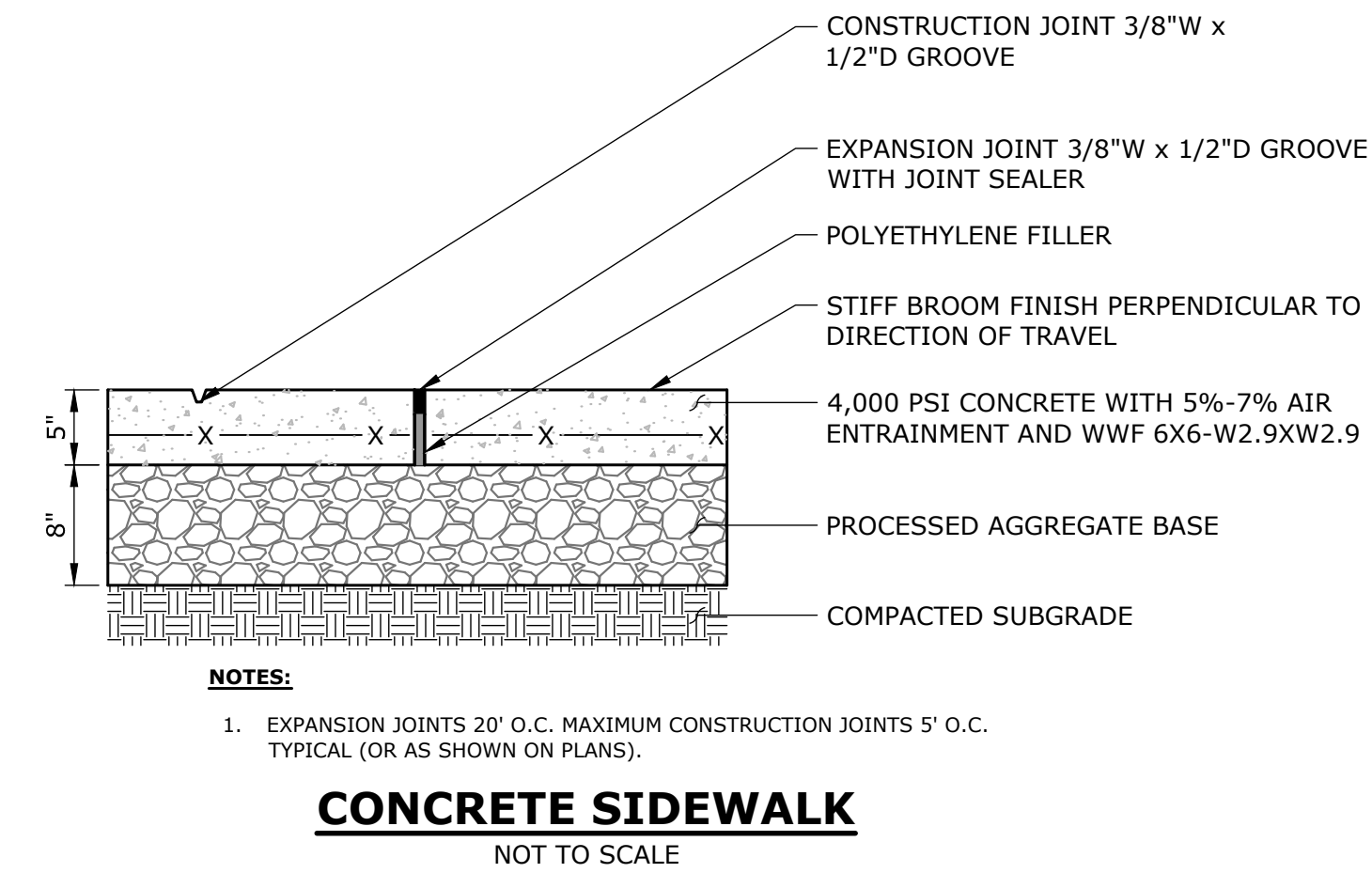
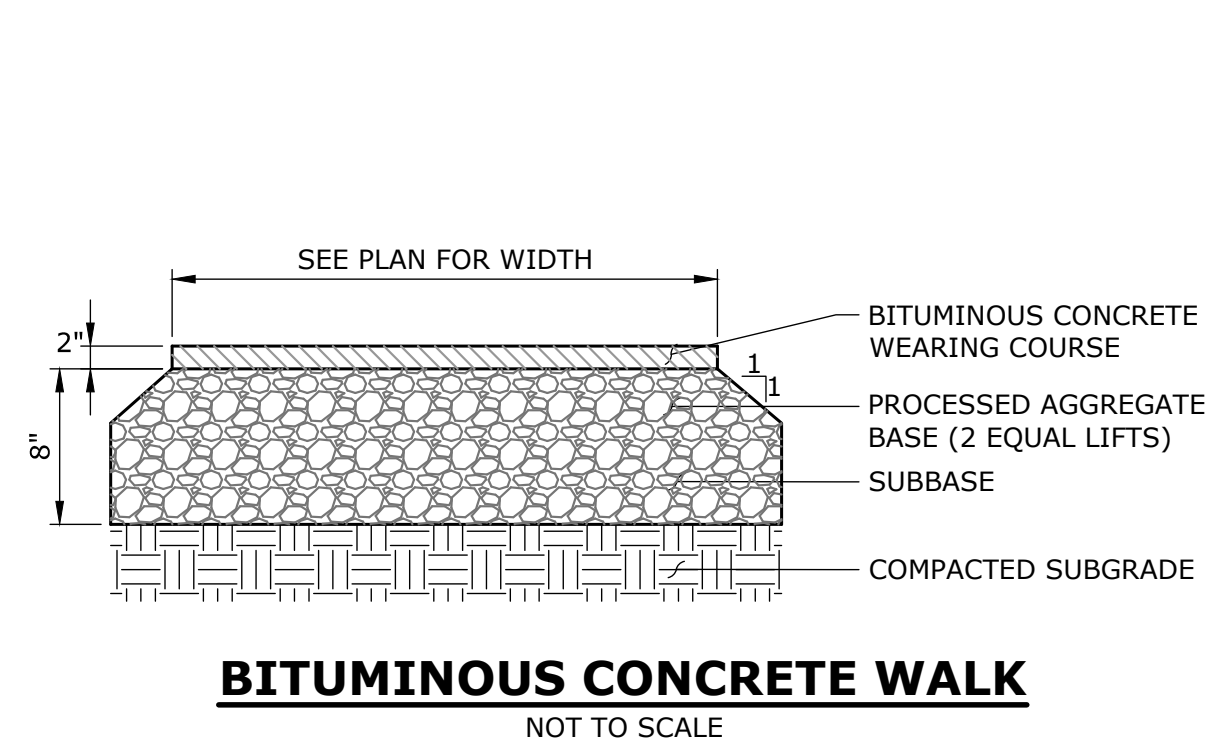
SE-1

SHEET NO. 15030.00007
 PROJECT NO. 15030.00007
 DATE: OCTOBER 5, 2021
 DRAWN BY: JDL
 CHECKED BY: KCF



SEATING PLAN
SCALE: 1/8"=1'-0"

ROWS	17	ELEVATION	56"
RISE	14	RUN	26
DECK SYSTEM	- WELDED		
DECK FINISH	- ANODIZED SRD		
BENCH SEATING CAPACITY	1285		
CHAIR SEATING CAPACITY	0		
WHEELCHAIR SEATING CAPACITY	14		
COMPANION SEATING CAPACITY	14		
TOTAL SEATING CAPACITY	1313		



NOTES:
1. EXPANSION JOINTS 20' O.C. MAXIMUM CONSTRUCTION JOINTS 5' O.C. TYPICAL (OR AS SHOWN ON PLANS).



DESCRIPTION	DATE	BY

SITE DETAILS
SIMSBURY HIGH SCHOOL
GRANDSTAND & PRESS BOX REPLACEMENT
 34 FARMS VILLAGE ROAD
 SIMSBURY, CONNECTICUT

JDL	JDL	KCF
DESIGNED	DRAWN	CHECKED
SCALE: AS NOTED		
DATE: OCTOBER 5, 2021		
PROJECT NO.: 15030.00007		

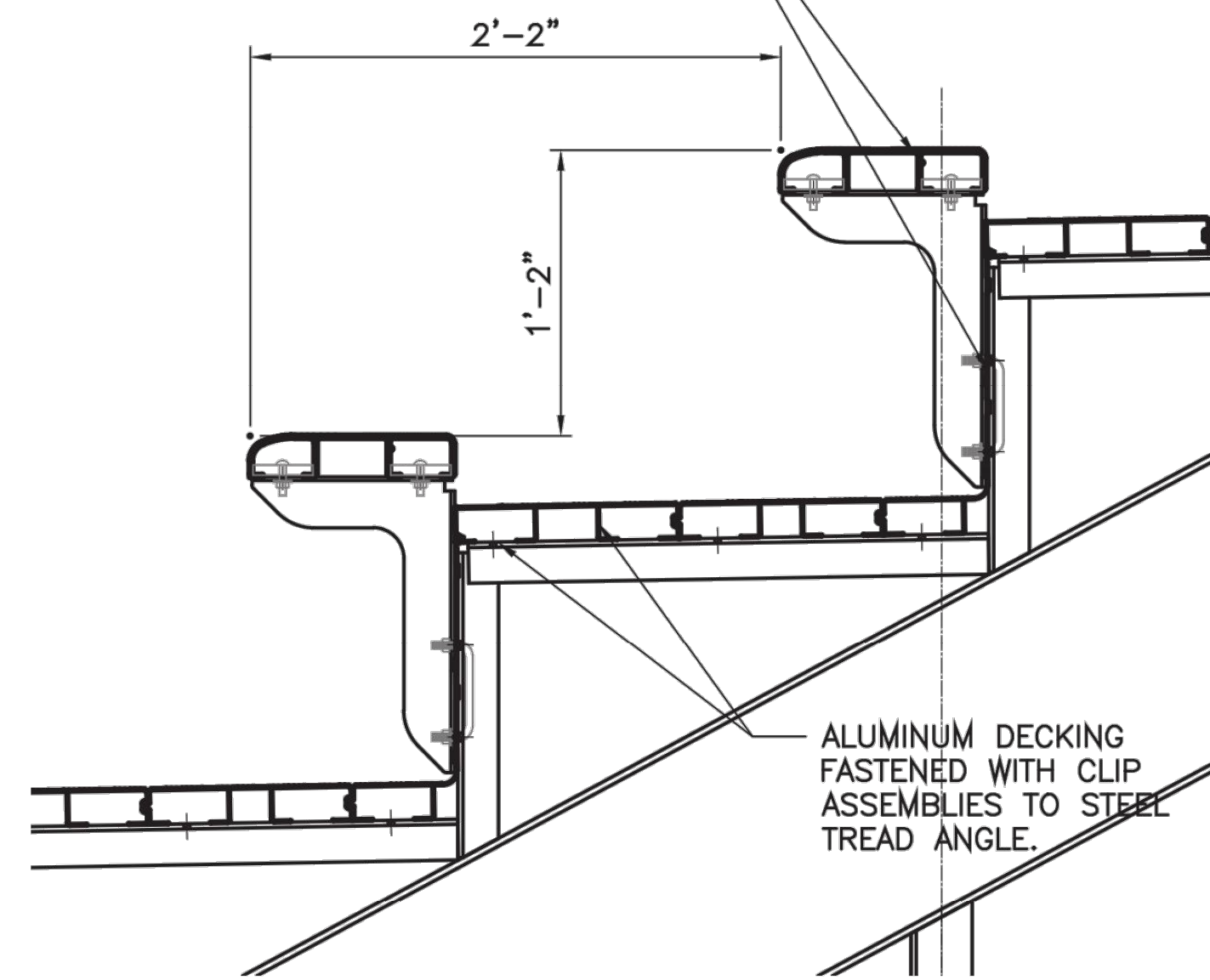
SD-1

SHEET NAME

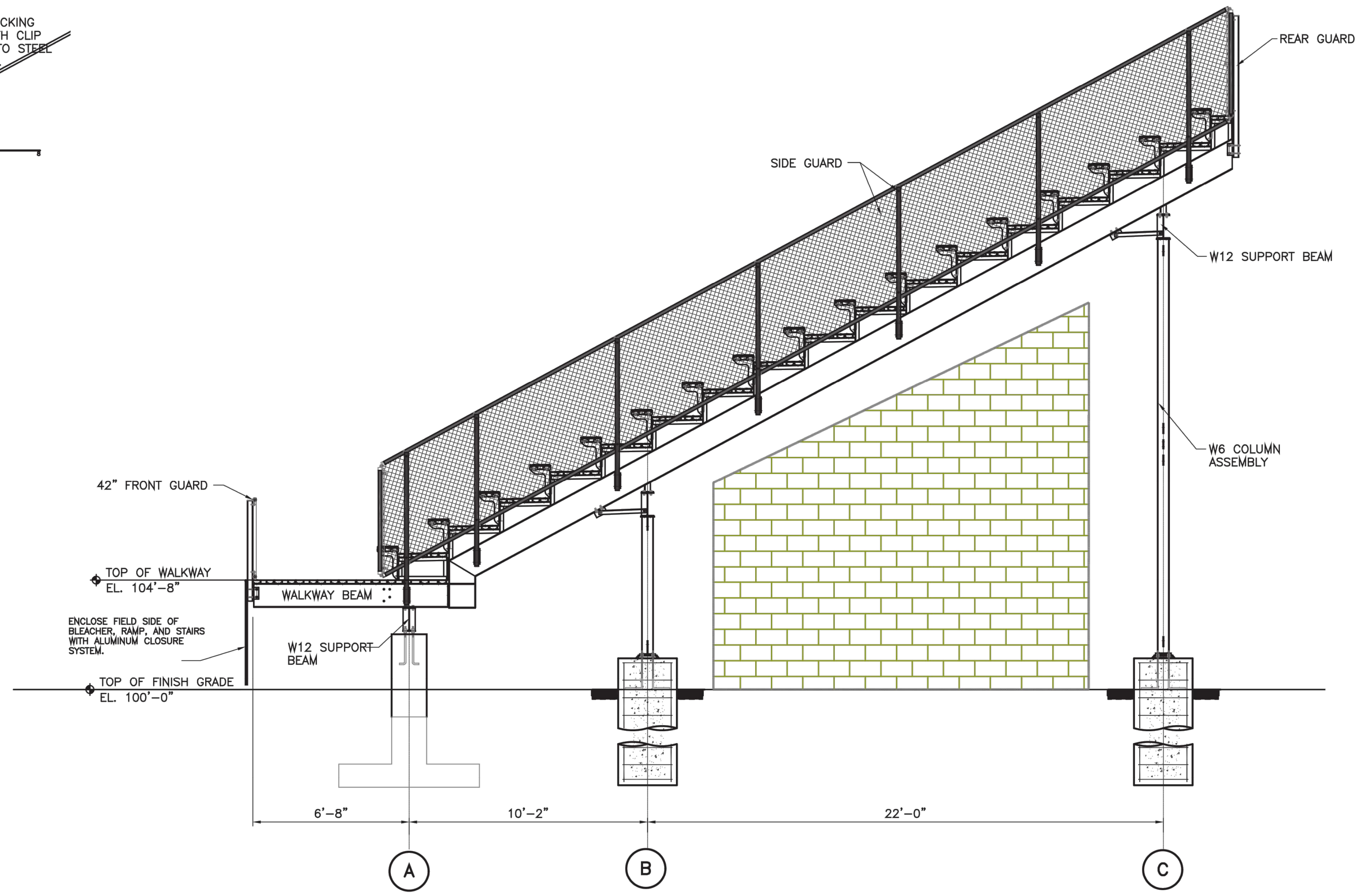
Copyright SLR International Corporation - 2021

UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY.

2x10 ALUMINUM SEATBOARD FASTENED WITH CLIP ASSEMBLIES TO RISER MOUNTED STEEL BRACKET FASTENED WITH BOLTED ASSEMBLIES TO STEEL RISER ANGLE.



2 SEATING DETAIL



1 END ELEVATION



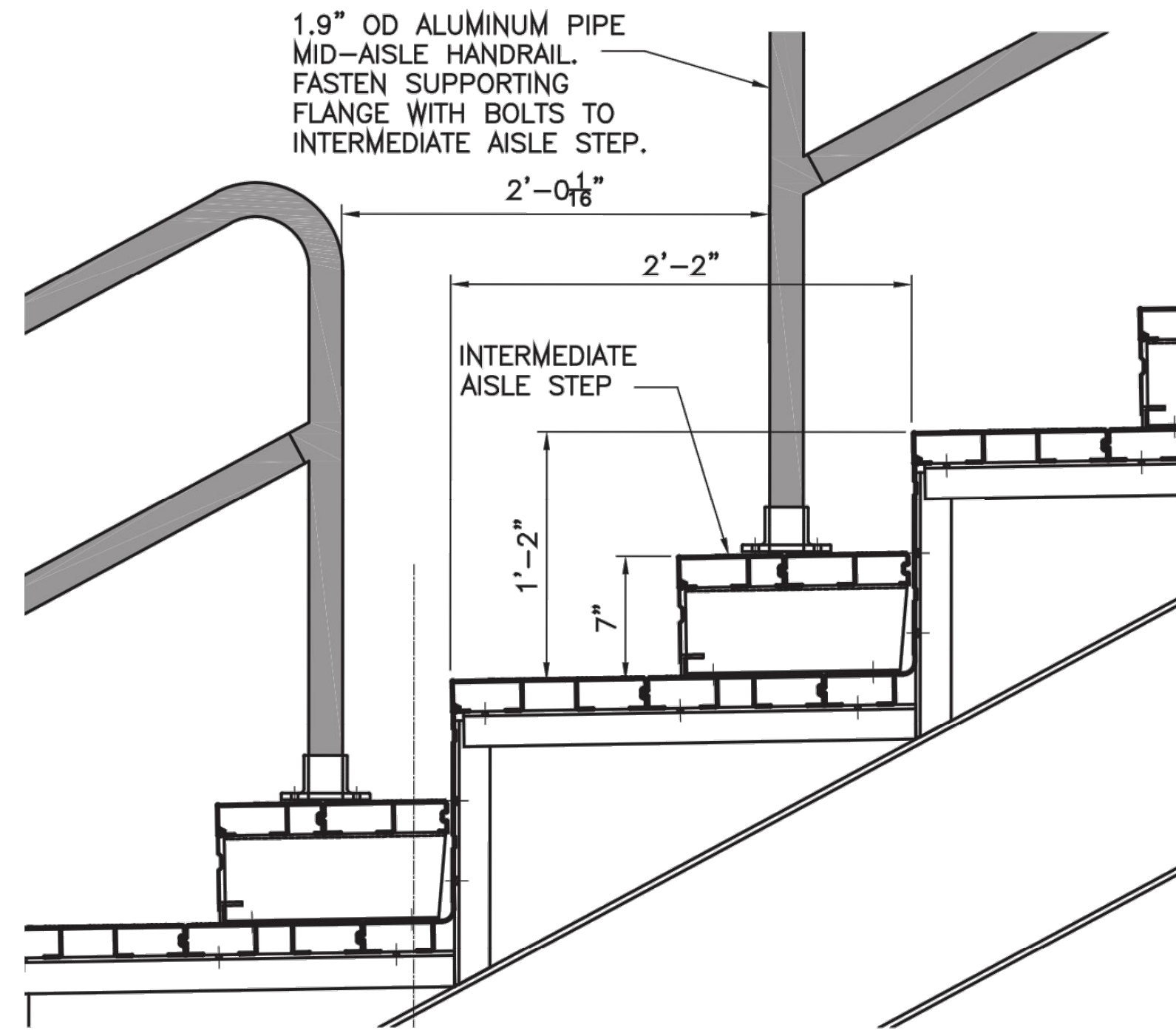
DESCRIPTION	DATE	BY

SITE DETAILS
 SIMSBURY HIGH SCHOOL
 GRANDSTAND & PRESS BOX REPLACEMENT
 34 FARMS VILLAGE ROAD
 SIMSBURY, CONNECTICUT

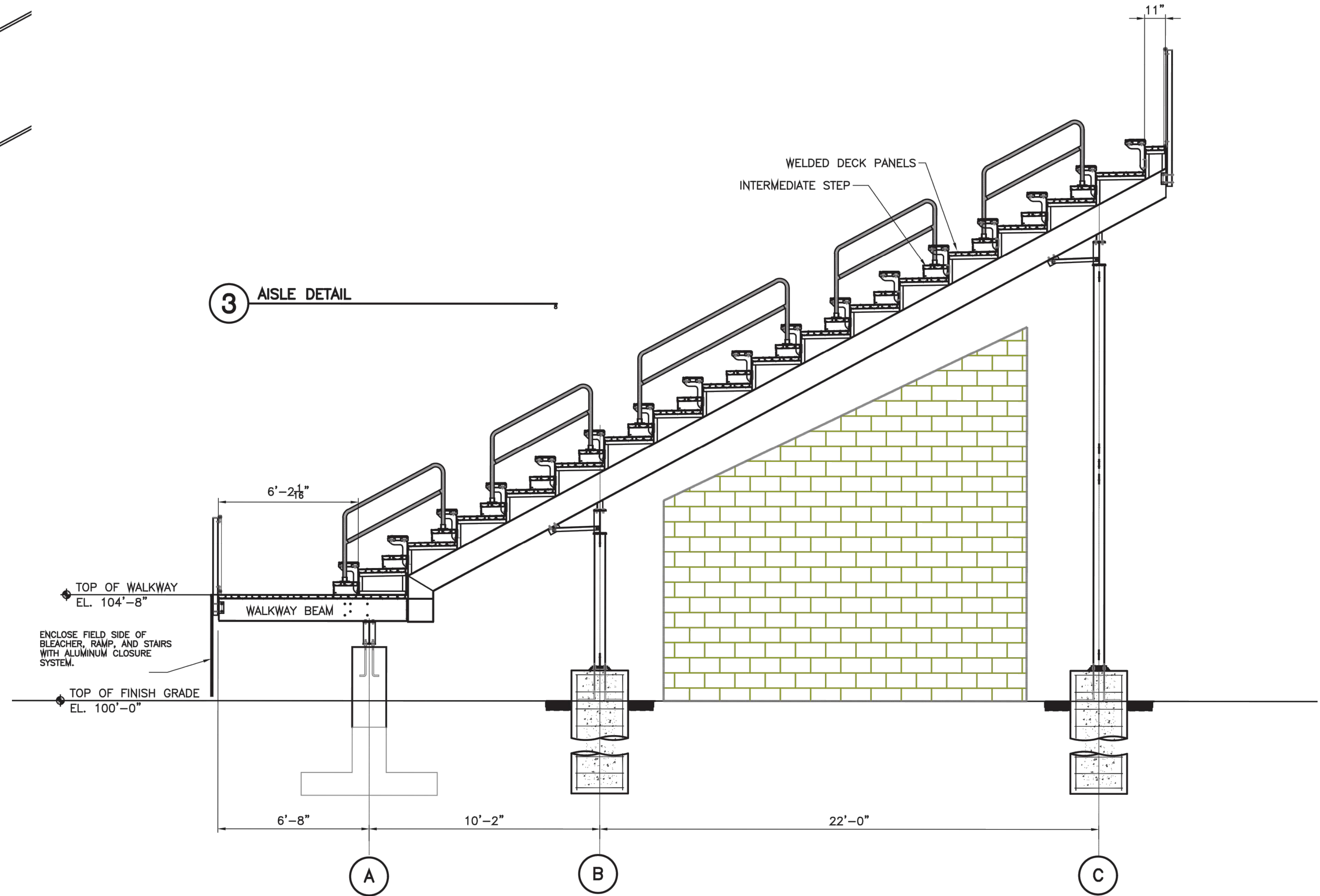
JDL	JDL	KCF
DESIGNED	DRAWN	CHECKED
SCALE		
AS NOTED		
DATE		
OCTOBER 5, 2021		
PROJECT NO.		
15030.00007		

SD-2

UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE IN INCHES AND DECIMALS THEREOF. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



3 AISLE DETAIL



1 SECTION THRU BLEACHER AT AISLE



99 REALTY DRIVE
 SUITE 200
 2032711772
 SLRCONSULTING.COM

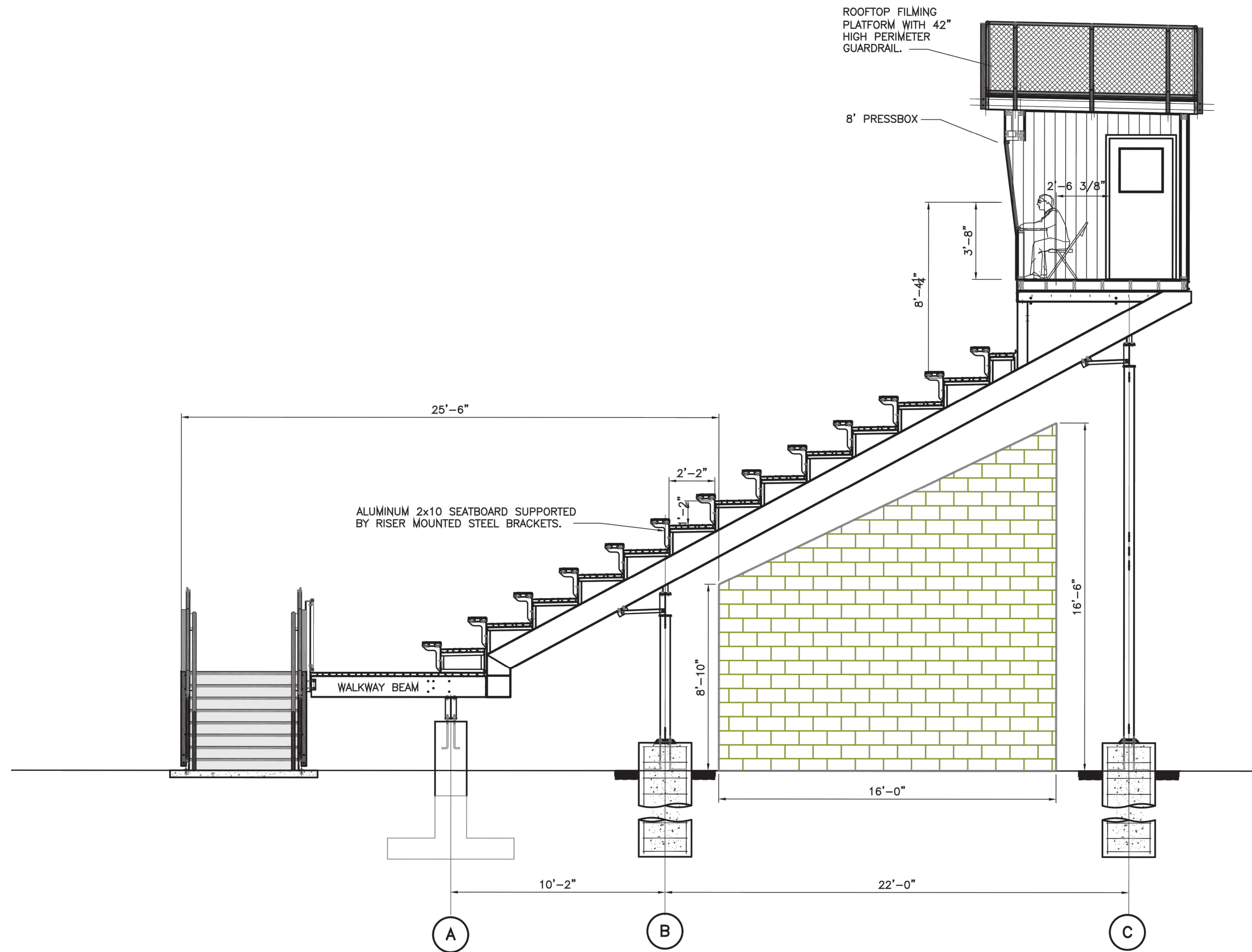
DESCRIPTION	DATE	BY

SITE DETAILS
 SIMSBURY HIGH SCHOOL
 GRANDSTAND & PRESS BOX REPLACEMENT
 34 FARMS VILLAGE ROAD
 SIMSBURY, CONNECTICUT

JDL DESIGNED	JDL DRAWN	KCF CHECKED
SCALE AS NOTED		
DATE OCTOBER 5, 2021		
PROJECT NO. 15030.00007		

SD-3

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES INDICATE TYPICAL DIMENSIONS. DIMENSIONS IN SMALLER FONT SIZE TAKE PRECEDENCE OVER DIMENSIONS IN LARGER FONT SIZE.



1 SECTION THRU BLEACHER AT PRESSBOX

JDL
 DESIGNED

JDL
 DRAWN

KCF
 CHECKED

AS NOTED
 SCALE

DATE
 OCTOBER 5, 2021

PROJECT NO.
 15030.00007

SHEET NAME
SD-4

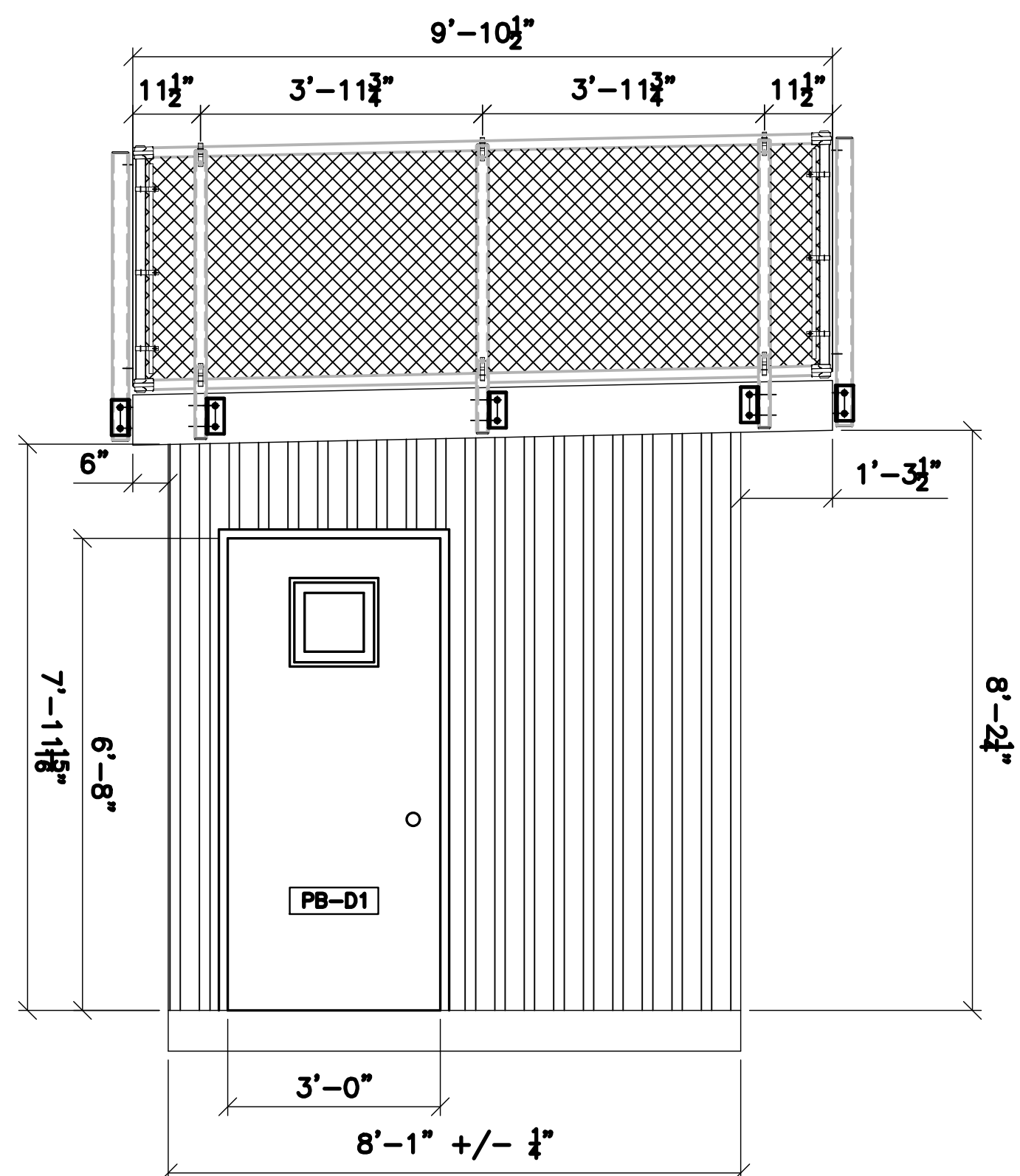
SITE DETAILS

SIMSBURY HIGH SCHOOL
 GRANDSTAND & PRESS BOX REPLACEMENT
 34 FARMS VILLAGE ROAD
 SIMSBURY, CONNECTICUT

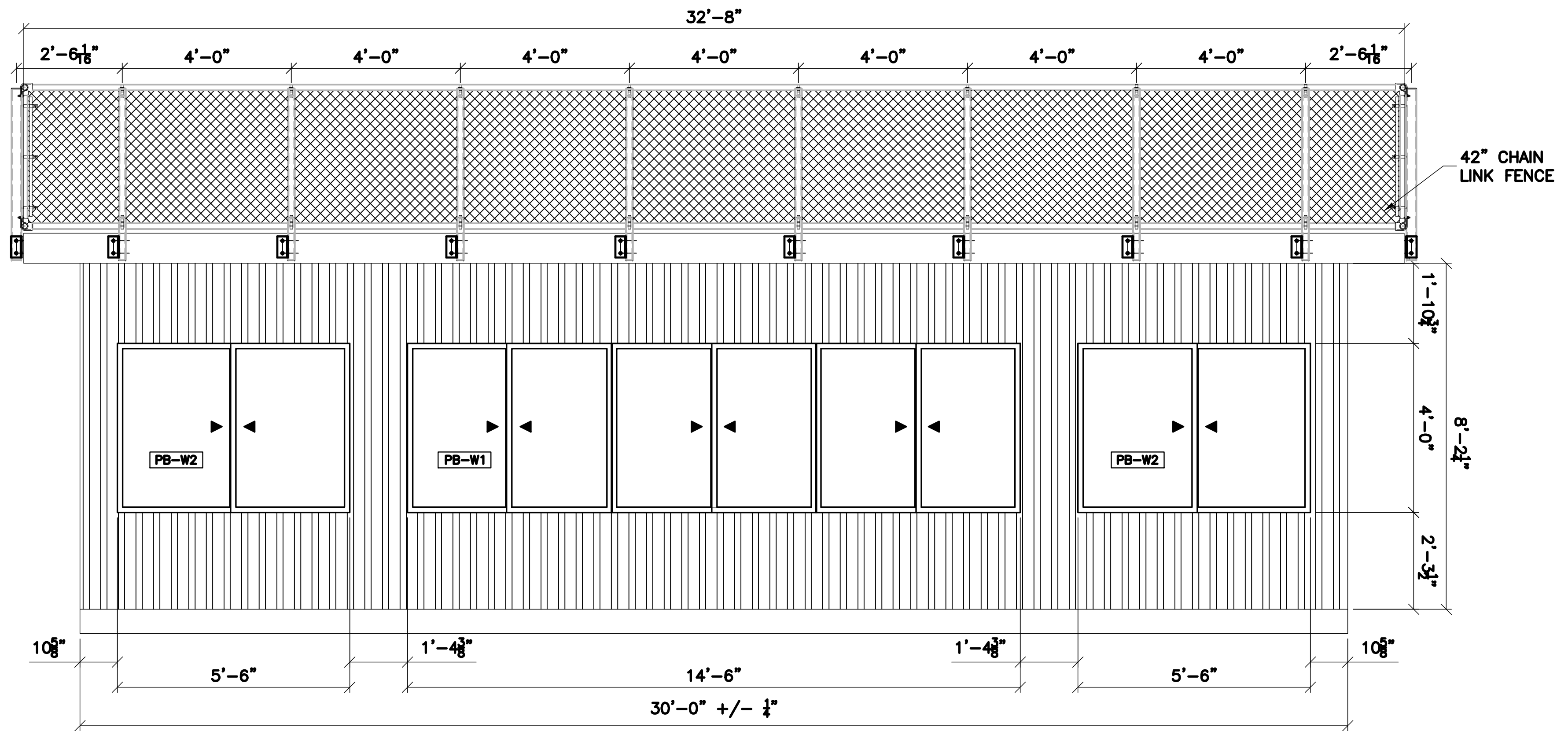
DESCRIPTION
 DATE
 BY

SLR
 99 REALTY DRIVE
 SUITE 200
 2032711772
 SLRCONSULTING.COM

10/21/21 10:00 AM 15030.00007 - SIMSBURY HIGH SCHOOL GRANDSTAND & PRESS BOX REPLACEMENT
 99 REALTY DRIVE SUITE 1000
 203.271.7171
 SLRCONSULTING.COM



1 SIDE ELEVATION



2 FRONT ELEVATION

DESIGNED: JDL
 DRAWN: JDL
 CHECKED: KCF

SCALE: AS NOTED
 DATE: OCTOBER 5, 2021
 PROJECT NO.: 15030.00007

SHEET NAME: PB-1

SITE DETAILS - PRESS BOX
 SIMSBURY HIGH SCHOOL
 GRANDSTAND & PRESS BOX REPLACEMENT
 34 FARMS VILLAGE ROAD
 SIMSBURY, CONNECTICUT

DESCRIPTION	DATE	BY

SLR
 99 REALTY DRIVE
 SUITE 1000
 203.271.7171
 SLRCONSULTING.COM

TABLE 1
 Abbutters List
 Simsbury High School Grandstand & Press Box Replacement

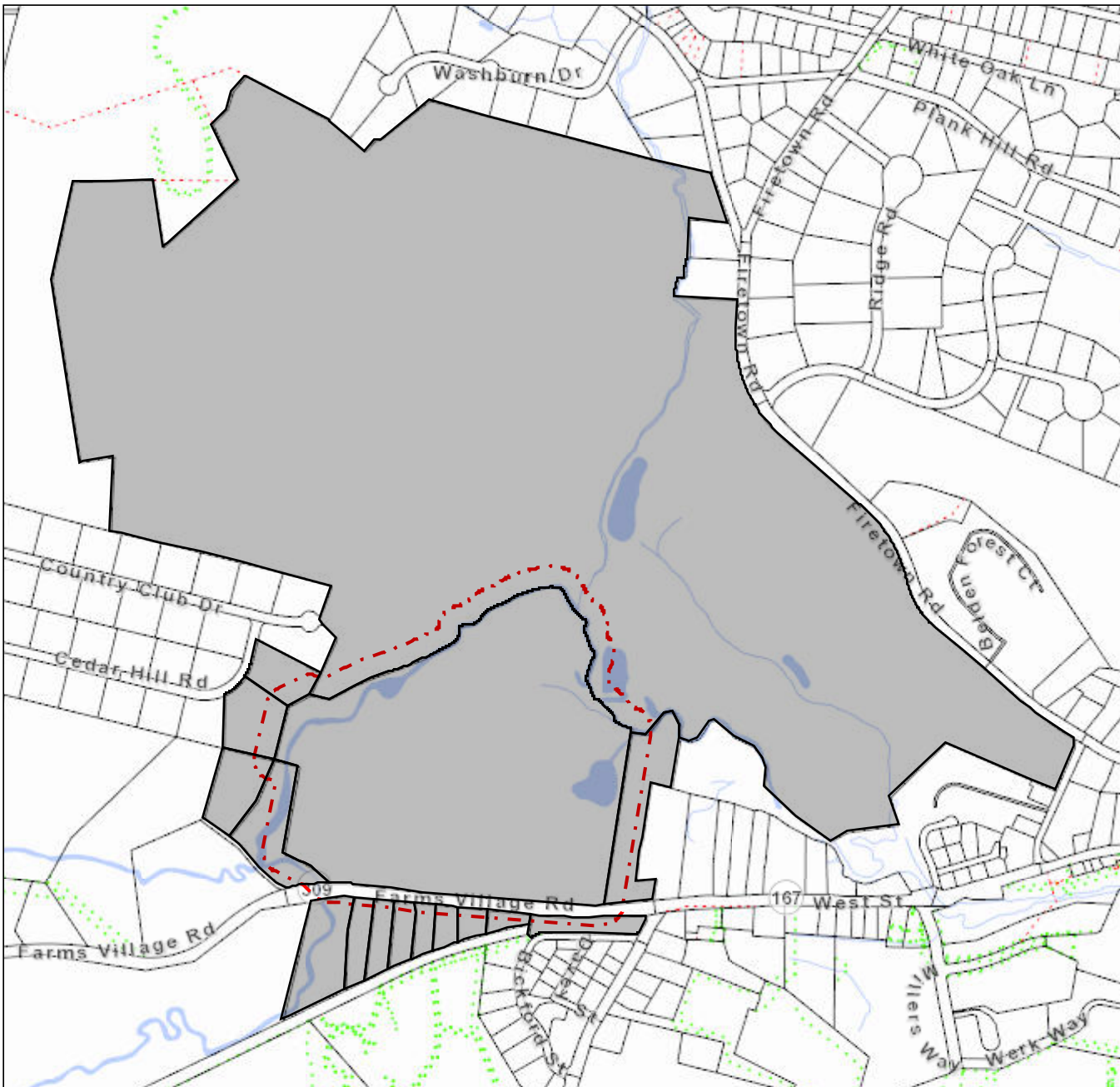
Parcel ID	Site Address	Owner Name	Mailing Address	Mailing City	Mailing State	Mailing Zip
F11 148 016	34 FARMS VILLAGE ROAD	TOWN OF SIMSBURY	34 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
F11 149 002	31 FARMS VILLAGE ROAD	MARKOWSKI SHARON L AND CONSTANTIN	31 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
E11 151 004	37 FARMS VILLAGE ROAD	CHERTKOVA STELLA AND JOHNSON DEAN ADAMS	37 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
F11 149 PARCEL	FARMS VILLAGE ROAD	DAVEY-BICKFORD HOME OWNERS	P O BOX 842	SIMSBURY	CT	06070- 0000
F11 149 013	19 FARMS VILLAGE ROAD	CONROY KATHRYN J	19 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
E11 151 006	45 FARMS VILLAGE ROAD	45 FARMS VILLAGE ROAD LLC	79 WOODRUFF ROAD	FARMINGTON	CT	06032- 0000
F11 148 019	2 FARMS VILLAGE ROAD	GIRARD BROTHERS CORPORATION	P O BOX 581	SIMSBURY	CT	06070- 0000
E10 147 036	23 CEDAR HILL ROAD	HAGEN STEVEN R & HELEN H	23 CEDAR HILL ROAD	WEST SIMSBURY	CT	06092- 0000
E10 147 035	21 CEDAR HILL ROAD	HENSLEY ROBERT S AND SUSAN B	21 CEDAR HILL ROAD	WEST SIMSBURY	CT	06092- 0000
F11 149 012	23 FARMS VILLAGE ROAD	GUNDEL NEIL	23 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
E11 151 005	41 FARMS VILLAGE ROAD	LOGAN HECTOR D AND ISABEL	41 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
F11 149 003	35 FARMS VILLAGE ROAD	JOHNSON JASON K AND MEGHAN	35 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
F11 149 001	27 FARMS VILLAGE ROAD	KROYTOR ANATOLY AND BOGDAN GRETTA	27 FARMS VILLAGE ROAD	SIMSBURY	CT	06070- 0000
E10 147 016B	2 WELDEN WAY	FREEMAN WILLIAM AND SUSAN	2 WELDEN WAY	SIMSBURY	CT	06070- 0000
E10 147 16A	4 WELDEN WAY	VERRENGIA JULIE F	4 WELDEN WAY	SIMSBURY	CT	06070- 0000

Town of Simsbury

Geographic Information System (GIS)

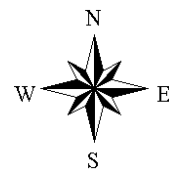


Date Printed: 9/13/2021



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Simsbury and its mapping contractors assume no legal responsibility for the information contained herein.



To all People to whom these Presents shall come, Greeting:

KNOW YE, THAT It, Farmstead, Inc., a duly organized corporation located in the Town of Simsbury, County of Hartford and State of Connecticut

for the consideration of One (1) Dollar and other valuable consideration

received to its full satisfaction of the Town of Simsbury, a municipal corporation located in the County of Hartford and State of Connecticut

does give, grant, bargain, sell and confirm unto the said Town of Simsbury, its successors and assigns forever, a certain piece or parcel of land, containing 46.2 acres, more or less, situated in the Town of Simsbury, County of Hartford and State of Connecticut, located on the Northerly side of Farms Village Road, and being more particularly bounded and described as follows:

Northerly, by land now or formerly of the Trustees of the Estate of George P. McLean;
Easterly, by land now or formerly of the Trustees of the Estate of George P. McLean and land now or formerly of The Ensign Bickford Company, partly by each;
Southerly, by Farms Village Road, and
Westerly, by land now or formerly of Gaston Ferrarresso and Josephine Ferrarresso and other land of the Grantor, partly by each.

And being more particularly shown on a certain map entitled "Property of Farmstead Inc. To Be Conveyed To Town of Simsbury Farms Village Road Simsbury, Connecticut Scale 1" = 100' April, 1964" office of Harold R. Sanderson, C.E. & L.S., Bloomfield, Connecticut", certified substantially correct by Clifford A. Washburn, Jr., which map is to be filed in the Town Clerk's Office of Simsbury.

Together with a 10-foot drainage right of way across the South-easterly corner of the adjoining property of Gaston Ferrarresso and Josephine Ferrarresso to Stratton Brook as reserved and set forth in a Warrantee Deed from Farmstead, Inc., to Gaston Ferrarresso and Josephine Ferrarresso, dated June 1, 1964 and recorded in Simsbury Land Records, Volume 147, page 253-254.

And being a portion of the premises conveyed to the Grantor by Warrantee Deed from Newell A. Goddard, dated May 1, 1961 and recorded in Simsbury Land Records, Volume 133, page 182-183.

Said premises are conveyed subject to building and building line restrictions and zoning regulations of the Town of Simsbury.

To Have and to Hold the above granted and bargained premises, with the appurtenances thereof, unto it, the said grantee, its ~~heirs~~ successors, and assigns forever, to it and their own proper use and behoof. And also, it, the said grantor does for it self, its ~~heirs, executors, administrators, and~~ successors, covenant with the said grantee, its ~~heirs~~ successors, and assigns, that at and until the ensembling of these presents, it is well seized of the premises, as a good indefeasible estate in Fee Simple, and has good right to bargain and sell the same in manner and form as is above written and that the same is free from all incumbrances whatsoever, except as hereinbefore mentioned.

And Furthermore, it, the said grantor does by these presents bind itself and its successors its ~~heirs~~ forever to Warrant and Defend the above granted and bargained premises to it, the said grantee, its ~~heirs~~ successors, and assigns, against all claims and demands whatsoever, except as hereinbefore mentioned.

Stamp
82 50



In Witness Whereof, It, Farmstead, Inc., acting herein by Robert R.

Moran, its President, hereunto duly authorized,

has hereunto set its ^{corporate} hand and seal this 10th day of July in the year of our Lord nineteen hundred and sixty four.

Signed, Sealed and delivered in the presence of



Thomas S. Whitman
Thomas S. Whitman
Marion S. Walker
Marion S. Walker

FARMSTEAD, INC.
by *Robert R. Moran* [L.S.]
Robert R. Moran, its
President

.....[L.S.]
.....[L.S.]

Received for Record 7-10-64
St. H. S. and recorded
Town Clerk

STATE OF CONNECTICUT } ss. Simsbury
COUNTY OF HARTFORD }

On this 10th day of July 1964, before me
Thomas S. Whitman, the undersigned officer, personally
appeared Robert R. Moran, who acknowledged
himself to be the President of Farmstead, Inc.

being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as President.

In Witness Whereof I hereunto set my hand and official seal.

Grantee's Address: *Thomas S. Whitman*
Ego Memorial Hall
Thomas S. Whitman
Street and Number

Notary Public — Commissioner of the



Town of Simsbury

933 HOPMEADOW STREET

SIMSBURY, CONNECTICUT 06070

Office of Community Planning and Development

To: Simsbury Zoning Board of Appeals

From: Laura Barkowski, CZET
Code Compliance Officer



Date: October 25, 2021

RE: Application #21-13 of Simsbury Public School, Owner, SLR International Corporations, Applicant, for a variance pursuant to the Simsbury Zoning Regulations 3.9 to allow grandstand and press box within the side yard setback at the property located a 34 Farms Village Road (Assessor's Map F11, Block 148, and Lots 016 (Zone R-40)

DESCRIPTION OF VARIANCE

The applicant is proposing replacement to an existing grandstand and press box at the multisport field located at Simsbury High School. The existing grandstand and press box do not comply with zoning setbacks and is located approximately 22 feet from the side property line. The subject property is located within an R-40 zoning district and applicant is requesting a further reduction to a 15 feet side yard setback.

HARDSHIP

The project narrative states:

“The application is seeking approvals to construct a new, safer, and more accessible grandstand and press box that will be compliant with state building code and Americans with Disability Act (ADA).”

STAFF COMMENT

The public hearing notice was to be published in the Hartford Courant on both October 14, 2021 and October 21, 2021. The neighborhood abutters were mailed notification of the public hearing on October 11, 2021. Staff has received no comment on this application to date.

On October 5, 2021 the Simsbury Conservation and Inland Wetlands Commission approved this application for a new grandstand and press box within the upland review area.

Staff suggests the Board discuss and determine if a hardship exists and state on record.

Telephone (860) 658-3245
Facsimile (860) 658-3206

An Equal Opportunity Employer
www.simsbury-ct.gov

8:30 - 7:00 Monday
8:30 - 4:30 Tuesday through Thursday
8:30 - 1:00 Friday