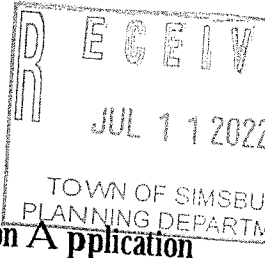




Town of Simsbury

Office of Community Planning and Development - Zoning Commission Application



DATE: 7/11/22 FEE: \$ 240.00 CK #: 1060 APP #: 22-23
 PROPERTY ADDRESS: 348 HOPMEADOW STREET (AKA ADJUSTED PARCEL 2)
 NAME OF OWNER: INFINITY IV, LLC
 MAILING ADDRESS: P.O. Box 28 WATERTOWN, CT 06795
 EMAIL ADDRESS: mark@markgreenbergrealstate.com TELEPHONE # 860-491-1404
 NAME OF AGENT: DAVID S. ZIAKS, PE F.A. HESKETH & ASSOCIATES
 MAILING ADDRESS: 3 CREAMERY BROOK EAST GRANBY, CT 06026
 EMAIL ADDRESS: dziaks@fahesketh.com TELEPHONE # 800-653-8000
 ZONING DISTRICT: I-1 WITH PAD LOT AREA: 13.02 SQ FT/ACRES
 Does this site have wetlands? YES NO
 Have you applied for a wetlands permit? YES NO

REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):

- ZONE CHANGE:** The applicant hereby requests that said premises be changed from zone _____ to zone _____.
- TEXT AMENDMENT:** Please attach proposed changes, including Articles and Sections, and purposes.
- SPECIAL EXCEPTION:** The applicant hereby requests a public hearing pursuant to Article _____, Section _____.
- SITE PLAN APPROVAL:** The applicant hereby requests
 - PRELIMINARY FINAL
 - SITE PLAN AMENDMENT** pursuant to Article 5, Section J
- SIGN PERMIT**
- OTHER (PLEASE EXPLAIN):** _____

NOTE: Each application must fully comply with the requirements of the Zoning Regulations prior to receipt by the Commission. Each application for zone change and/or special exception shall include a list of names and addresses of abutting property owners and all property owners within 100 feet of the subject site.

A check payable to the Town of Simsbury must accompany this original signed and dated application. Six (6) complete (folded) sets of plans and eleven (11) copies of the completed application and correspondence must also be included. If you have a PDF of your plans, we would appreciate a copy of that sent to lbankowski@simsbury-ct.gov, as well.

Mark Greenberg 7/11/22
 Signature of Owner Date

[Signature] 7/11/22
 Signature of Agent Date

Telephone (860) 658-3245
Facsimile (860) 658-3206

www.simsbury-ct.gov

07-11-2022

9230

933 Hopmeadow Street
Simsbury, CT 06070

Talcott Mountain Self Storage

Hopmeadow Street
Simsbury, Connecticut
Site Plan Application

April 6, 2021

Revised through November 1, 2021

Phase II - July 8, 2022



Vicinity Map

1" = 500'

DEVELOPMENT TEAM

Property Owner	Infinity IV, LLC
Applicant/Developer	David Richman and David Burr
Civil Engineer and Surveyor	F. A. Hesketh & Associates, Inc.
Landscape Architect	F. A. Hesketh & Associates, Inc.
Traffic Engineer	F.A. Hesketh & Associates, Inc.

LIST OF DRAWINGS

	Title Sheet
LA-1	Layout Plan
LS-1	Landscape Plan
GR-1	Grading and Drainage Plan
EC-1	Soil Erosion & Sedimentation Control Plan
UT-1	Utility Plan
SD-1 thru SD-5	Site Details
NT-1	Notes
LTS-1	Limited Topographic Survey
CP-2	Compilation Plan

LANDSCAPE SCHEDULE

Deciduous Canopy Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AXA	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	4	3 to 3 1/2 inch caliper	Balled and Burlapped	45 to 55 Feet
QP	<i>Quercus palustris</i>	Pin Oak	2	3 to 3 1/2 inch caliper	Balled and Burlapped	60 to 70 Feet
QR	<i>Quercus rubra</i>	Northern Red Oak	2	3 to 3 1/2 inch caliper	Balled and Burlapped	60 to 75 Feet
UAV	<i>Ulmus americana</i> 'Valley Forge'	Valley Forge American Elm	3	3 to 3 1/2 inch caliper	Balled and Burlapped	65 to 70 Feet

Deciduous Flowering Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AGA	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	9	8 to 10 foot clump	Balled and Burlapped	20 to 25 Feet

Evergreen Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AC	<i>Abies concolor</i>	White Fir	9	6 to 7 foot height	Balled and Burlapped	50 to 70 Feet
PA	<i>Picea abies</i>	Norway Spruce	11	6 to 7 foot height	Balled and Burlapped	50 to 60 Feet
PG	<i>Picea glauca</i>	White Spruce	9	6 to 7 foot height	Balled and Burlapped	40 to 60 Feet

Evergreen Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
JPS	<i>Juniperus x pfitzeriana</i> 'Seagreen'	Seagreen Juniper	32	18 to 24 inch spread	#3 Container	5 Feet

Deciduous Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
CR	<i>Cornus racemosa</i>	Gray Dogwood	21	18 to 24 inch height	#3 Container	10 to 12 Feet
MP	<i>Myrica pensylvanica</i>	Northern Bayberry	41	18 to 24 inch height	#3 Container	8 to 10 Feet
POC	<i>Physocarpus opulifolius</i> 'Coppertina'	Coppertina Ninebark	13	18 to 24 inch height	#3 Container	6 to 8 Feet
VD	<i>Viburnum dentatum</i>	Arrowwood	34	18 to 24 inch height	#3 Container	10 to 12 Feet
VPT	<i>Viburnum plicatum</i> var. <i>tomentosum</i> 'Mariesii'	Marie's Doublefile Viburnum	11	2 to 3 foot height	#5 Container	4 to 5 Feet

LANDSCAPE NOTES

- All plants shall meet or exceed the specifications of Federal, State and County laws requiring inspection for plant disease and insect control.
- Plant material shall conform with the "American Standard for Nursery Stock" by the American Association of Nurserymen, Inc. (ANSI Z60.1-2014).
- All plants shall be certified true to name by the nursery source. Plant names shall be in accordance with "Hortis Third" (1976) by the staff of the Liberty Hyde Bailey Herbarium, Cornell University. One plant from each species shall be tagged with name and size of the plant in accordance with the standards of practice of the American Association of Nurserymen. Botanical names shall take precedence over common names.
- Plant material shall be typical of their species and/or variety, with a normal habit of growth, sound, healthy and vigorous. They shall be well branched and densely foliated when in leaf, free of disease, insect pest, eggs or larvae. They shall have healthy well-developed root systems. All trees shall have straight single trunks with their main leader intact unless otherwise noted or approved.
- All landscaped areas to have 2" shredded bark mulch (color: black) over weed control fabric. No weed control fabric in areas of groundcover or perennial plantings.
- Provide protective covering of plant material during delivery and storage. Root balls shall not be cracked or broken. Do not prune plants prior to delivery. Remove unacceptable plant material immediately from the job site.
- Plant locations on the Drawings are approximate and are to be used only as a guide. Contractor shall provide all field engineering services to accurately stake out locations for all plants prior to installation. Do not begin excavation until Project Landscape Architect has approved specific layout.
- If requested by Project Landscape Architect, stake and guy each tree as shown on the applicable Drawings immediately after planting. Keep trees plumb and taut.
- If requested by Project Landscape Architect, wrap the trunks of all trees spirally from the ground line to above the lowest main branch.
- Perform all cultural care necessary to properly maintain plant viability and keep planted areas in a neat and orderly condition, including but not limited to:
 - Watering
 - Weed removal
 - Apply lime or sulphur to adjust soil pH to specific plant requirements
 - Restore or reshape earth saucers
 - Pruning
 - Adjust and tighten tree supports to maintain plants at their proper grades and vertical position
 - Replace mulch to maintain proper depth
- If there is a difference between the quantity of plant material specified on the Plan and the amount depicted on the Landscape Schedule, the amount on the Plan shall take precedence.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

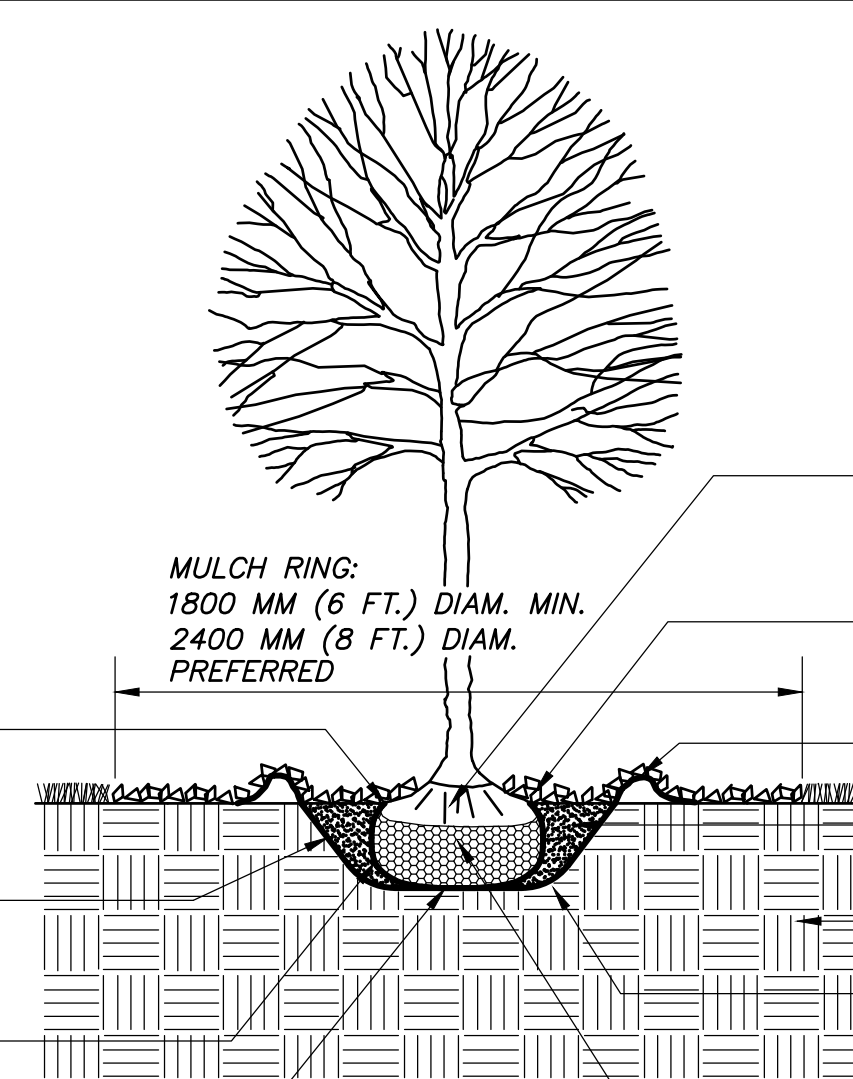
WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



B&B TREE PLANTING DETAIL

N.T.S.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

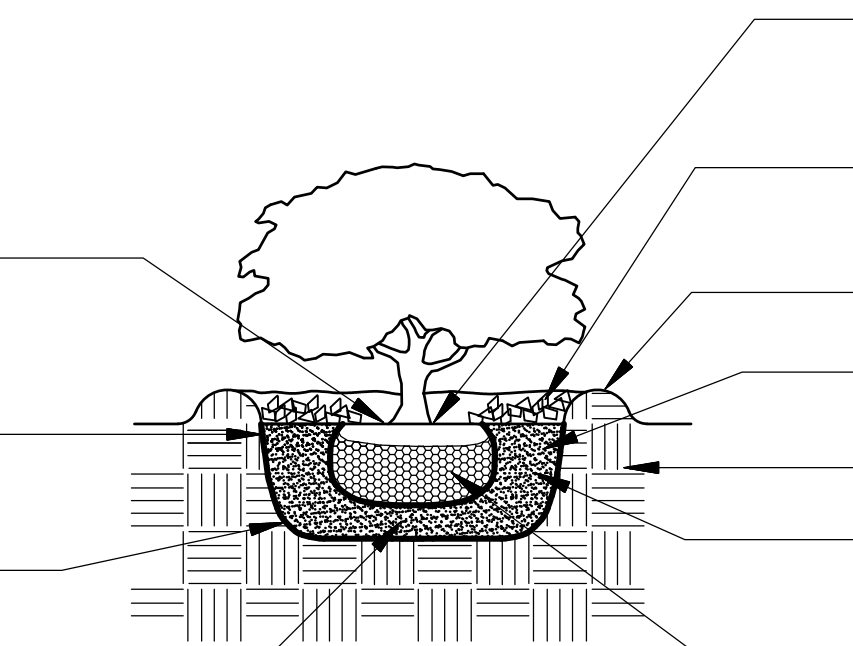
FACE SHRUB TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



SHRUB PLANTING DETAIL

N.T.S.

EACH SHRUB MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF SHRUB PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF SHRUB IS SHIPPED IN A CONTAINER, REMOVE CONTAINER AND CAREFULLY LOOSEN ROOT MASS.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

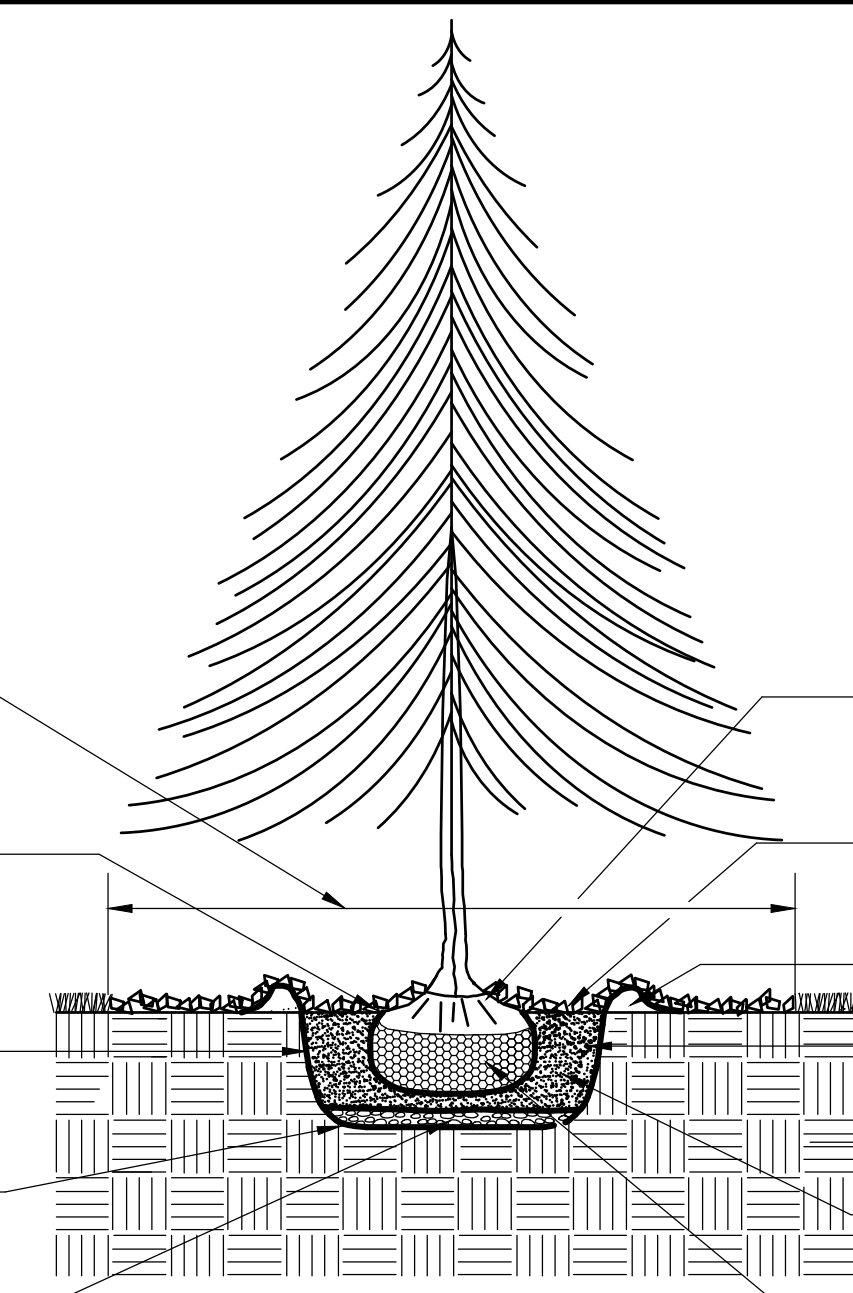
MULCH RING: 1800 MM (6 FT.) DIAM. MIN. 2400 MM (8 FT.) DIAM. PREFERRED

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



EVERGREEN B&B TREE PLANTING DETAIL

N.T.S.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

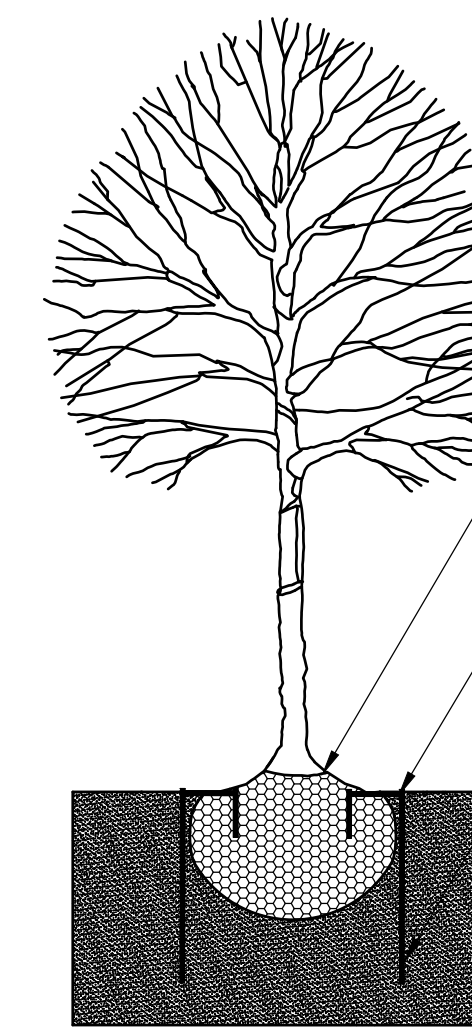
100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.



TREE STAKING DETAIL

N.T.S.

AT INITIAL INSTALLATION, LEAVE BURLAP AND ANY TWINE INTACT. AFTER INSTALLATION, CUT BACK BURLAP, LEAVING MATERIAL UNDER CROSSBARS.

RECESS TREE STAPLE DEVICE 1" TO 2" INTO ROOT BALL

'TREE STAPLE' BELOW-GRADE STABILIZING SYSTEM (BY 'TREE STAPLE' OR EQUAL):

1" TO 2" CALIPER TREES - MODEL #TS24
2 STAPLES WITH UP TO A 16" ROOT BALL

2" TO 4" CALIPER TREES - MODEL #TS36
2 STAPLES WITH A 24" ROOT BALL

4" TO 6" CALIPER TREES - MODEL #TS42
2-3 STAPLES WITH A 30"+ ROOT BALL

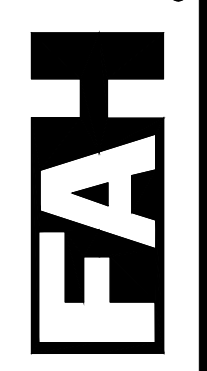
6" TO 8" CALIPER TREES - MODEL #TS48
2-3 STAPLES WITH A 36"+ ROOT BALL

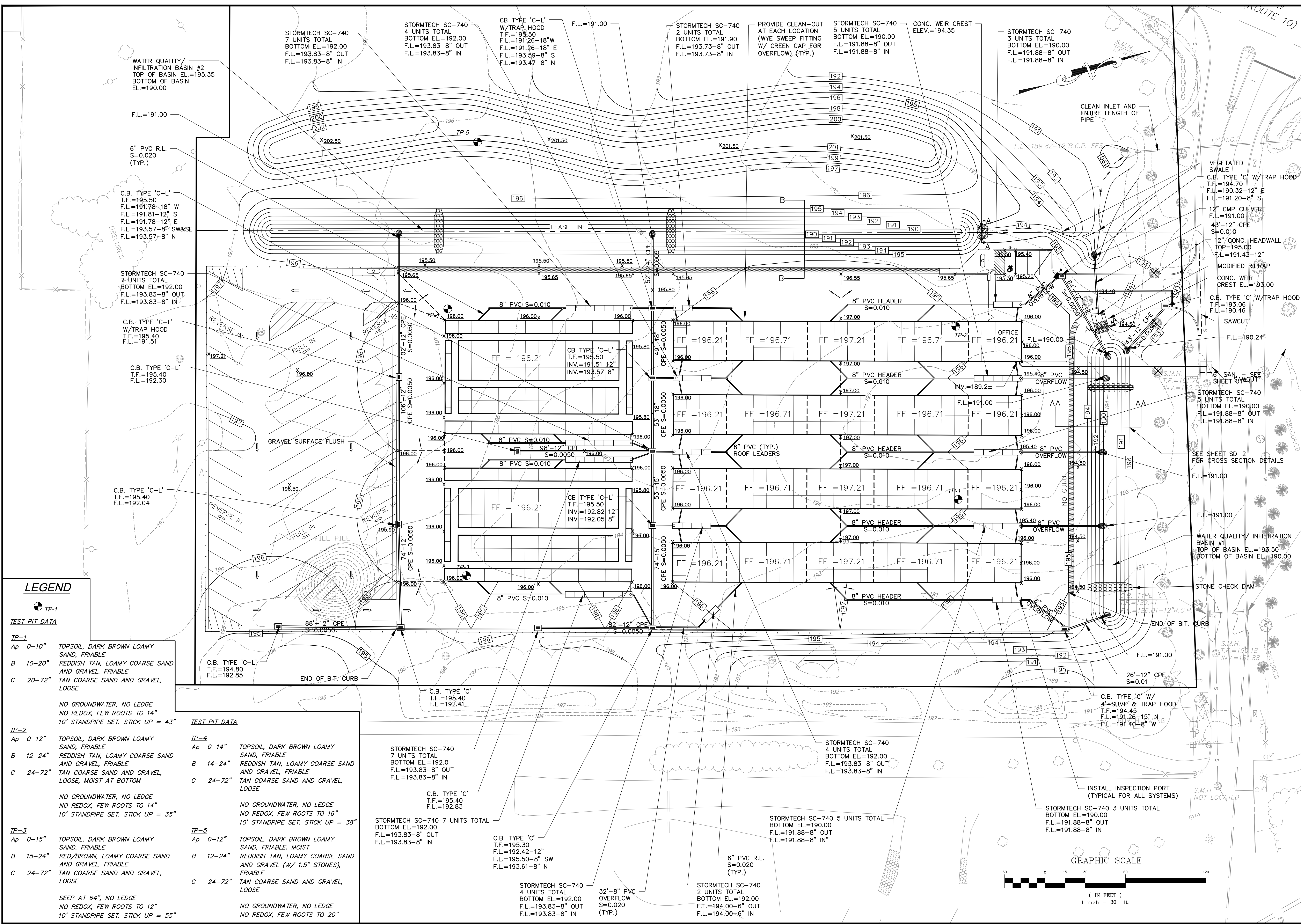
No.	Date	Description
1	09-21-2021	Driveway revision
2	11-01-2021	Layout Redesign
3	07-08-2022	Phase 2 Design

LANDSCAPE PLAN	PREPARED FOR	TALCOTT MOUNTAIN SELF STORAGE
		HOPMEADOW STREET
		SIMSBURY, CONNECTICUT
Date: 04-06-2021	Drawn by: KLL	Job no: 21126
Scale: NO SCALE	Checked by: DSZ	Sheet no: 2 OF 2

LS-2

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com . malfrisketh.com





LEGEND

TEST PIT DATA

TP-1

Ap 0-10" TOPSOIL, DARK BROWN LOAMY SAND, FRIABLE

B 10-20" REDDISH TAN, LOAMY COARSE SAND AND GRAVEL, FRIABLE

C 20-72" TAN COARSE SAND AND GRAVEL, LOOSE

NO GROUNDWATER, NO LEDGE
NO REDOX, FEW ROOTS TO 14"
10' STANDPIPE SET. STICK UP = 43"

TP-2

Ap 0-12" TOPSOIL, DARK BROWN LOAMY SAND, FRIABLE

B 12-24" REDDISH TAN, LOAMY COARSE SAND AND GRAVEL, FRIABLE

C 24-72" TAN COARSE SAND AND GRAVEL, LOOSE, MOIST AT BOTTOM

NO GROUNDWATER, NO LEDGE
NO REDOX, FEW ROOTS TO 14"
10' STANDPIPE SET. STICK UP = 35"

TP-3

Ap 0-15" TOPSOIL, DARK BROWN LOAMY SAND, FRIABLE

B 15-24" RED/BROWN, LOAMY COARSE SAND AND GRAVEL, FRIABLE

C 24-72" TAN COARSE SAND AND GRAVEL, LOOSE

SEEP AT 64", NO LEDGE
NO REDOX, FEW ROOTS TO 12"
10' STANDPIPE SET. STICK UP = 55"

TP-4

Ap 0-14" TOPSOIL, DARK BROWN LOAMY SAND, FRIABLE

B 14-24" REDDISH TAN, LOAMY COARSE SAND AND GRAVEL, FRIABLE

C 24-72" TAN COARSE SAND AND GRAVEL, LOOSE

NO GROUNDWATER, NO LEDGE
NO REDOX, FEW ROOTS TO 16"
10' STANDPIPE SET. STICK UP = 38"

TP-5

Ap 0-12" TOPSOIL, DARK BROWN LOAMY SAND, FRIABLE, MOIST

B 12-24" REDDISH TAN, LOAMY COARSE SAND AND GRAVEL (W/ 1.5" STONES), FRIABLE

C 24-72" TAN COARSE SAND AND GRAVEL, LOOSE

NO GROUNDWATER, NO LEDGE
NO REDOX, FEW ROOTS TO 20"

GRADING AND DRAINAGE PLAN

PREPARED FOR
TALCOTT MOUNTAIN SELF STORAGE
HOPMEADOW STREET
SIMSBURY, CONNECTICUT

Date: 04-06-2021 Drawn by: ERW Job no.: 21126
Scale: 1" = 30' Checked by: GAH Sheet no.: 1 OF 1
C:\Users\erwin\OneDrive\Documents\2022-07-08 - Phase 2\JUST GR-1 2022-06-10.dwg, GR-1, Jul. 08, 2022 - 3:44:44 PM

GR-1

FAH

F. A. Hesketh & Associates, Inc.
3 Creamery Brook East Cranby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahinc.com . maltr@fahinc.com

Civil & Traffic Engineers . Surveyors . Planners . Landscape Architects

Revisions:

No.	Date	Description
1.	04-29-2021	Town Comments
2.	05-03-2021	Test Pit Data
3.	09-21-2021	Driveway revision
4.	11-01-2021	Layout, Redesign
5.	07-08-2022	Phase 2 Design

LEGEND - EXISTING

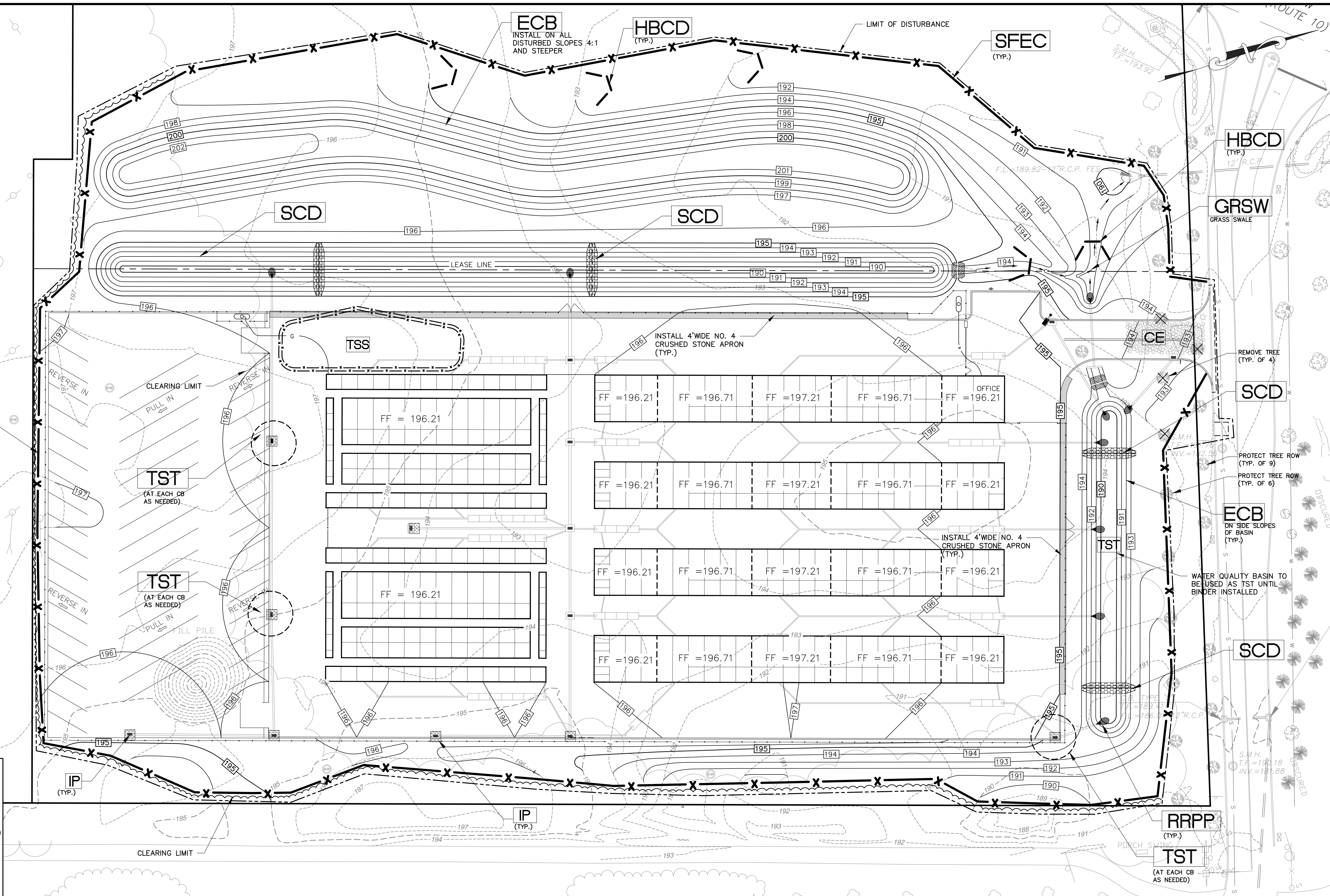
- N/F = NOW OR FORMERLY
- X.L.R. = MUNICIPAL LAND RECORD
- VOL. = VOLUME
- PG. = PAGE
- CP = CONTROL POINT
- ELEV. = ELEVATION
- SQ.FT. = SQUARE FEET
- = LIGHT STANDARD
- = SANITARY MANHOLE
- = CATCH BASIN
- = WATERGATE
- = GAS GATE
- = SIGN
- G — = GAS LINE
- W — = WATER LINE
- T — = TRANSFORMER
- W — = WATERGATE
- G — = GAS METER
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- F/F = FINISHED FLOOR
- E — = ELECTRIC LINE
- S — = SANITARY LINE
- = LOOP DETECTOR
- = # OF PARKING SPACES
- = DIRECTION OF FLOW

LEGEND - PROPOSED

- = CATCH BASIN
- ▴ = FLARED END SECTION
- x100.00 = SPOT GRADE
- 194 — = CONTOUR

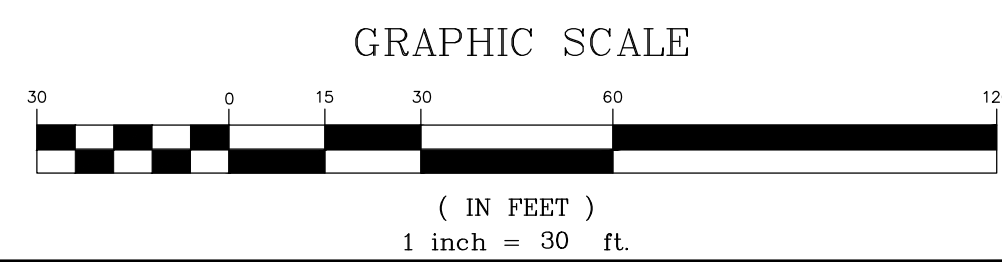
LEGEND - SE&SC

- = TREES TO REMAIN
- ✕ = TREES TO REMOVE
- ▨ = EROSION CONTROL BLANKET (ECB)
- = SEDIMENT LOG (SL)
- ▨ = CONSTRUCTION EXIT (CE)
- ▨ = STONE CHECK DAM (SCD)
- = CATCH BASIN INLET PROTECTION (IP)
- = RIPRAP PLUNGE POOL (RRPP)
- ▨ = HAY BALE CHECK DAM (HBCD)
- ▨ = HAY BALE EROSION CONTROL (HBEC)
- ✕ = SEDIMENT FENCE EROSION CONTROL (SFEC)
- = TEMPORARY SOIL STOCKPILE (TSS)
- = TEMPORARY SEDIMENTATION TRAP (TST)
- = TREE PROTECTION (TP)



GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH AN APPROVED "EROSION AND SEDIMENT CONTROL PLAN" TO PREVENT OR MINIMIZE SOIL EROSION.
2. THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR. TOWN OFFICIALS SHALL BE NOTIFIED IN WRITING OF THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR THIS WORK (INCLUDING ANY CHANGES) AT THE REQUIRED PRE-CONSTRUCTION CONFERENCE.
3. THE CONTRACTOR SHALL USE THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002), AS AMENDED AS A GUIDE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS. THE GUIDELINES MAY BE OBTAINED FROM THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION STORE, 79 ELM STREET, HARTFORD, CT 06106.
4. THE CONTRACTOR SHALL SCHEDULE ALL OPERATIONS TO LIMIT DISTURBANCE TO THE SMALLEST PRACTICAL AREA FOR THE SHORTEST POSSIBLE TIME. OVERALL SITE DISTURBANCE SHALL BE CONFINED TO THOSE LIMITS DELINEATED ON THE PLANS.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY INSTALLATION, INSPECTION, REPAIR OR REPLACEMENT OF EROSION CONTROL DEVICES TO INSURE PROPER OPERATION.
6. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF UNSATISFACTORY EROSION CONDITIONS NOT CONTROLLED BY THE EROSION AND SEDIMENT CONTROL PLAN AND SHALL INSTALL ADDITIONAL MEASURES AS REQUIRED.
7. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVEMENT, MULCH, PERMANENT RIP RAP EROSION CONTROL, OR GROUND COVER PLANTINGS SHALL BE PLANTED WITH GRASS.
8. ACCUMULATED SEDIMENT REMOVED FROM EROSION CONTROL DEVICES IS TO BE SPREAD AND STABILIZED IN LEVEL, EROSION RESISTANT LOCATIONS AS GENERAL FILL.
9. SPECIAL ATTENTION SHALL BE GIVEN TO THE CONSTRUCTION SEQUENCE AND PHASING OUTLINED ON THESE PLANS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY CONSTRUCTION DEBRIS OR SEDIMENT FROM EXISTING ROADS AS ORDERED BY THE TOWN AND/OR STATE, IF ANY DEBRIS OR SEDIMENT FROM CONSTRUCTION ACTIVITIES ENTER ONTO THESE ROADWAYS.
11. ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OR STATE STAFF DURING CONSTRUCTION SHALL BE IMPLEMENTED BY THE CONTRACTOR. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND/OR REPLACEMENT OF ALL REQUIRED CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF THE TOWN OR STATE.
12. SEE DETAIL SHEETS FOR ADDITIONAL DETAILS AND NOTES AND FOR CONSTRUCTION PHASING PLANS.
13. IN AREAS WHERE LIMITS OF DISTURBANCE ARE NOT DELINEATED BY SILT FENCE, INSTALL CONSTRUCTION FENCE FOR TREE PROTECTION AND DELINEATION OF LIMIT OF DISTURBANCE.



EROSION AND SEDIMENTATION CONTROL PLAN

PREPARED FOR
TALCOTT MOUNTAIN SELF STORAGE
HOPMEADOW STREET
SIMSBURY, CONNECTICUT

Date: 04-06-2021 Drawn by: ERN Job no: 21126
Scale: 1" = 30' Checked by: GAH Sheet no: 1 OF 1
© 2021 Talcotti - Greenberg USStorage/2022-07-08- Phase 2/UST GR-1 2022-06-10.dwg. EC-1, Jul. 08, 2022 = 12:54:11 PM

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahesketh.com mail:fahesketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

FAH

EC-1

LEGEND -- PROPOSED

- ☐ = CATCH BASIN
- ▤ = FLARED END SECTION
- = WATER GATE VALVE
- = HYDRANT
- ▭ = STORM DRAINAGE
- = SANITARY SEWER
- = GAS LINE
- = WATER LINE
- = ELECTRIC LINE
- = TELEPHONE LINE
- CATV = CABLE TELEVISION LINE
- RD = ROOF DRAIN
- = LIGHT STANDARD
- = UTILITY POLE
- = WATER LINE BEND
- = FIRE HYDRANT
- = TREES TO REMAIN
- ✕ = TREES TO REMOVE

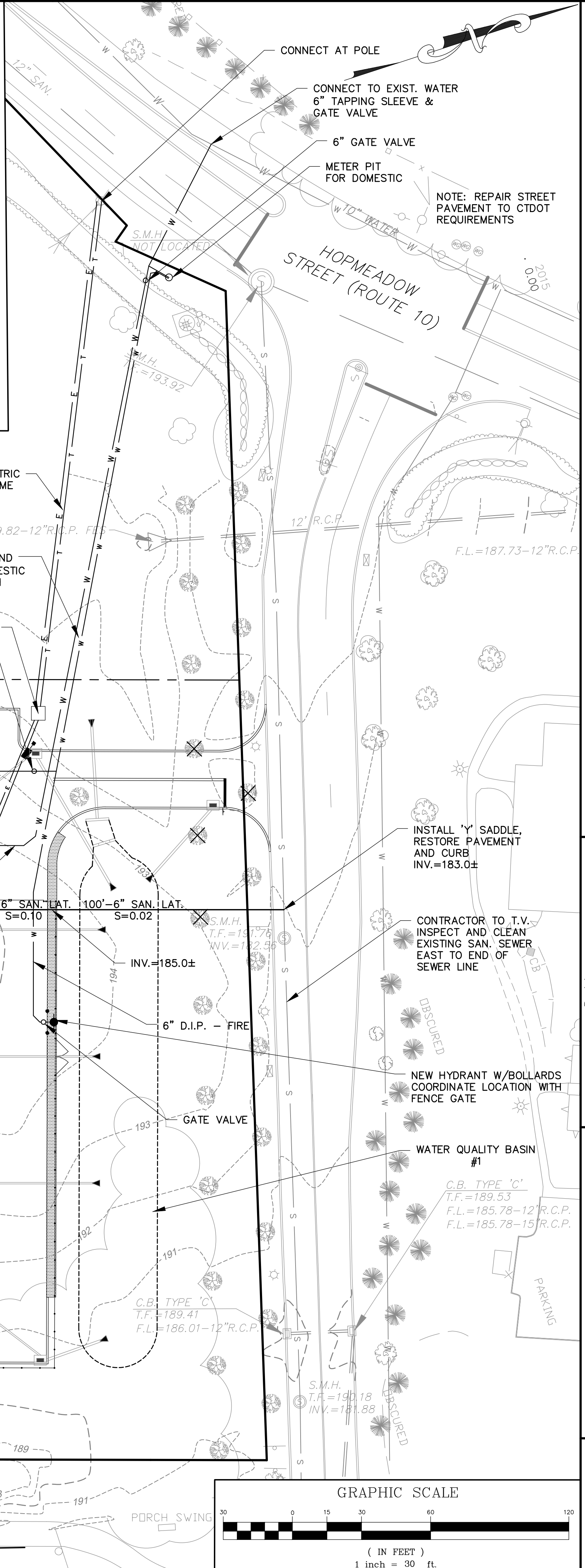
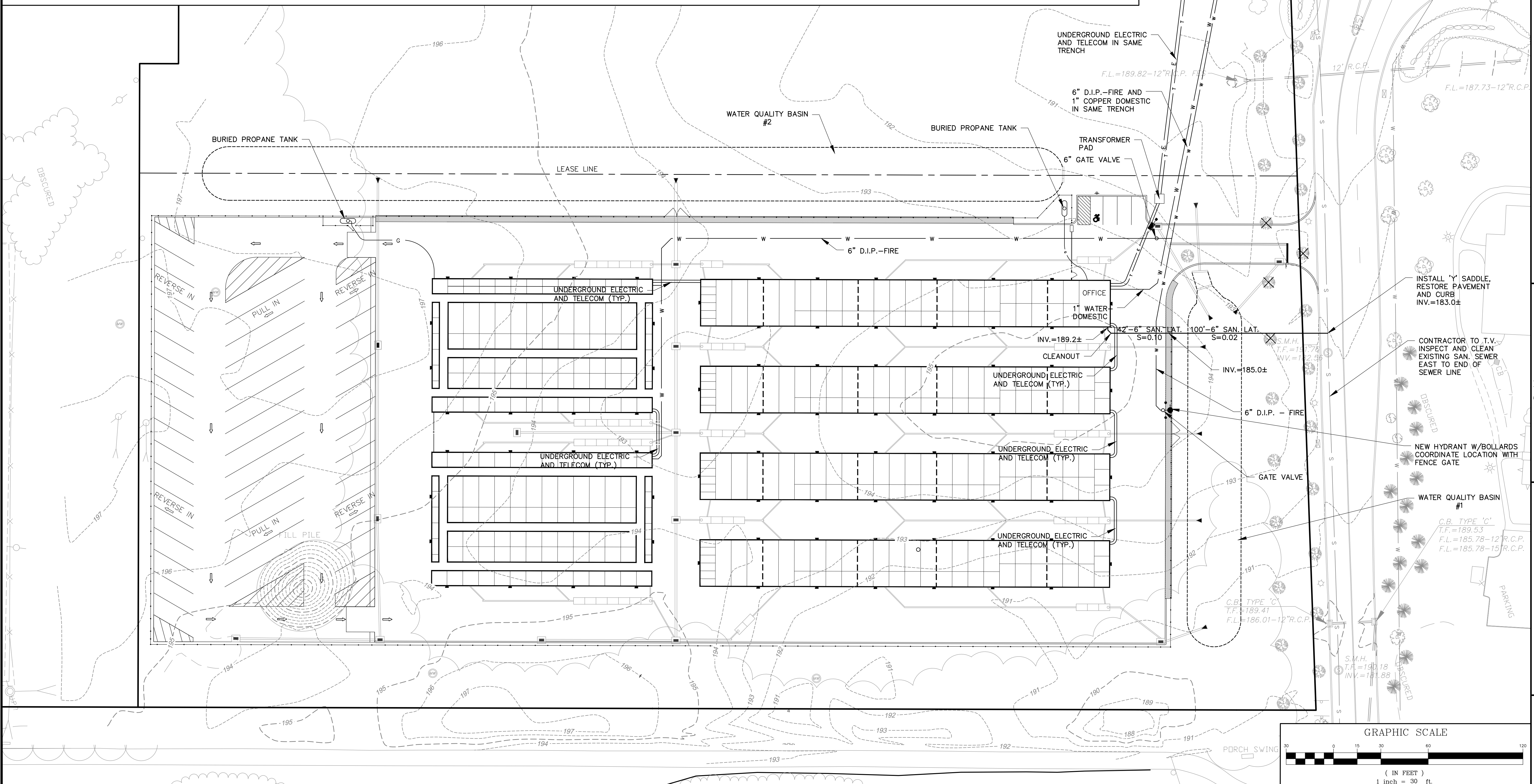
UTILITY NOTES:

1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND ARE BASED ON AVAILABLE AS-BUILT INFORMATION FROM UTILITY COMPANY RECORDS, THE PROPERTY OWNER, AND LIMITED SURVEY DATA. ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES ON THE SITE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY AND NOTIFYING THE DESIGN SITE ENGINEER OF POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE AND/OR ANY ADJUSTMENTS TO THE PLANS WHICH ARE NECESSARY. TEST PITS WILL BE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS IN ORDER TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND TO IDENTIFY POTENTIAL CONFLICTS WITH VERTICAL AND HORIZONTAL ALIGNMENTS SHOWN ON THE PLANS. TEST PITS SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.
2. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO MARK THE LOCATION OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. A PRE-CONSTRUCTION MEETING WITH TOWN STAFF SHALL BE HELD PRIOR TO START OF CONSTRUCTION.
4. REMOVE/ABANDON ALL EXISTING UTILITIES REQUIRED FOR CONSTRUCTION OF SITE IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH CUSTODIAL UTILITY COMPANY REQUIREMENTS. CONSULT WITH CUSTODIAL UTILITY COMPANY AND ENGINEER PRIOR TO ABANDONING UTILITIES.
5. ALL MATERIALS AND INSTALLATION ARE TO BE IN

6. ALL NEW SITE UTILITIES ARE TO BE INSTALLED UNDERGROUND, UNLESS INDICATED OTHERWISE.
7. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY APPLICABLE REQUIREMENTS. FINAL LOCATION OF UTILITY CONNECTIONS IS SUBJECT TO REVISION BY INDIVIDUAL UTILITY COMPANIES PRIOR TO THE INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. FLOW LINE AND INVERT ELEVATIONS OF ALL STORM AND SANITARY SEWERS MUST BE COORDINATED WITH FINAL ARCHITECTURAL DRAWINGS. NOTIFY DESIGN ENGINEER OF CONFLICTS PRIOR TO START OF CONSTRUCTION.
9. CONNECT ALL ROOF LEADERS AND FOOTING DRAINS INTO NEW STORM DRAINAGE SYSTEM.
10. WATER SERVICE AND FIRE SERVICE INSTALLATION IS TO BE COORDINATED WITH AQUARIUM WATER AND SIMSBURY FIRE DEPARTMENT OFFICIALS PRIOR TO THE START OF WORK BY THE CONTRACTOR.
11. BEFORE THE WATER MAIN OR WATER SERVICE LINES ARE PLACED INTO SERVICE, THEY SHALL BE INSPECTED, FLUSHED, SANITIZED, TESTED AND FOUND TO BE IN COMPLIANCE WITH AQUARIUM STANDARDS AND SPECIFICATIONS.
12. BEFORE THE SANITARY SEWER SYSTEM IS PLACED INTO

13. ALL WORK RELATED TO GAS, ELECTRIC, TELEPHONE AND COMMUNICATION SERVICE SHALL BE IN ACCORDANCE WITH THE CUSTODIAL UTILITY COMPANY STANDARDS AND SPECIFICATIONS.
14. WHEN TRENCHING IS REQUIRED IN TOWN OR STATE R.O.W., BACKFILL AND COMPACT FILL AND CONSTRUCT PAVEMENT REPAIR IN ACCORDANCE WITH TOWN OF SIMSBURY OR CONN. DOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
15. COORDINATE PLACEMENT OF TRANSFORMER AND ROUTING OF UTILITY SERVICE WITH EVERSOURCE OFFICIALS.
16. RELOCATE OR RESET, AS APPROPRIATE, ALL ELECTRIC, TELEPHONE, COMMUNICATION SERVICE HANDHOLES, MANHOLES, PULL BOXES, ETC., AS REQUIRED, FOR COMPLETION OF WORK, COORDINATE RELOCATIONS OR RESETTING WITH CUSTODIAL UTILITY COMPANY REPRESENTATIVES.
17. WATER MAIN, WATER SERVICE PIPING, FITTINGS, VALVES, HYDRANTS, CORPORATIONS, ETC. SHALL CONFORM TO AQUARIUM STANDARDS AND SPECIFICATIONS.
18. ALL WATER AND FIRE MAIN AND SERVICE PIPING SHALL BE ANSI/AWWA C151/A21.51 C.I.D.I.P. CLASS 52 AND 1" COPPER, UNLESS OTHERWISE SPECIFIED. ALL WATER SERVICE SHALL HAVE A MINIMUM COVER OF 4 1/2 FEET.
19. ALL WATER AND FIRE SERVICE FITTINGS AND VALVES SHALL BE MECHANICAL JOINT AND SHALL BE RESTRAINED USING JOINT RETAINER GLANDS, AND CONCRETE THRUST BLOCKS,

20. PVC SAN. SEWER PIPE = SDR 35 PVC PIPE W/ PUSH-ON GASKETED JOINTS.
21. DIP = CLASS 52 DUCTILE IRON PIPE.
22. ALL SANITARY SEWER PIPES, FITTINGS, MANHOLES AND ACCESSORIES SHALL CONFORM TO WPCA STANDARDS AND SPECIFICATIONS.
23. DOT ENCROACHMENT PERMIT REQUIRED FOR WORK IN HOPMEADOW STREET, ROUTE 10.

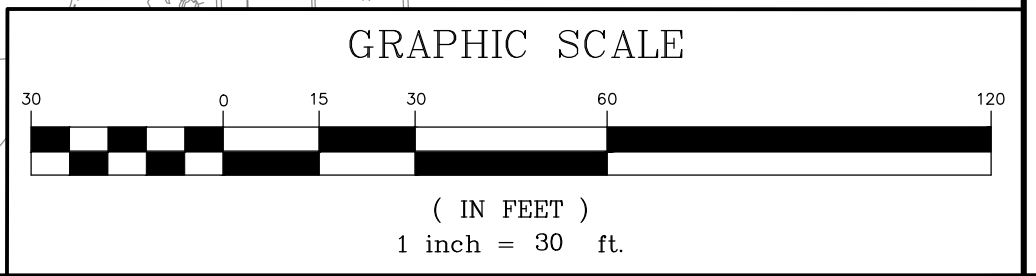


Revisions:

No.	Date	Description
1.	04-29-2021	Town Comments
2.	09-21-2021	Driveway revision
3.	11-01-2021	Layout Redesign
4.	07-08-2022	Phase 2 Design

UTILITY PLAN
 PREPARED FOR
TALCOTT MOUNTAIN SELF STORAGE
 HOPMEADOW STREET
 SIMSBURY, CONNECTICUT

Date: 04-06-2021
 Drawn by: ERN
 Checked by: GAH
 Job no: 21126
 Sheet no: 1 OF 1



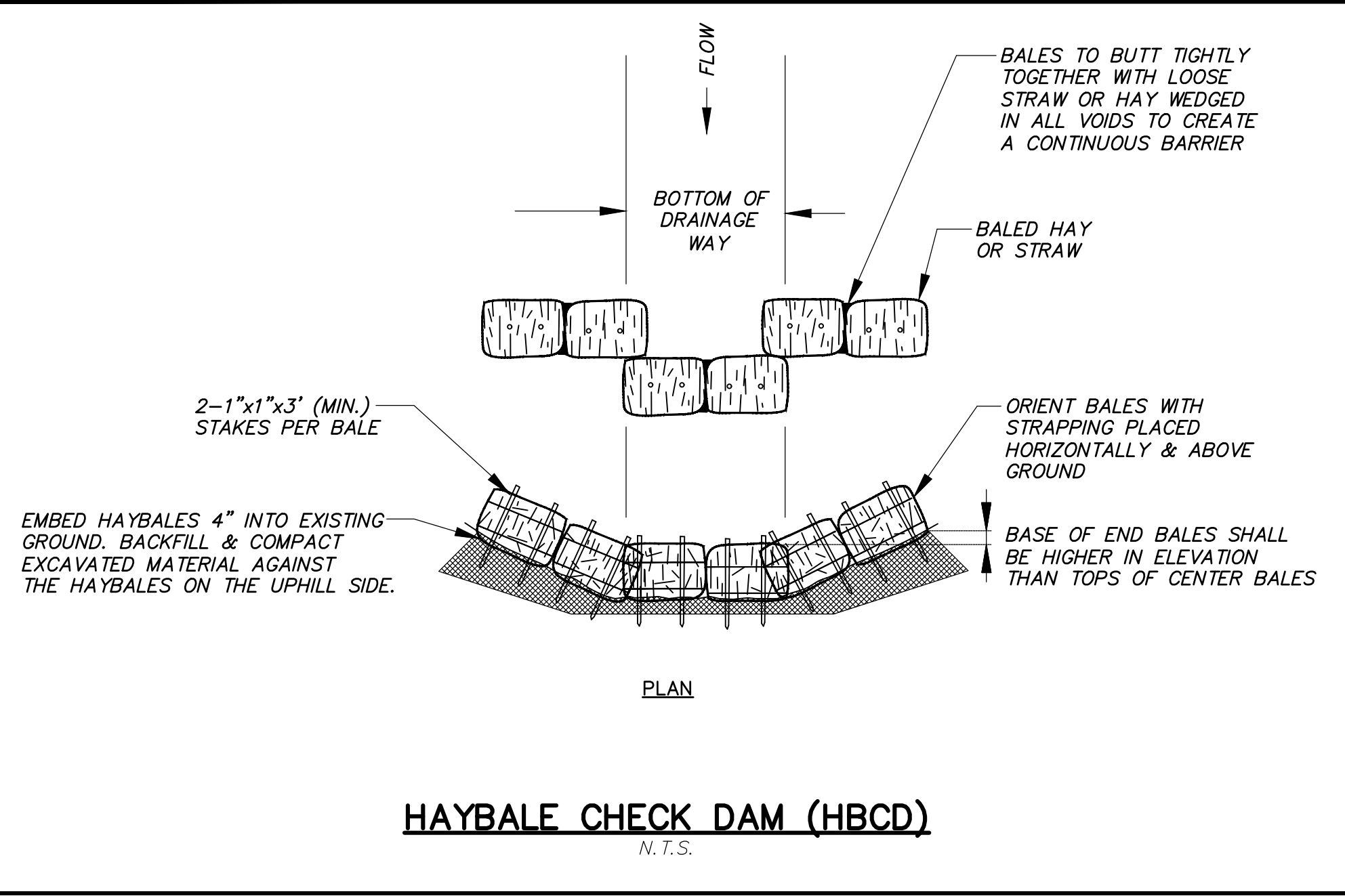
UT-1

FAH

F. A. Hesketh & Associates, Inc.
 3 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 644-8600
 www.fahhsketh.com mail@fahhsketh.com

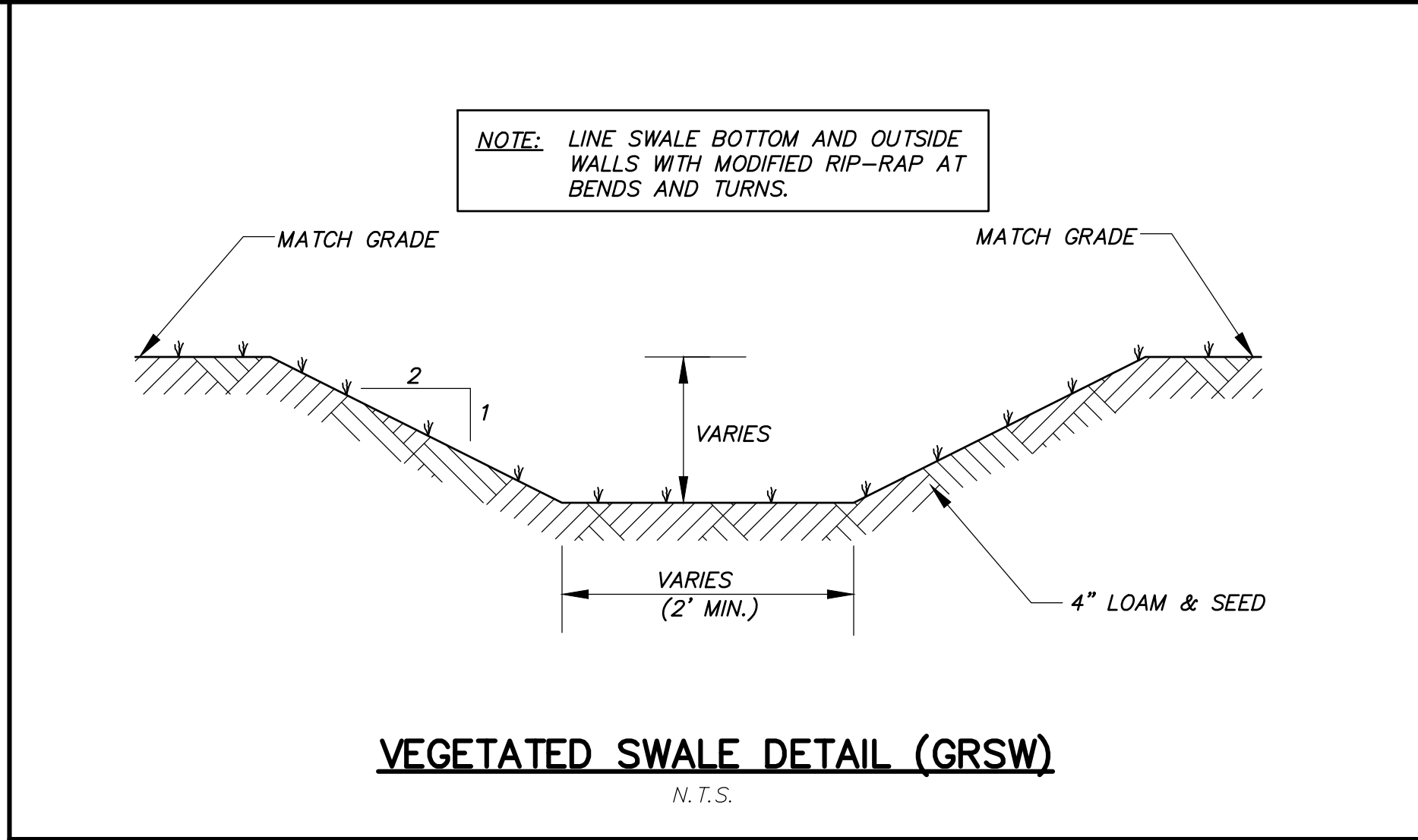
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

© 2021 21126 - Greenberg USStorage Carleton\2022-07-08-Phase 2\UST GR-1 2022-06-10.dwg, 01-1, Jul. 08, 2022 = 12:54:43 PM



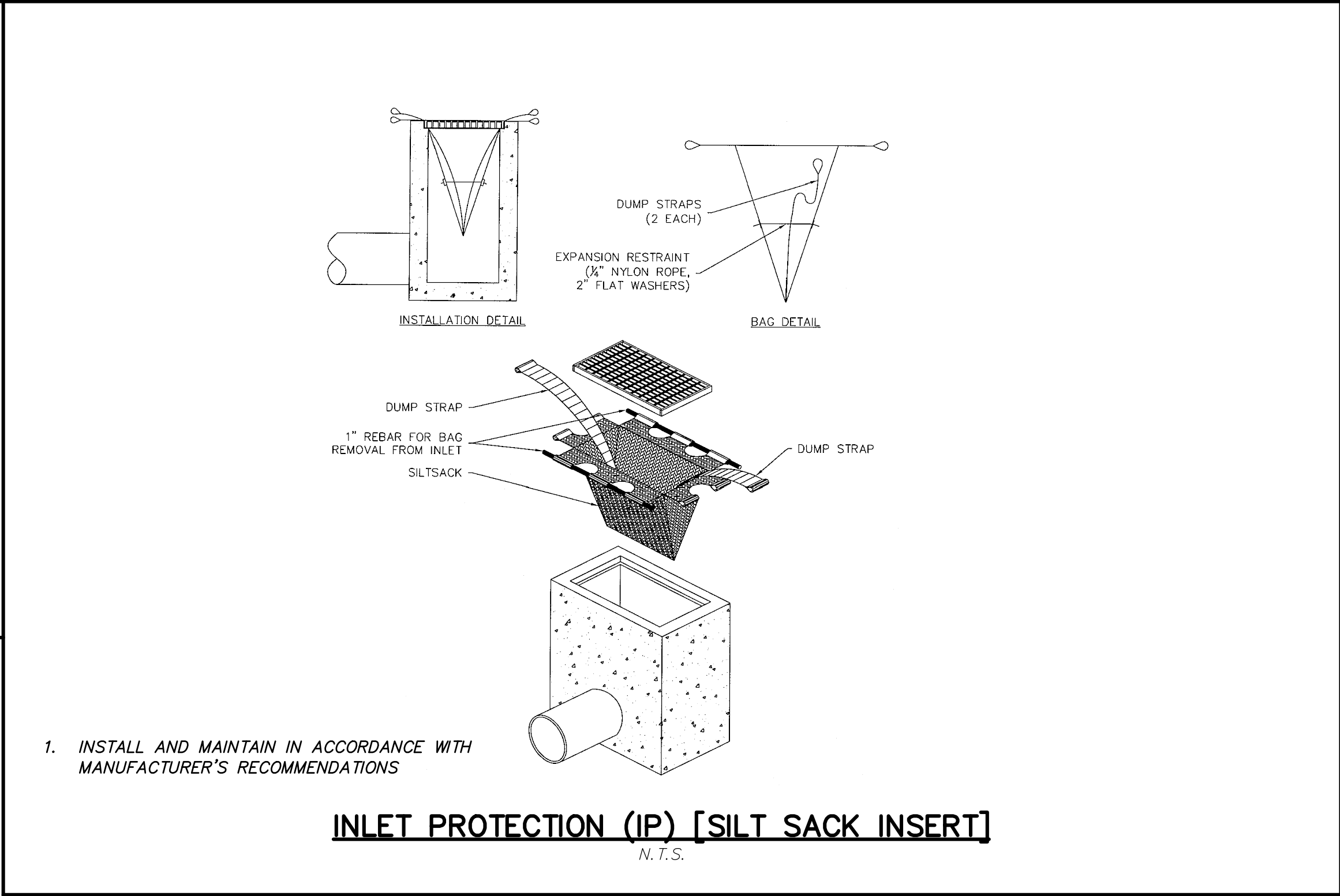
HAYBALE CHECK DAM (HBCD)

N.T.S.



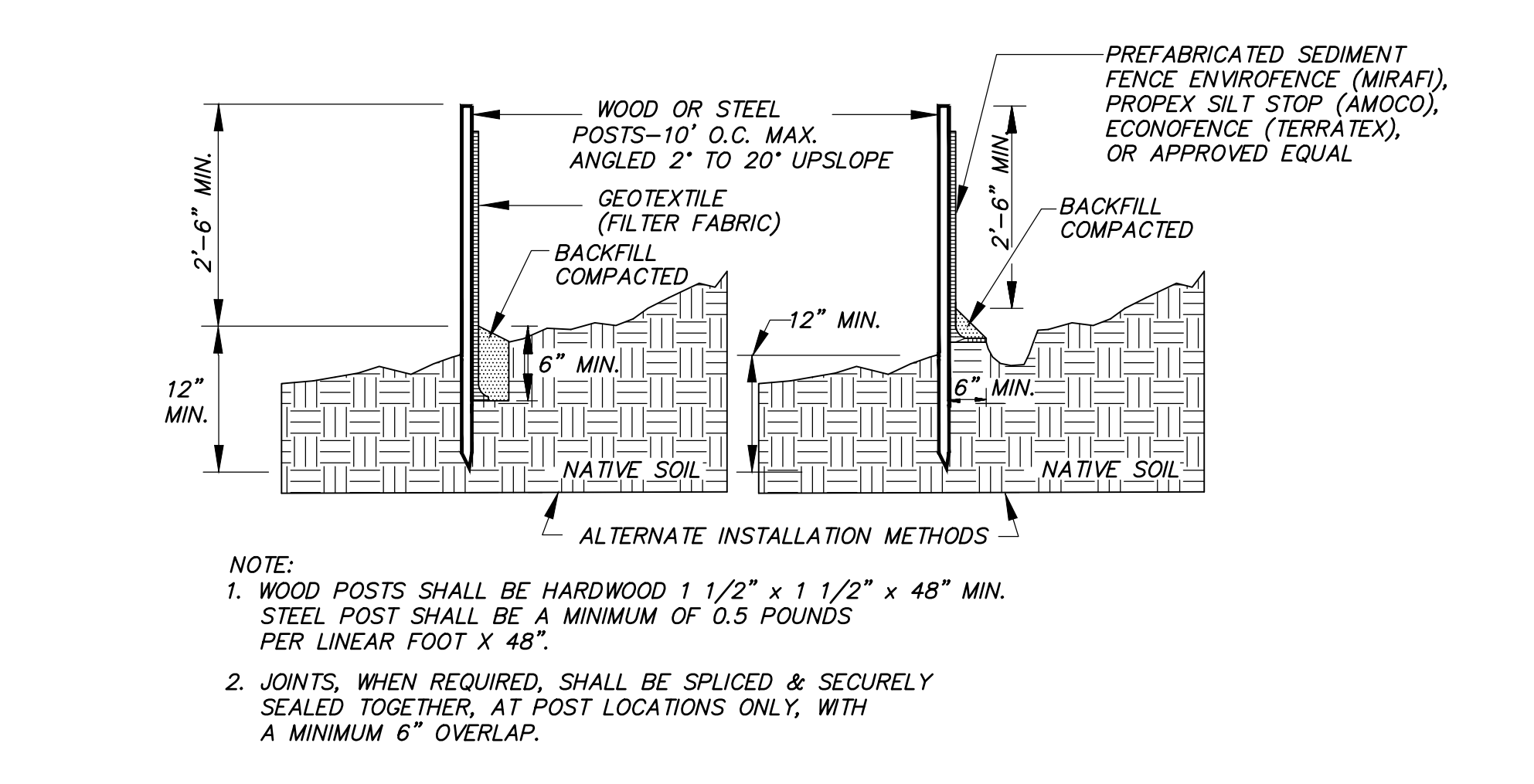
VEGETATED SWALE DETAIL (GRSW)

N.T.S.



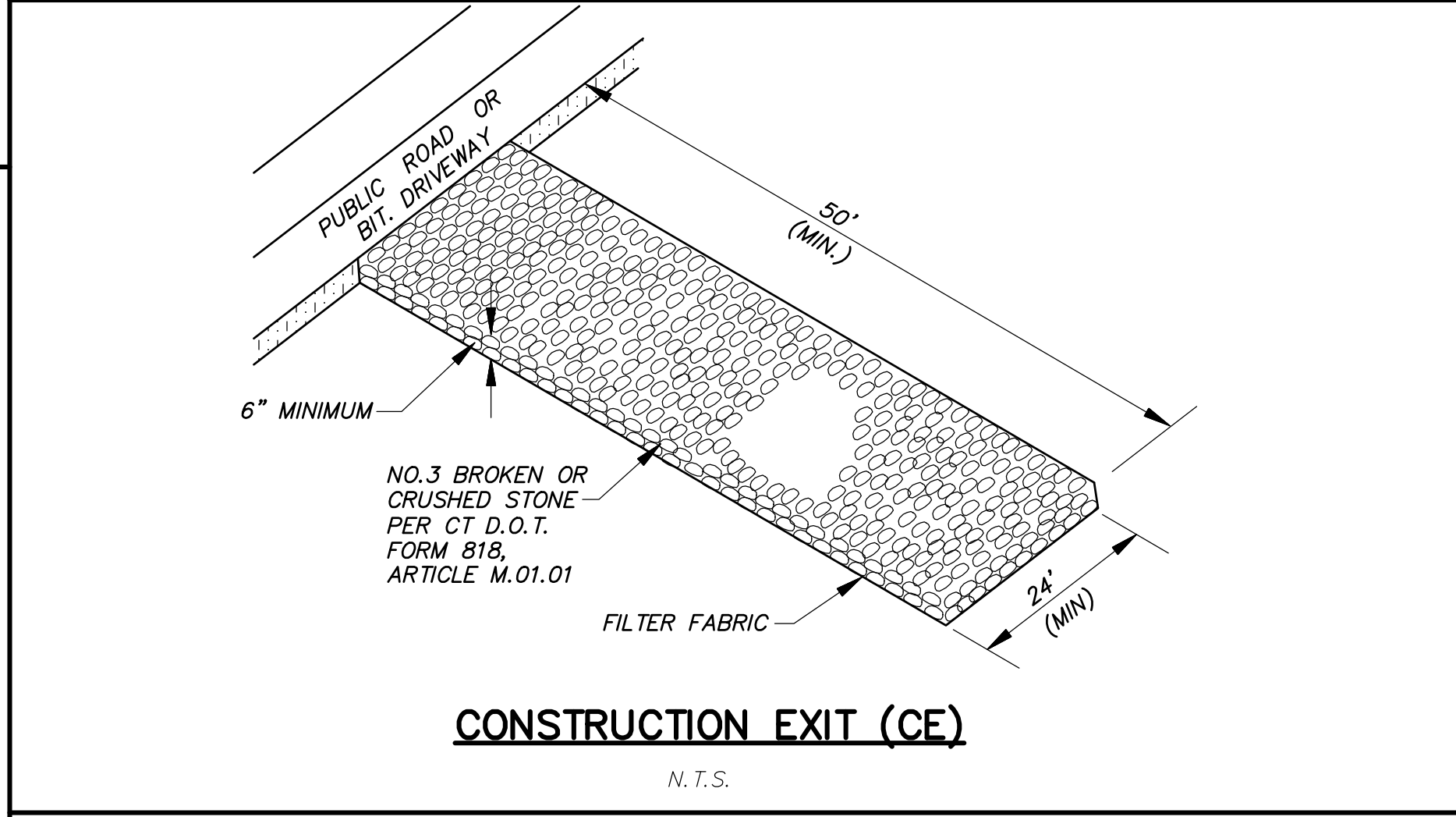
INLET PROTECTION (IP) [SILT SACK INSERT]

N.T.S.



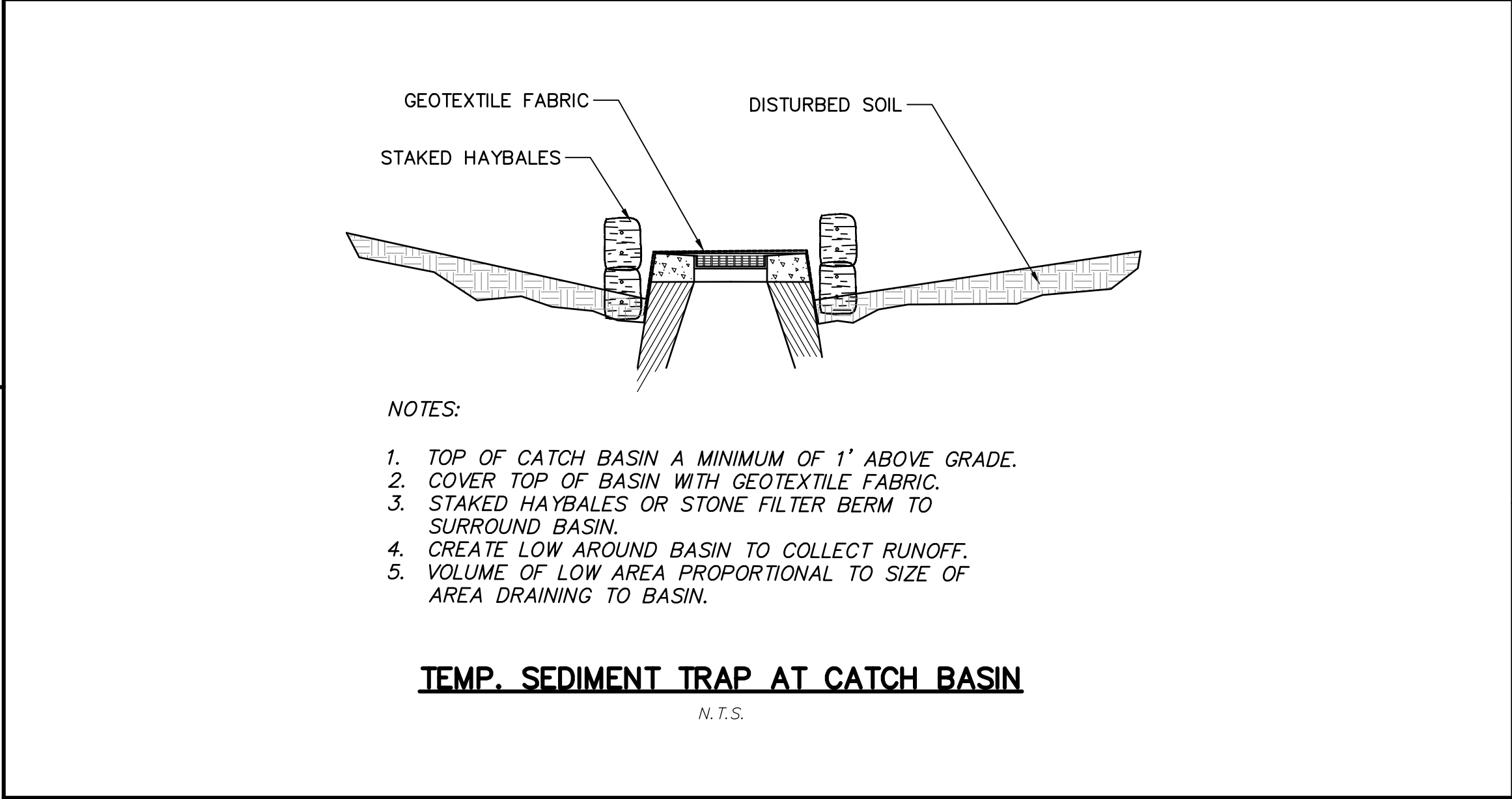
SEDIMENT FENCE EROSION CONTROL (SFEC)

N.T.S.



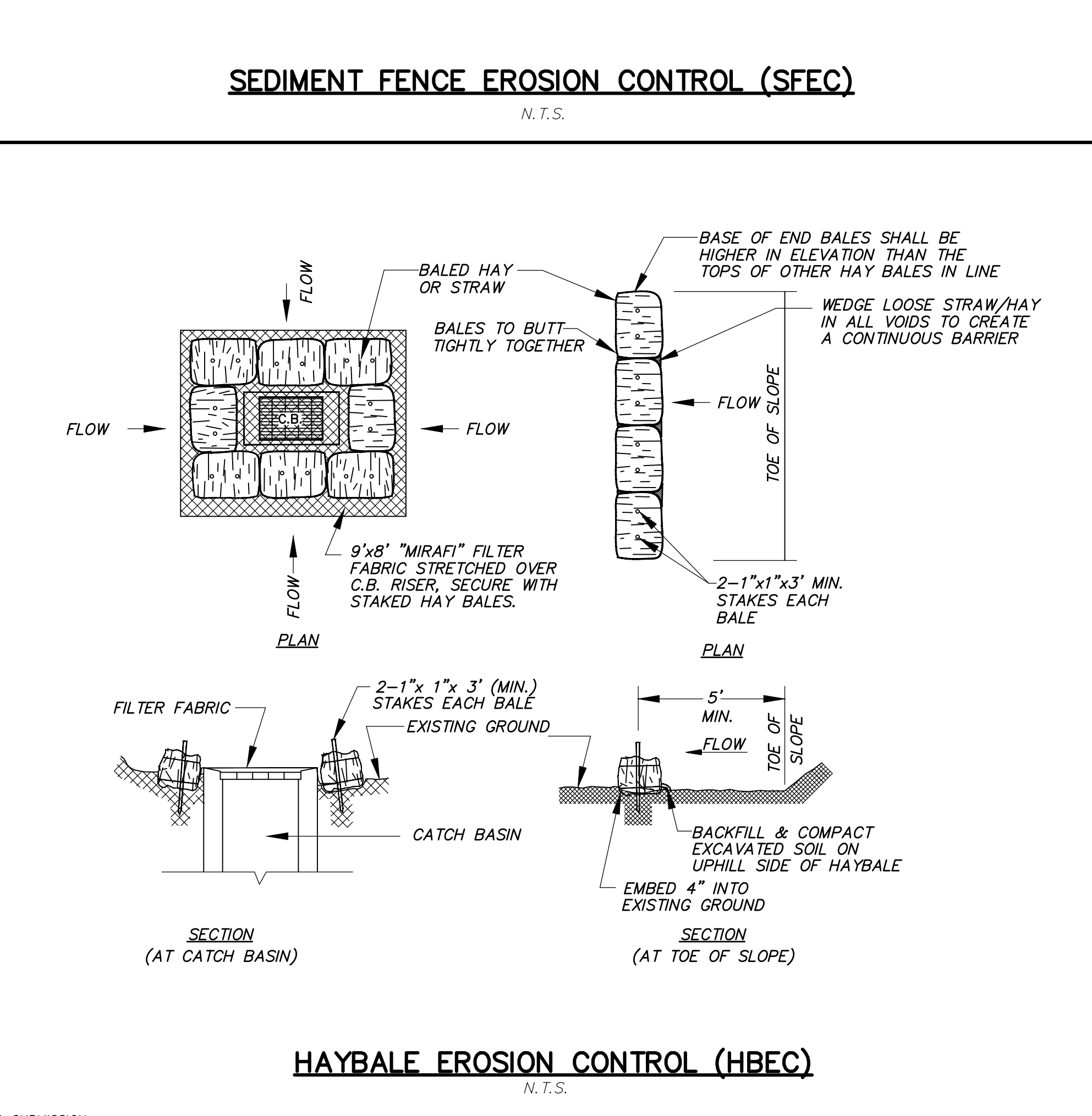
CONSTRUCTION EXIT (CE)

N.T.S.



TEMP. SEDIMENT TRAP AT CATCH BASIN

N.T.S.



HAYBALE EROSION CONTROL (HBEC)

N.T.S.

ANTI-WASH®/GEOJUTE® GEOTILE

6 Easy Steps to install:

1. Prepare the soil by grading or raking area free of clods and large stones. Do not compact. If using fertilizer, add it to soil before grading.
2. Seeds and mulch (if required) should be distributed evenly over the prepared soil.
3. ANTI-WASH®/GEOJUTE® should be applied by unrolling down the slope or in the direction of water flow. Always bring ANTI-WASH®/GEOJUTE® down to level area before termination. Fold 6\"/>

Waterway Installation

1. Always lay Jute in the direction of water flow.
2. Extra staples are needed in waterways. Staples must be driven flush with soil surface.
3. Check slots should be placed every 25' to 50' depending on the velocity of the water flow. A row of staples should be placed on either side of the check slot.
4. Provide drains as needed.

Helpful Hints

- Keep dry in storage
- Remember to lay ANTI-WASH®/GEOJUTE® loosely, do not stretch.
- Check slots may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.

TO ESTABLISH A CHECK SLOT:

1. Dig 6\"/>

Specifications

Property	Results	Staples Type	Weight per Carton	Staples per Carton
Fabric structure	Woven	11 gauge 6"	43 lbs.	1,000
Yarn	Jute undyed and unbleached	8 gauge 6"	39 lbs.	500
Fabric width	48"	8 gauge 8"	50 lbs.	500
Weight	92 lbs./yd ²	Typical usage: Approximately 200 staples per roll.		Other lengths of staples available on request.
Yarn count/lap	78 per width, minimum			
Wet	42 per linear yard, minimum			
Water Absorption	> 450% of fabric weight			
Open Area	60-65%			
Durability	1-2 years (using 100 #/roll)			
Coverage	approximately 50 rolls per acre (using 100 #/roll)			

Roll Packaging

Width x length	Type	Sq. Yards	Weight
48" x 225'	Regular	100	92 lbs.
48" x 225'	Smolder-resistant	100	97 lbs.
48" x 147'	UPS size roll	65	60 lbs.

Roll Packaging Available in regular and smolder resistant treated rolls. (Call or write for current product data sheet on smolder resistant fabric)

Distributed By:

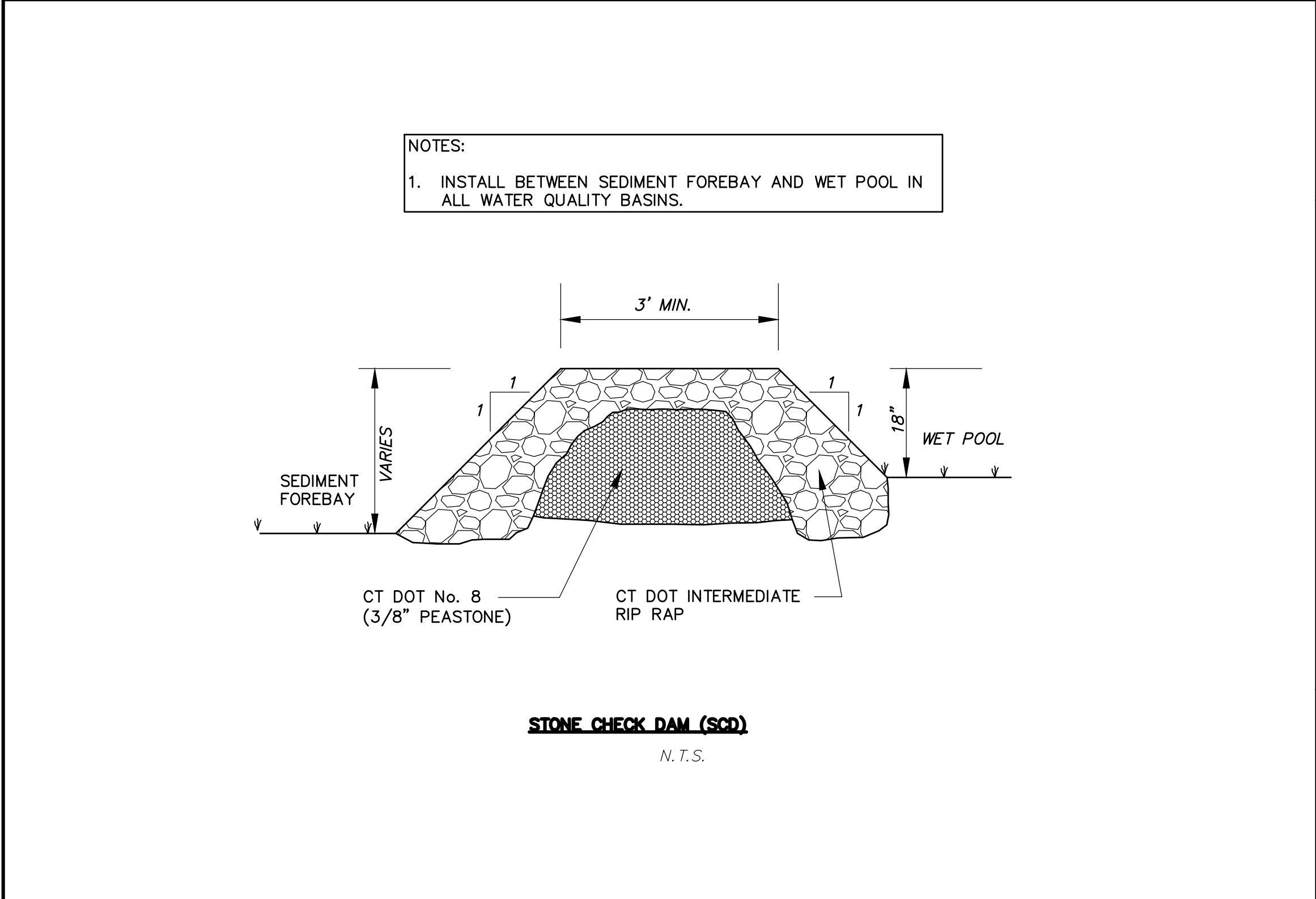
Beilton Industries, Inc.
 8613 Roswell Rd • Atlanta, GA 30350 • USA
 Toll Free: 1-800-225-4099 • Local: 1-404-587-0257
 FAX: 1-404-992-6361 • Telex: 493-1930 (BITD) UI

Ask About DEKOWE
 Chemicals for erosion control.
 Call Beilton.

NOTE: USE ANTI-WASH®/GEOJUTE PRODUCT OR APPROVED EQUAL

EROSION CONTROL BLANKET (ECB)

N.T.S.



STONE CHECK DAM (SCD)

N.T.S.

F. A. Hesketh & Associates, Inc.
 3 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 844-8600
 www.fahsketh.com • Planners • Landscapers Architects • Surveyors • Traffic Engineers

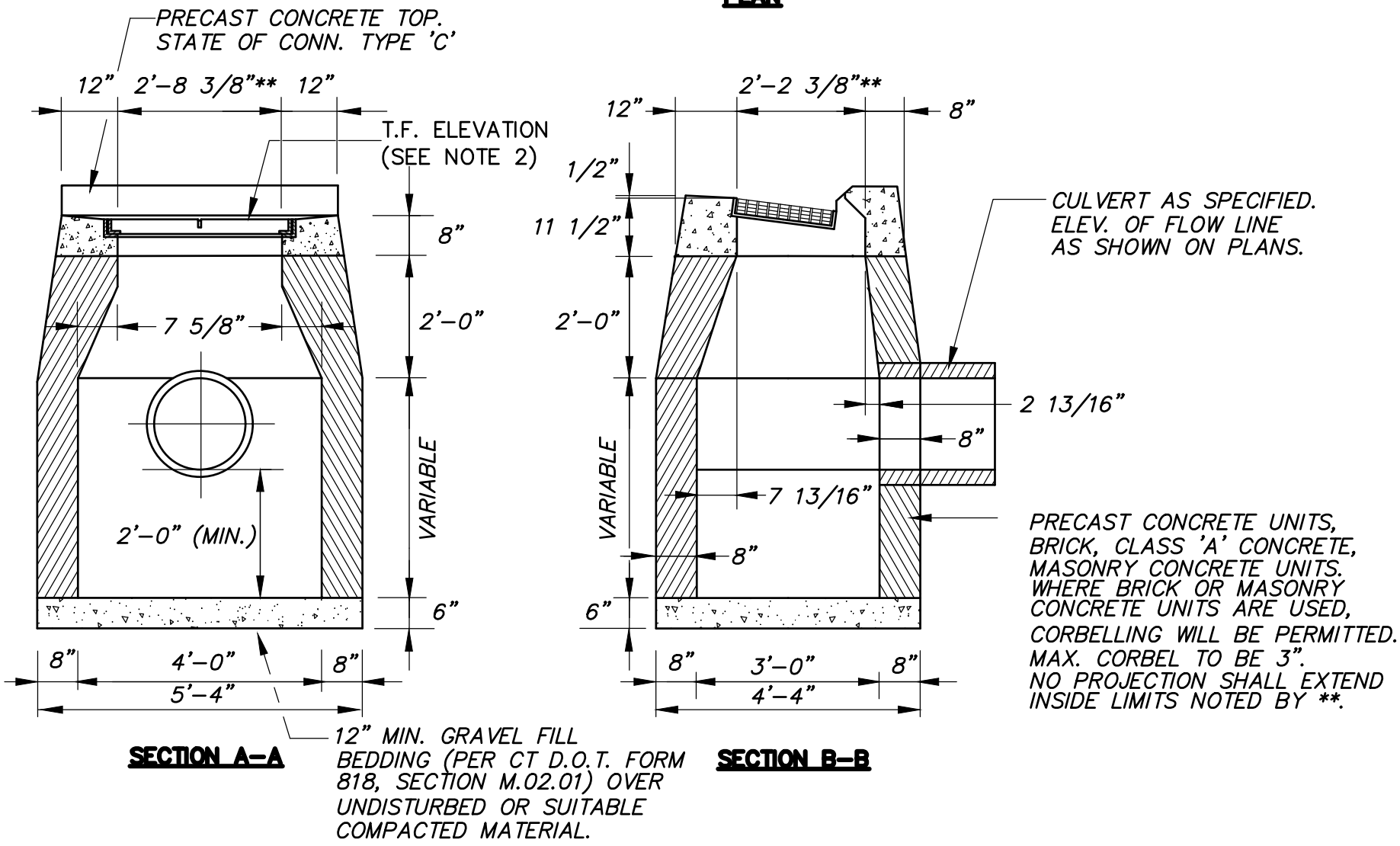
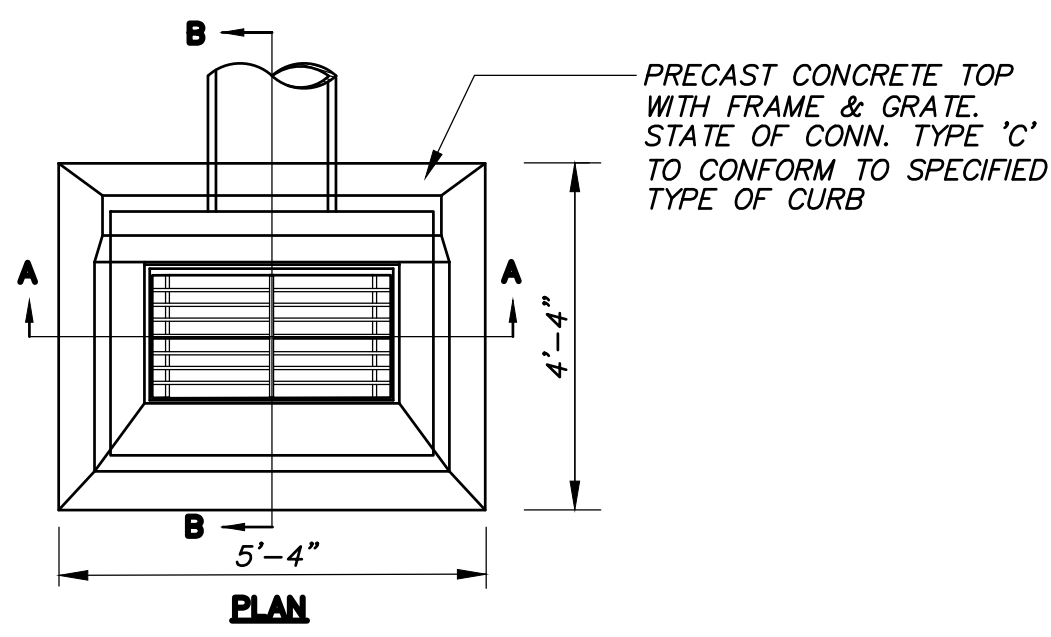
FAH

TALCOTT MOUNTAIN SELF STORAGE
 HOPMEADOW STREET
 SIMSBURY, CONNECTICUT
 Date: 04-06-2021 Drawn by: ERN Job no: 21126
 Scale: N.T.S. Checked by: GAH Sheet no: 1 OF 5
 0:\2021\21126 - Greenberg USStorage\Cartoon\2022-08-08-Phase 2\UST 50-1 2022-06-10.dwg: SD-1, Jul, 08, 2022 - 1:09:43 PM

SD-1

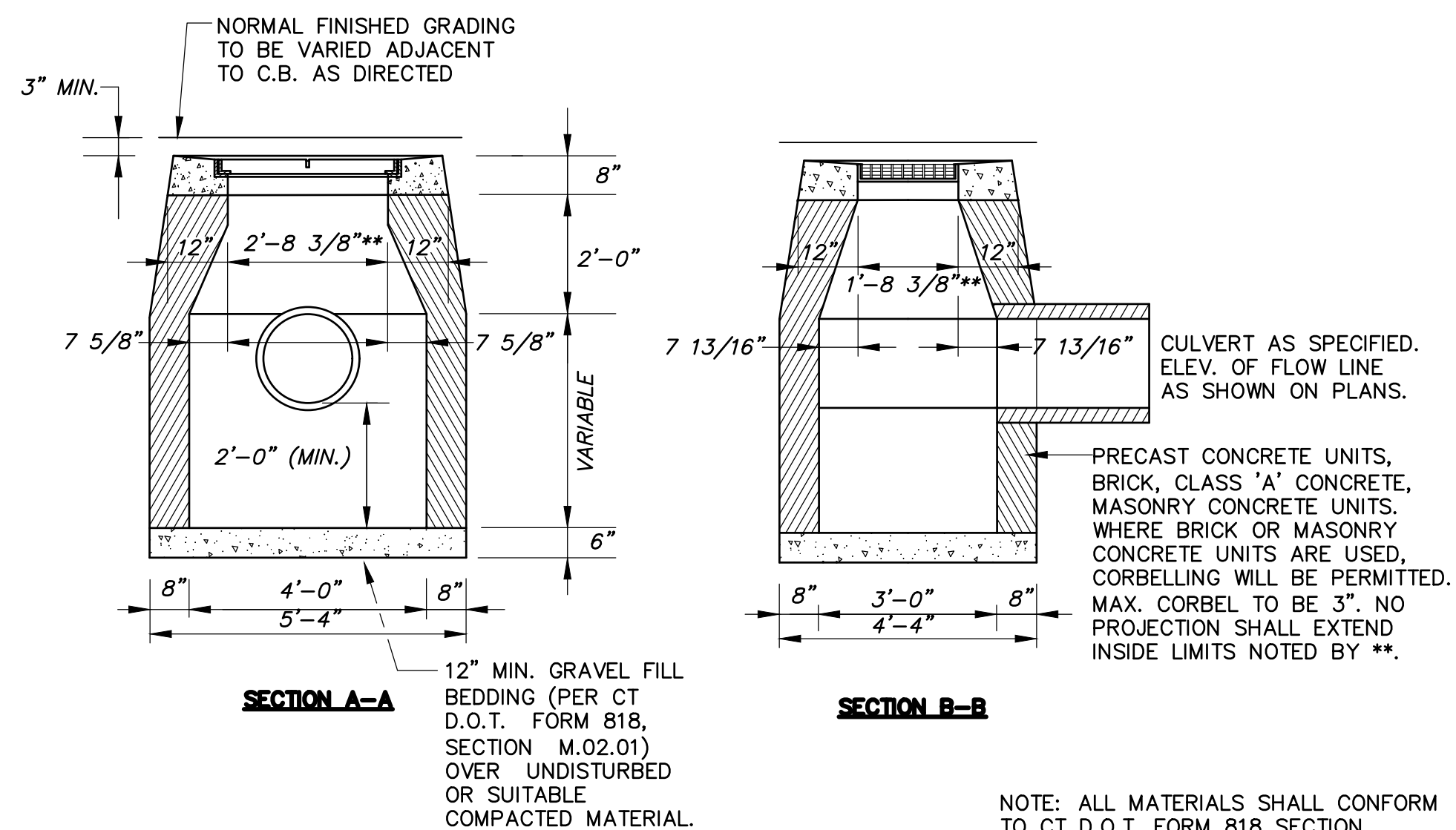
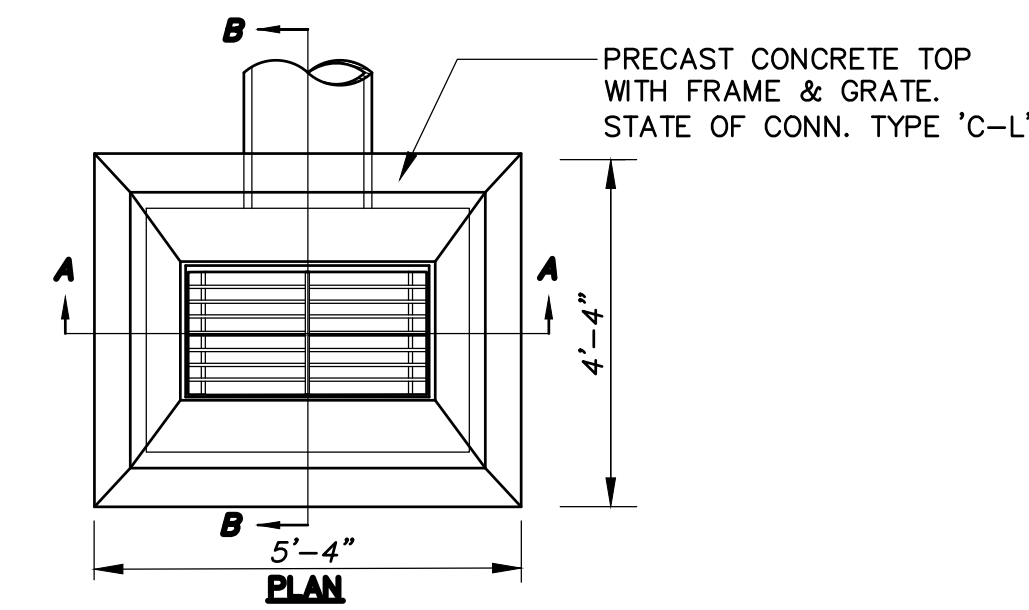
NOTES:

1. ALL MATERIALS SHALL CONFORM TO CT D.O.T. FORM 818, SECTION M.08.02
2. T.F. ELEV. SHOWN ON PLAN IS TOP-OF-FRAME ELEVATION OF THE CATCH BASIN GRATE AT THE GUTTERLINE. THIS T.F. ELEV. IS 2-INCHES BELOW GUTTERLINE ELEVATION AT CURB LINE.
3. UNLESS NOTED OTHERWISE, SUMPS SHALL BE 2.0' MINIMUM.



TYPE 'C' CATCH BASIN

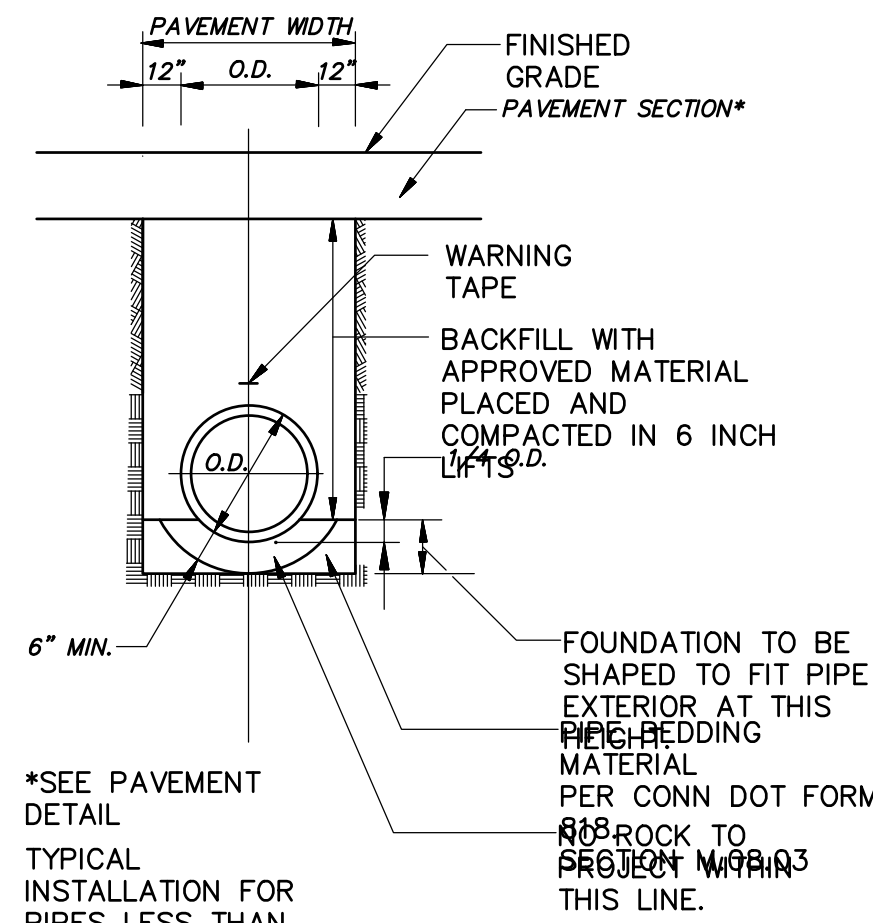
N.T.S.



TYPE 'C-L' CATCH BASIN

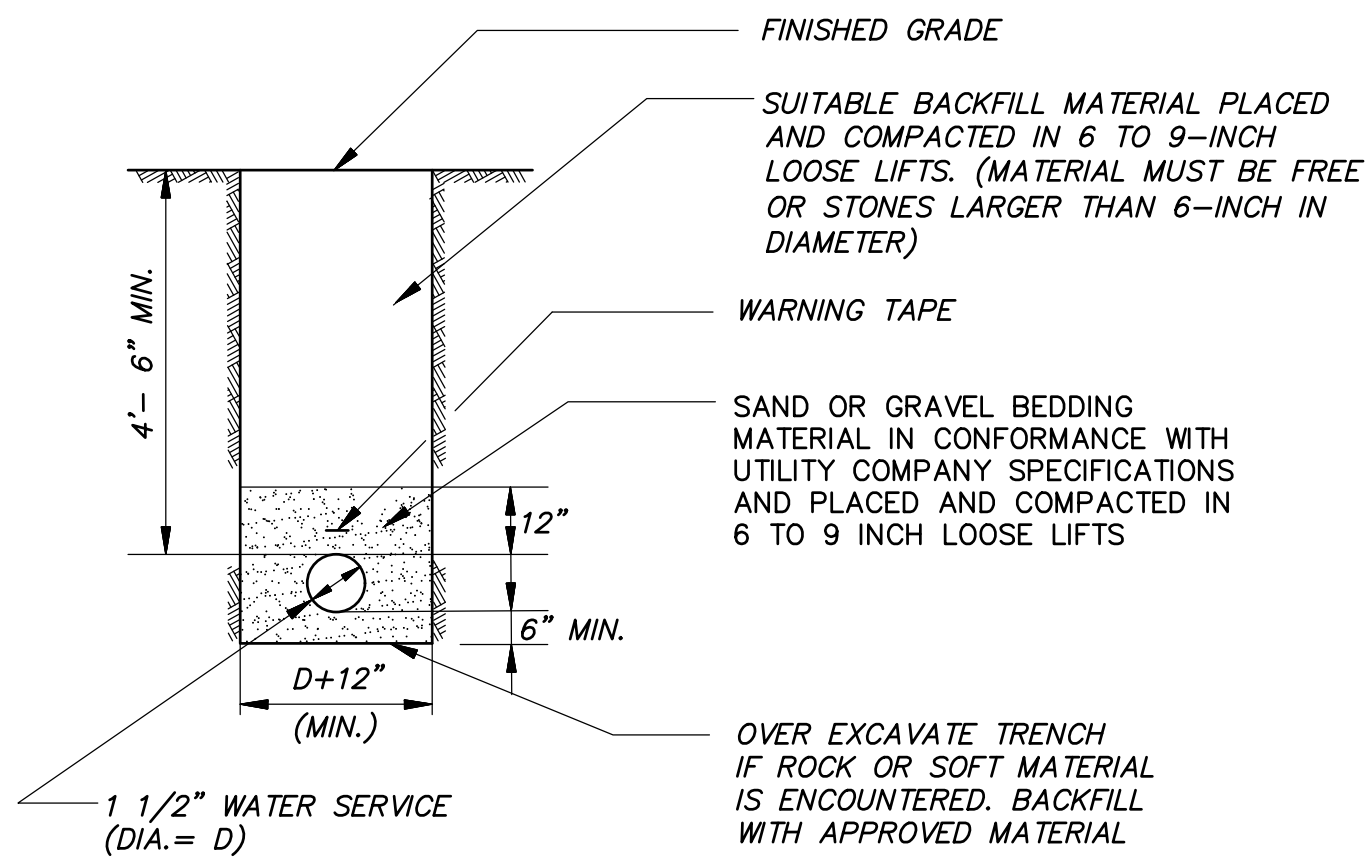
N.T.S.

NOTE: ALL MATERIALS SHALL CONFORM TO CT D.O.T. FORM 818 SECTION M.08.02



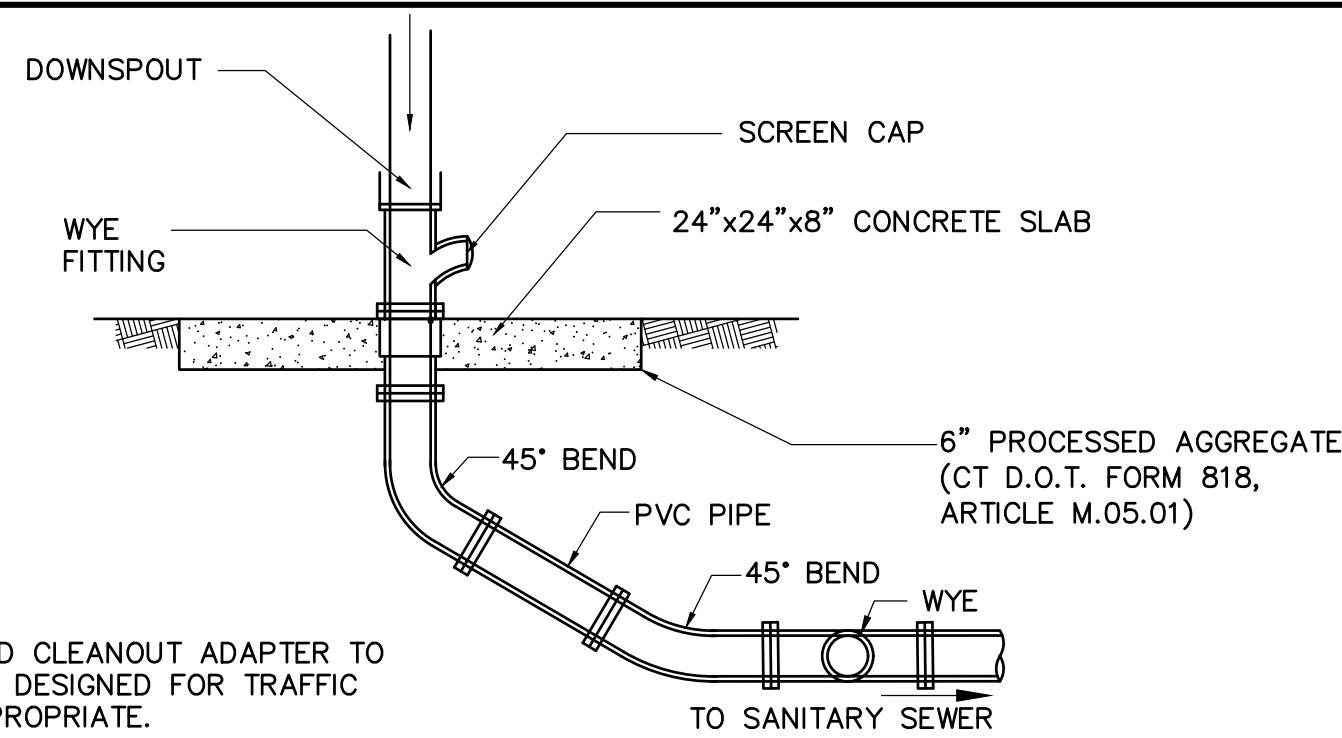
STORM SEWER TRENCH

N.T.S.



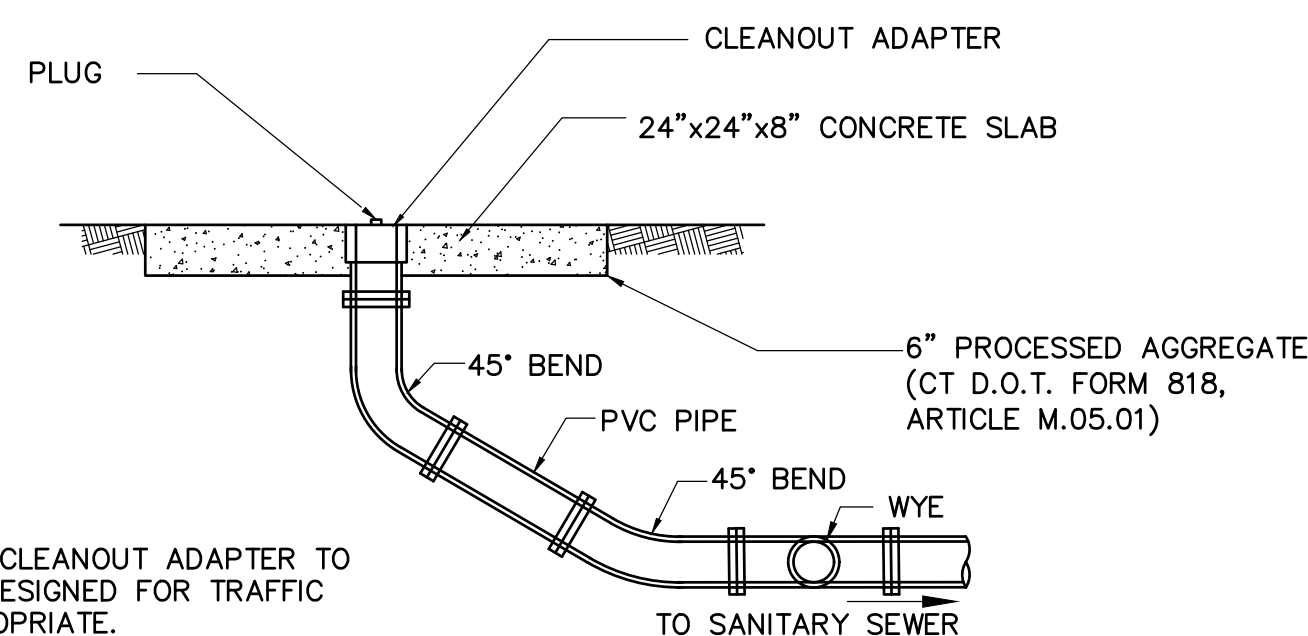
WATER SERVICE TRENCH

N.T.S.



STORM DRAIN/ROOFLEADER/DOWNSPOUT CLEANOUT DETAIL

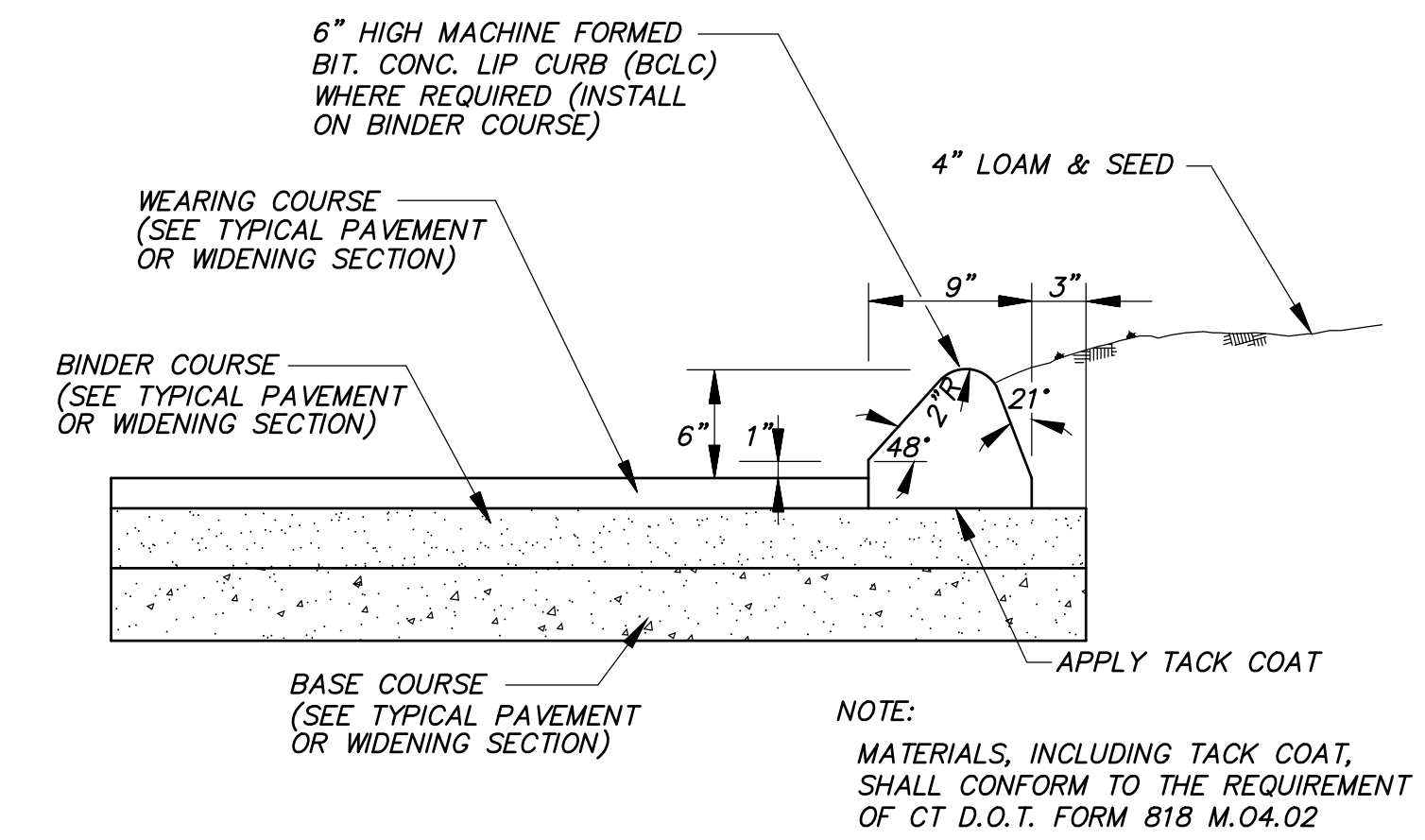
N.T.S.



SANITARY CLEANOUT DETAIL

N.T.S.

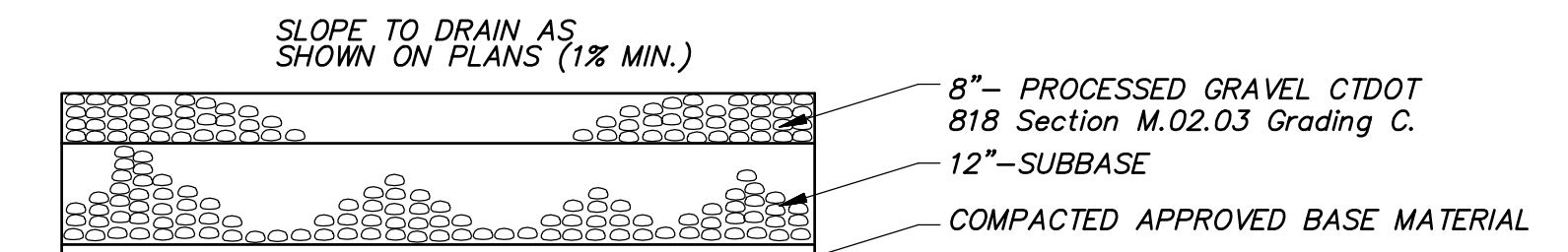
NOTE: PLUG AND CLEANOUT ADAPTER TO BE HEAVY-DUTY, DESIGNED FOR TRAFFIC LOADING, AS APPROPRIATE.



BITUMINOUS CONCRETE LIP CURBING (BCLC)

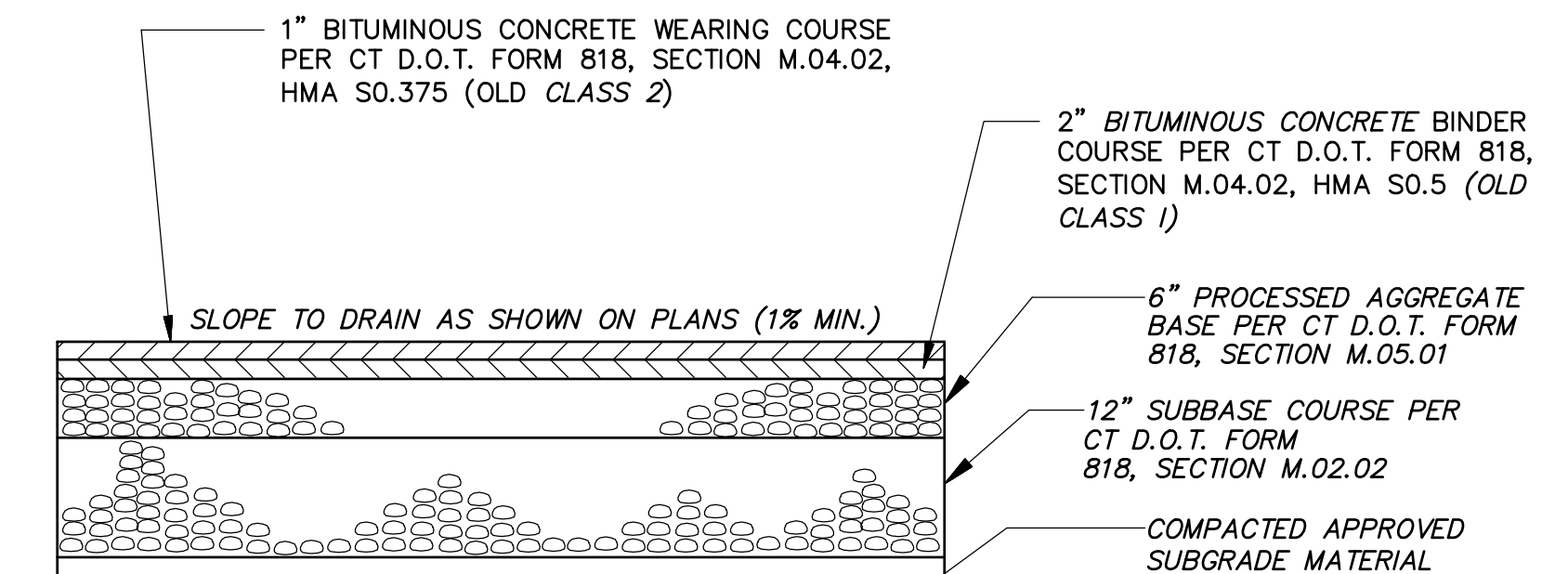
N.T.S.

NOTE: MATERIALS, INCLUDING TACK COAT, SHALL CONFORM TO THE REQUIREMENT OF CT D.O.T. FORM 818 M.04.02



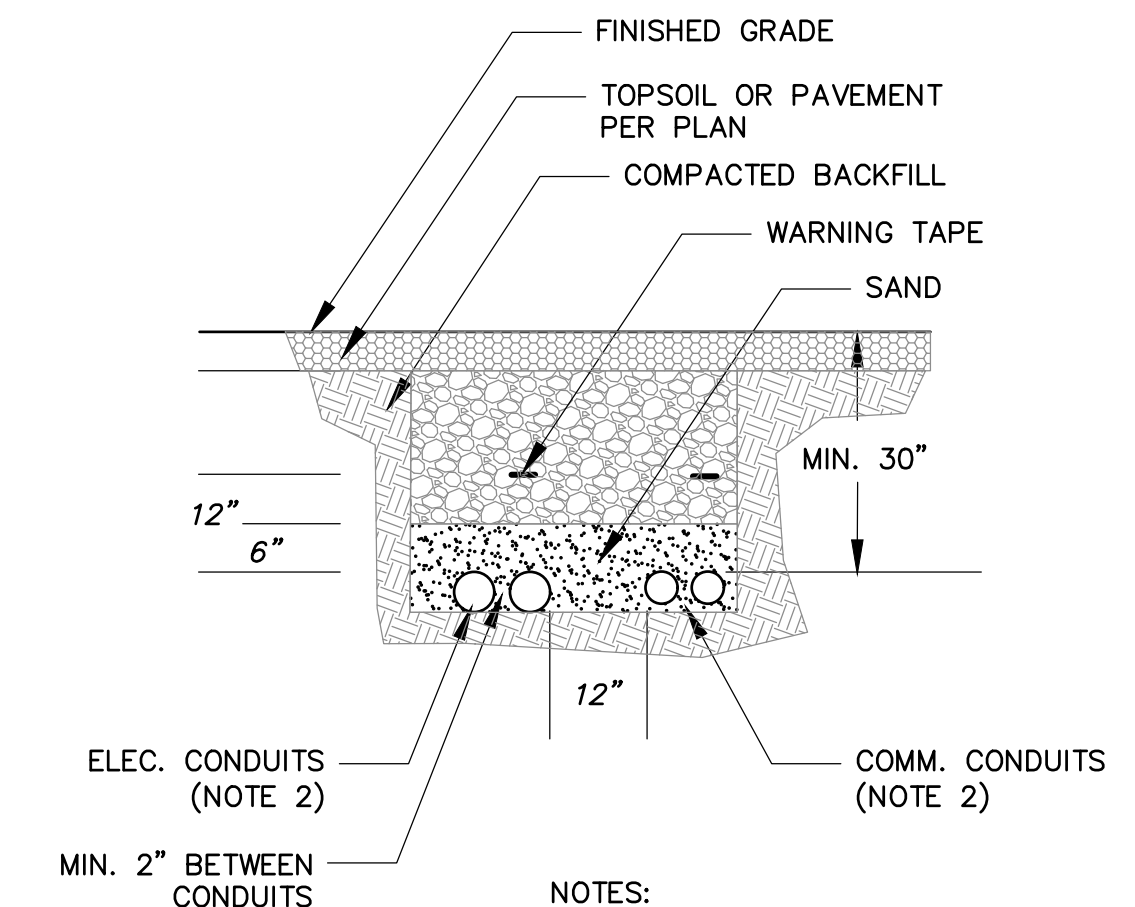
OUTDOOR STORAGE PAVEMENT

N.T.S.



STANDARD DUTY PAVEMENT SECTION

N.T.S.



ELECTRIC/COMMUNICATION TRENCH

N.T.S.

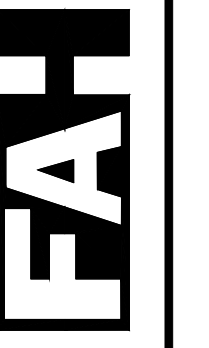
NOTES:
1. TYPICAL DETAIL (SEE UTILITY COMPANY STANDARDS FOR SPECIFIC DETAILS).
2. SEE PLANS FOR GENERAL ROUTING OF UTILITIES, NUMBER, SIZE AND LAYOUT OF CONDUITS PER CUSTODIAL UTILITY COMPANY.

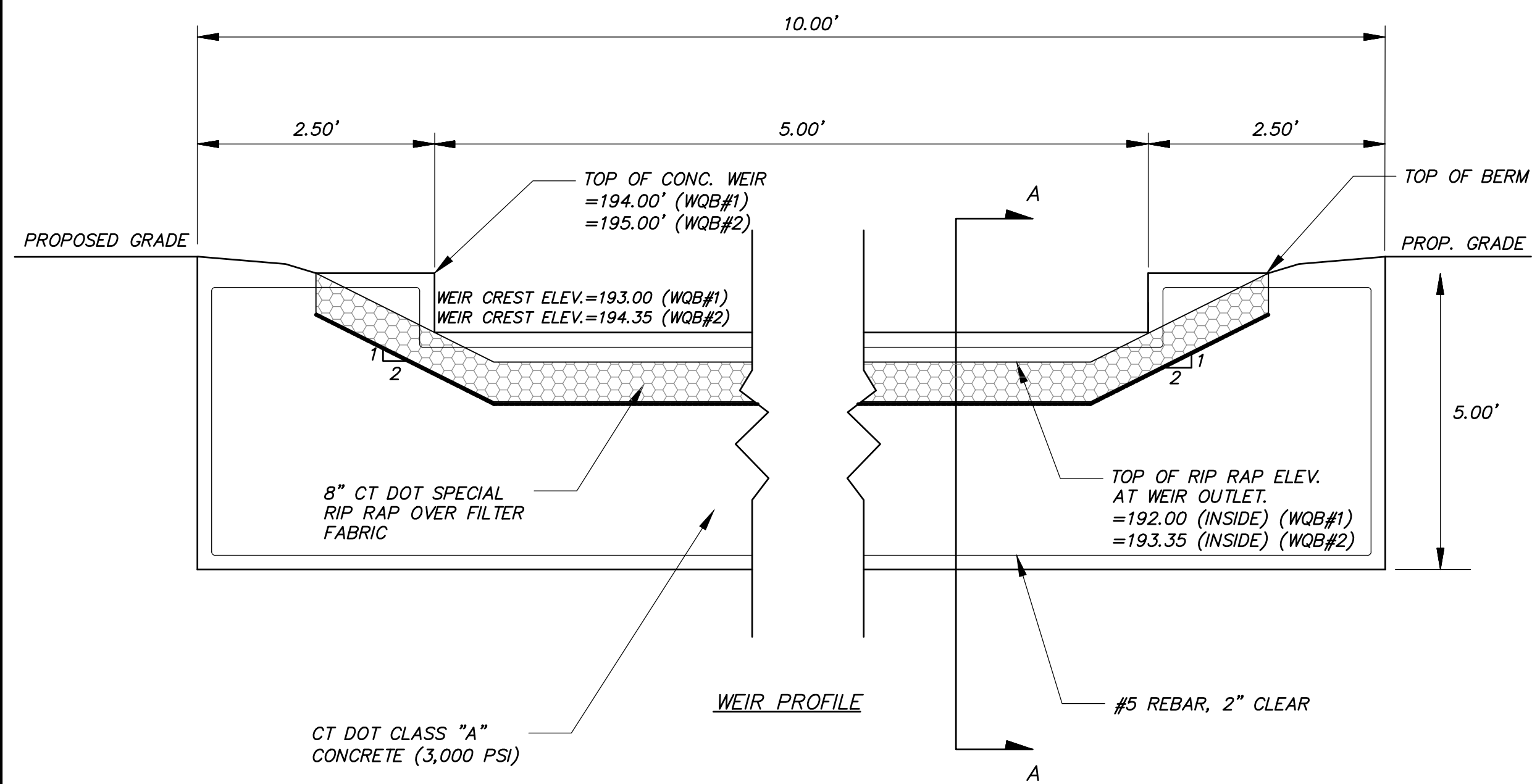
No.	Date	Description
1.	04-29-2021	Town Comments
2.	11-01-2021	Town Comments
3.	07-08-2022	Phase 2 Design

DETAILS FOR
TALCOTT MOUNTAIN SELF STORAGE
HOPMEADOW STREET
SIMSBUURY, CONNECTICUT
Date: 04-06-2021 Drawn by: ERN Job no: 21126
Checked by: GAH Sheet no: 2 OF 5
Scale: N.T.S. Greenberg USStorage/Carroll/2022-07-08-Phase 2/UST SD-1 2022-06-10.dwg SD-2, Jul. 08, 2022 - 3:49:40 PM

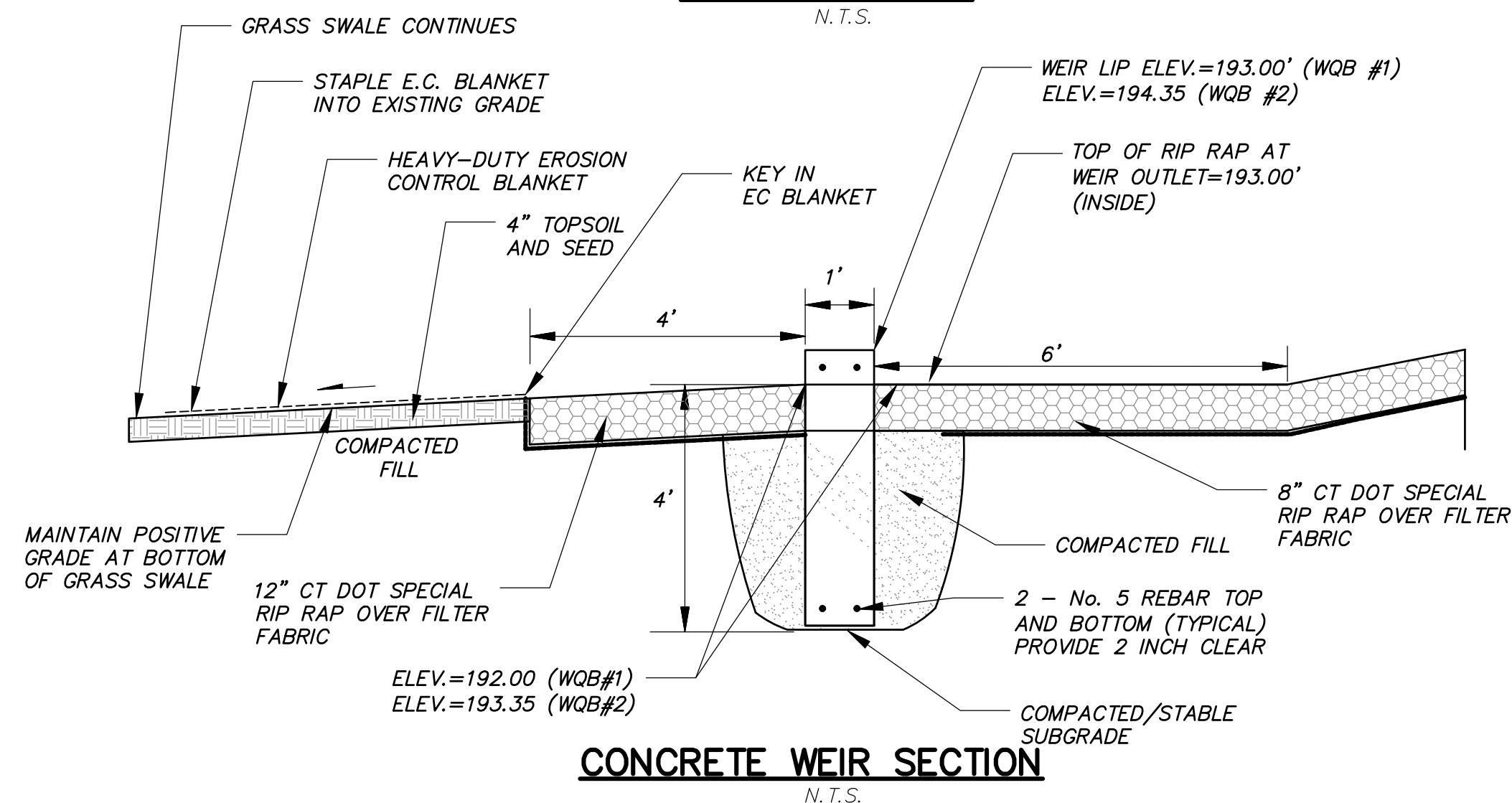
SD-2

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com - malfrisketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

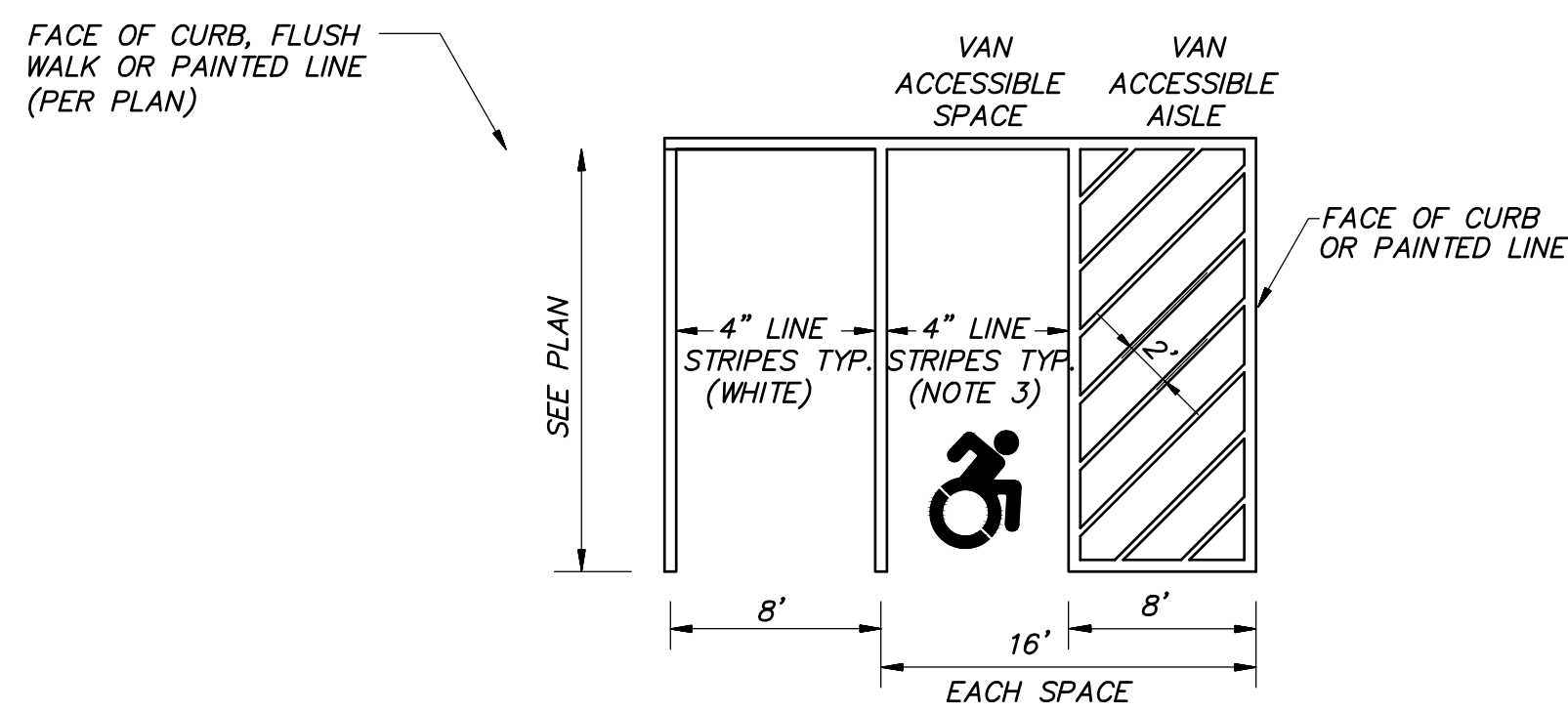




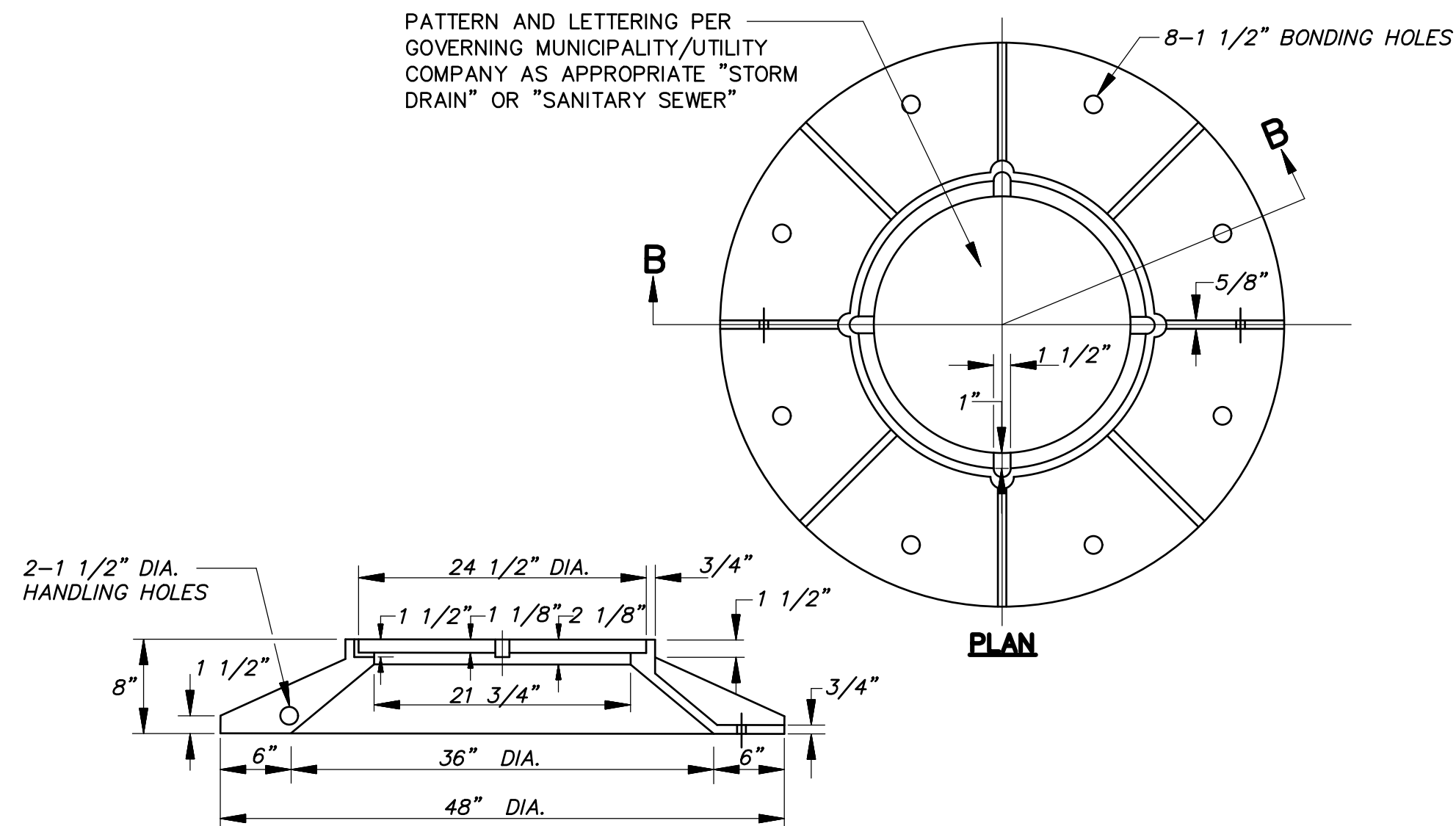
CONCRETE WEIR
N.T.S.



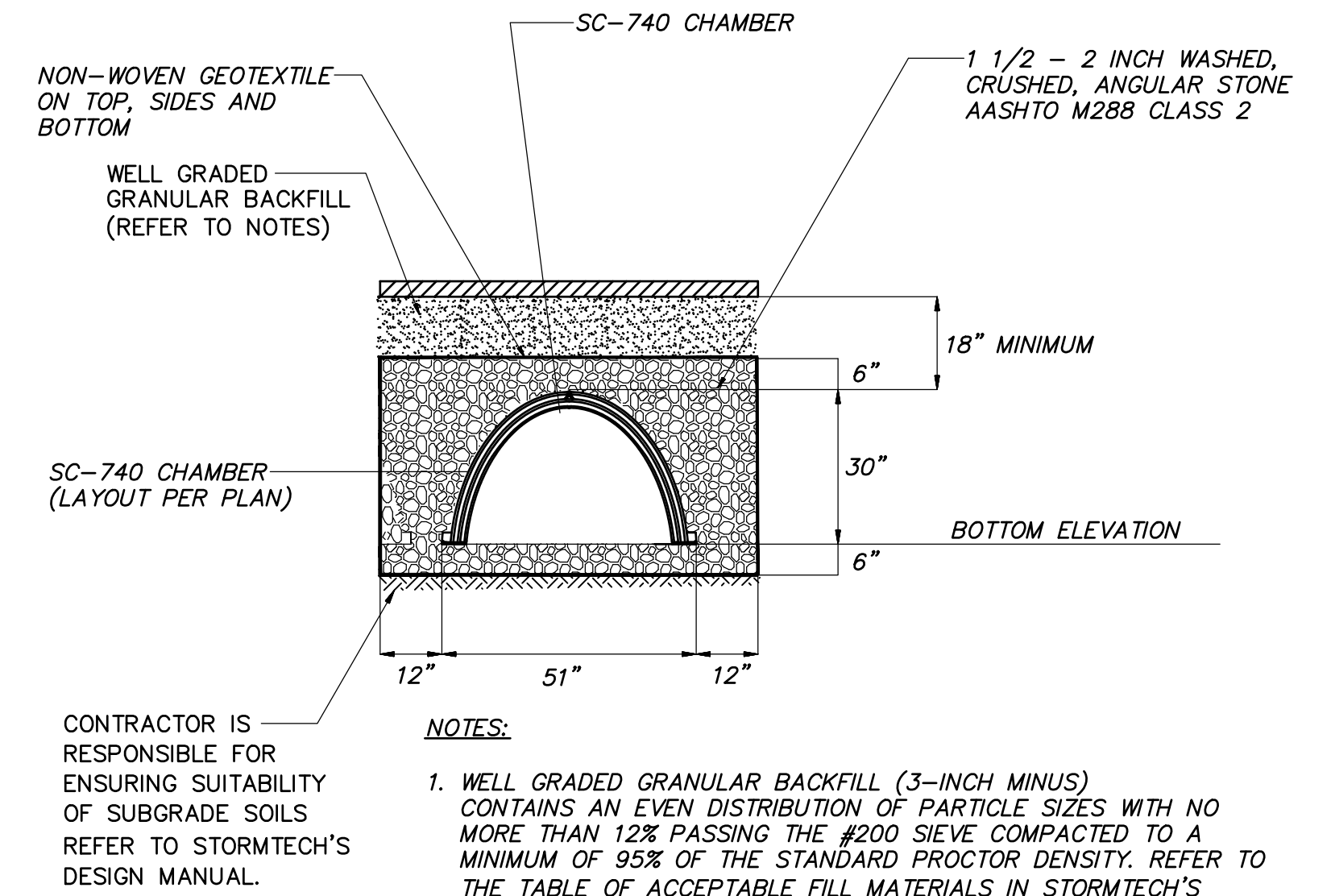
CONCRETE WEIR SECTION
N.T.S.



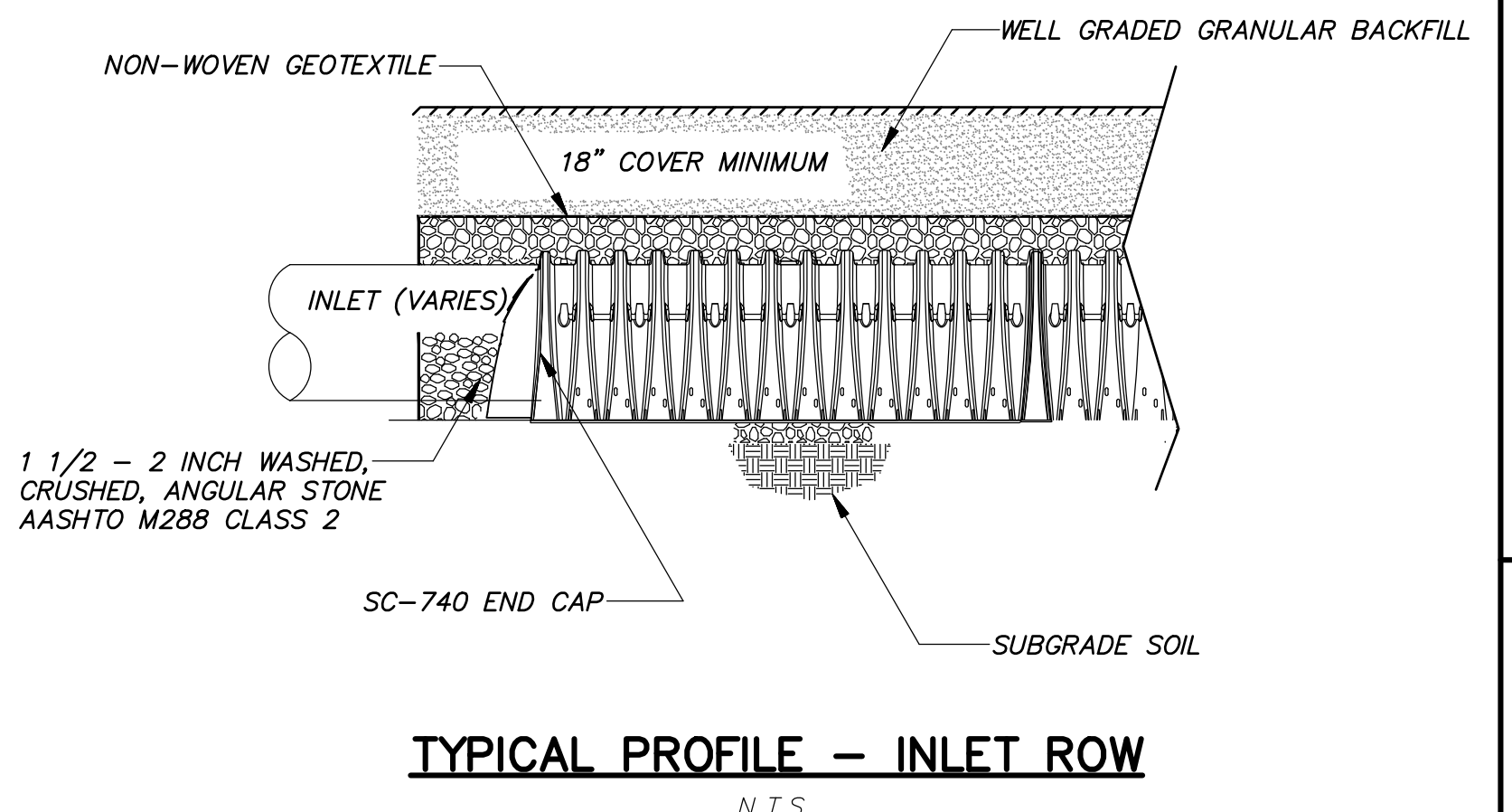
ACCESSIBLE PARKING SPACE LAYOUT
N.T.S.



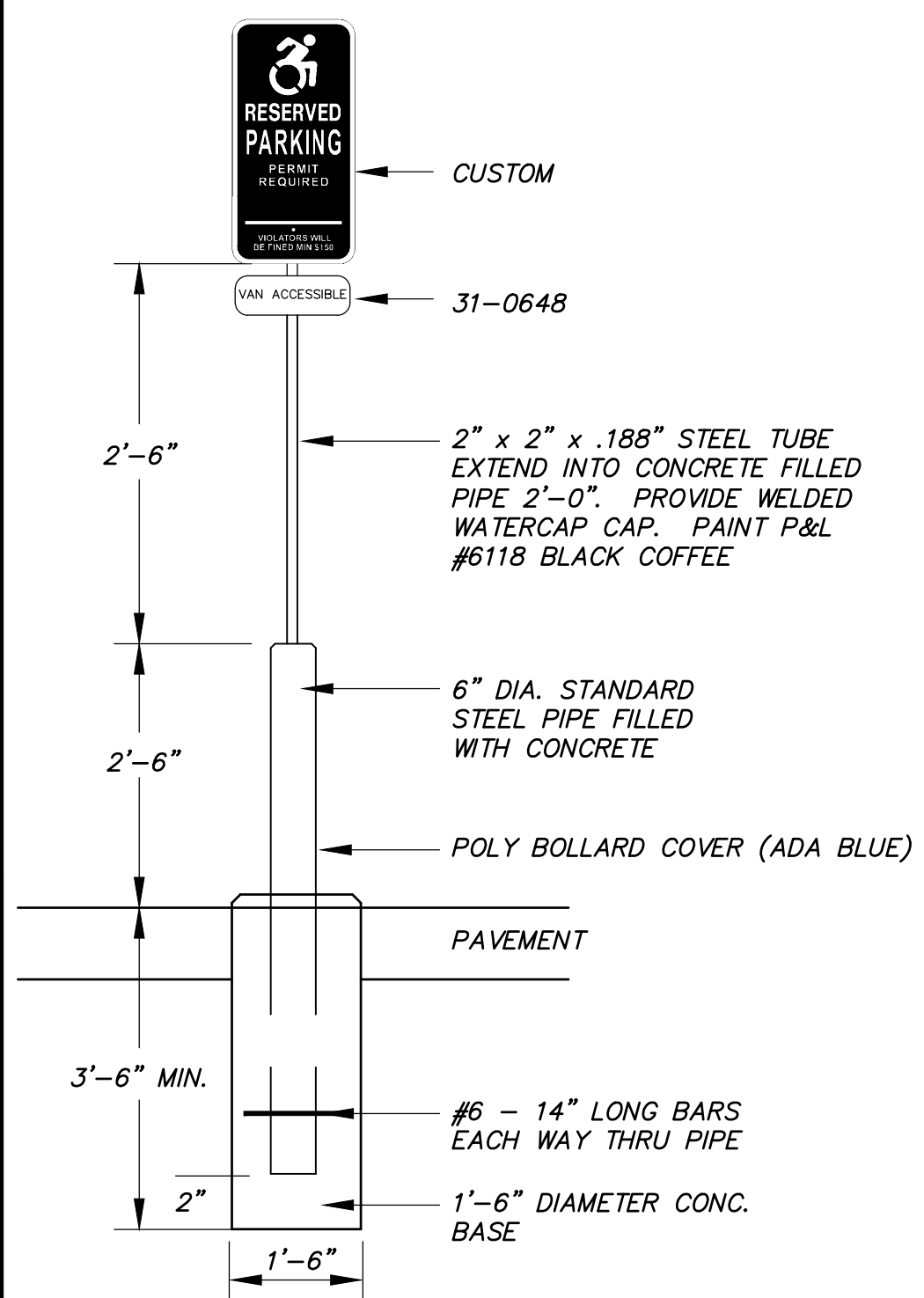
STANDARD FRAME & COVER
N.T.S.



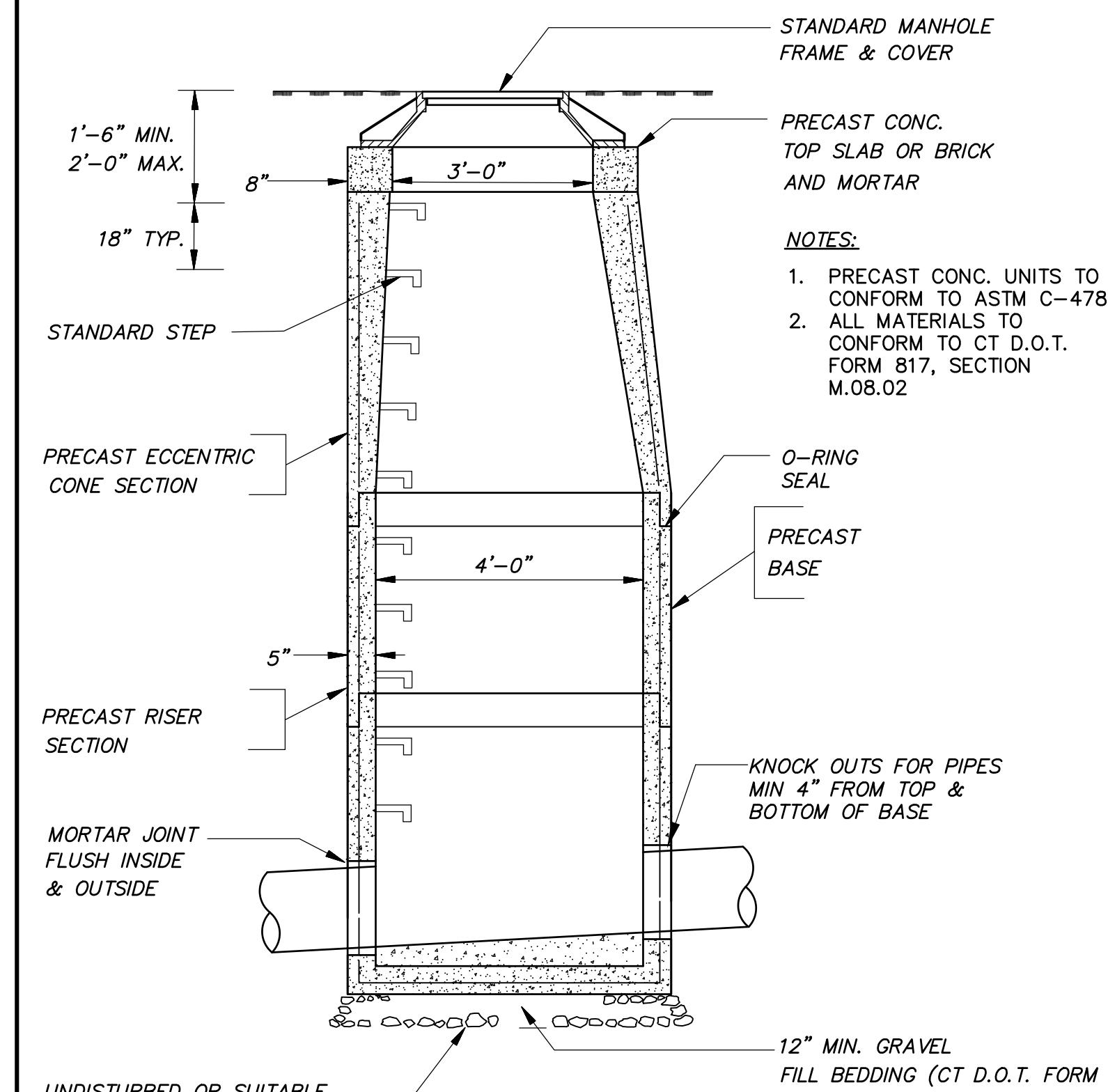
TYPICAL CROSS SECTION
N.T.S.



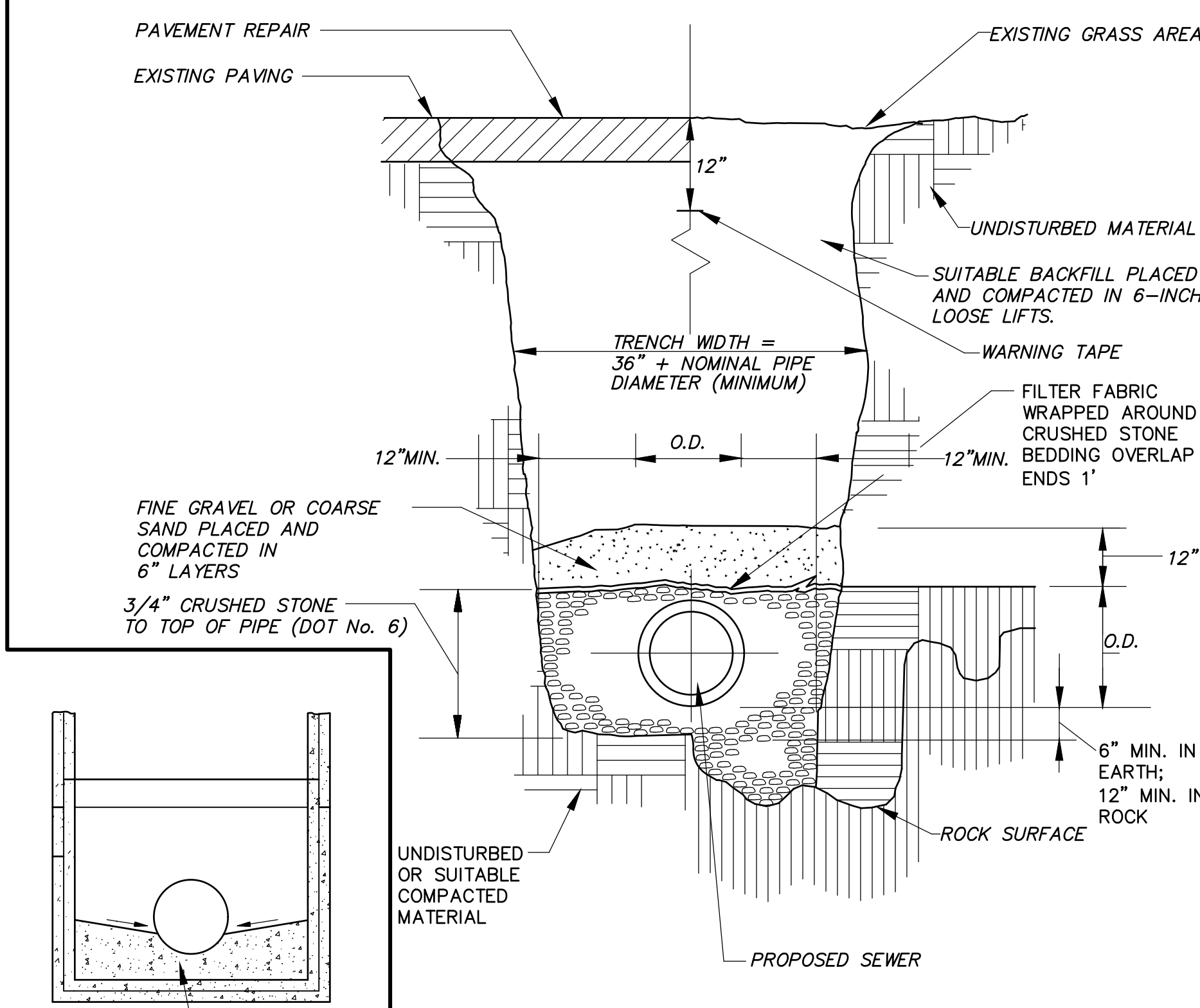
TYPICAL PROFILE - INLET ROW
N.T.S.



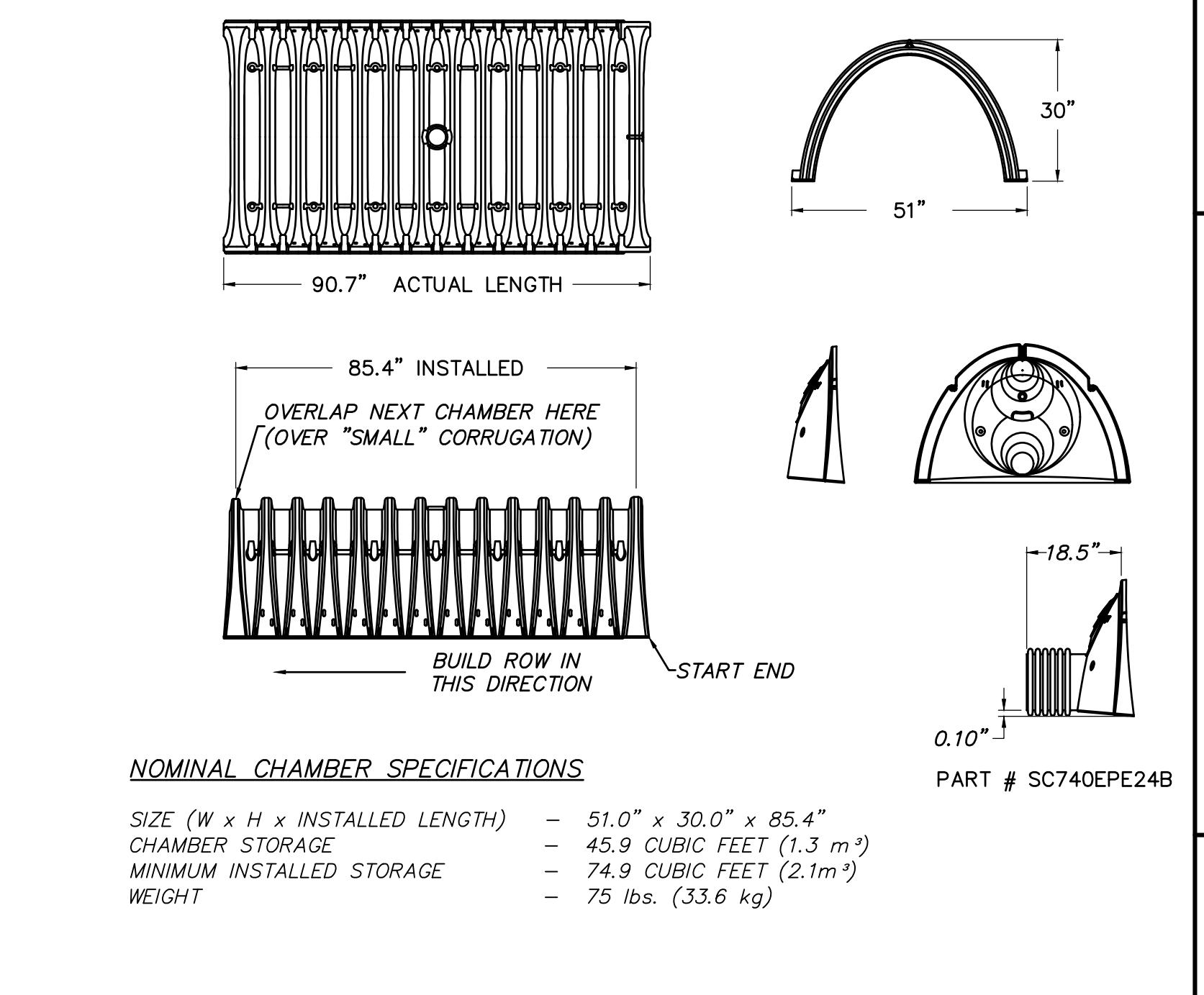
ACCESSIBLE SPACE SIGN POST/BASE
N.T.S.



STORM SEWER MANHOLE
N.T.S.



GRAVITY SEWER TRENCH DETAIL
N.T.S.



STORMTECH SC-740 CHAMBER SYSTEM
N.T.S.

No.	Date	Description
1.	04-29-2021	Town Comments
2.	11-01-2021	Layout Redesign
3.	07-08-2022	Phase 2 Design

Revisions:

PREPARED FOR
TALCOTT MOUNTAIN SELF STORAGE
HOPMEADOW STREET
Simsbury, Connecticut
Date: 04-06-2021 Drawn by: ERN Job no: 21126
Checked by: GAH Sheet no: 3 OF 5
Scale: N.T.S. Greenberg USStorage/Carroll/2022-07-08-Phase 2/UST SD-1 2022-06-10.dwg SD-3, Jan. 08, 2022 = 1:01:10 PM

SD-3

FAH
F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 644-8600
www.fahsketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects



EcoNight®3

Outdoor LED Full Cutoff Wall Pack



Key Features

- Full cutoff design for restrictive lighting zones to eliminate forward/upward light.
- Low wattage, highly efficient patented LED technology.
- Rugged yet decorative construction protects the internal components from the outdoor conditions.

Electrical

- 120-277VAC 0-10V dimming standard.
- System power factor >90% and THD <20%.
- Operating temperature: -40°C to 40°C (-40°F to 104°F).

Mounting

- Designed for wall mounting above four feet from the ground.
- Housing is configured for mounting directly over a standard 4" octagonal box (by others) or surface wiring via any of the convenient 1/2" threaded conduit entries.

Construction

- Robust die-cast aluminum housing protects integral components from harsh environments and optimizes thermal management.
- Housing is protected by a RoHS compliant, corrosion resistant powder coat finish.
- Clear tempered glass lens.

Optics

- Industry-leading LEDs with 3000K, 4000K, and 5000K CCT (minimum 70 CRI).
- Lumen Maintenance: 146,000 hours (L70).

Warranty

- Backed by US LED's industry-leading Ten-Year Warranty.



Project _____ Date _____

Catalog Number _____ Type _____

Product Performance Summary

Lumen Output	Up to 5,870 lumens
Efficacy	Up to 154 LPW
CRI	> 70 CRI
Available CCT	3000K, 4000K & 5000K
Warranty	Ten-Year Warranty

Product Overview

The EcoNight®3 LED full cutoff wall pack is an energy-efficient replacement for existing legacy lighting technology like metal halide. This highly efficient wall pack is Dark Sky compliant by reducing light pollution with its specialized optics. With traditional aesthetics and durability, the EcoNight®3 is perfect for new construction or retrofit projects that are designated with restrictive lighting zones by local ordinances.

Product Applications

- Perimeter Areas
- Building Exteriors
- Security Lighting
- Wall Washing
- Parking Lots
- Educational Facilities
- Business Campuses
- Industrial Facilities
- Mall/Retail Areas
- Recreational Areas

Product Certifications/Approvals

- ETL Listed for US & Canada
- Complies with UL1598 and CSA C22.2
- DLC Premium Listed
- Suitable for Wet Locations
- RoHS Compliant



Ordering Information

Series	Variant	Input Voltage	CCT	Wattage	Finish
3	Generation 3	UNVL 120-277V	30 3000K	75 750mA	BZ Bronze
			40 4000K	96 960mA	
			50 5000K		

Example: DSC01-3-UNVL-50-96-BZ

1. US LED product "Lifetime" refers only to the LED light engine, not the power source, and are based on the Illuminating Engineering Society's TM31 Projected Lumen Maintenance methodology at a 25°C / 77°F ambient temperature. The lifetime is only meant to be a guide for expected LED degradation and not a warranty or prediction of their actual life, which can be affected by ambient temperature and other factors.
2. Custom colors available upon request. Additional lead time may apply.

EcoNight®3

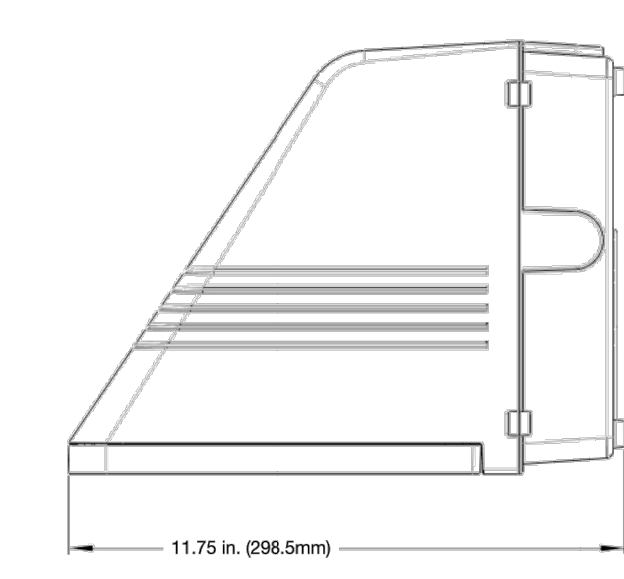
Outdoor LED Full Cutoff Wall Pack



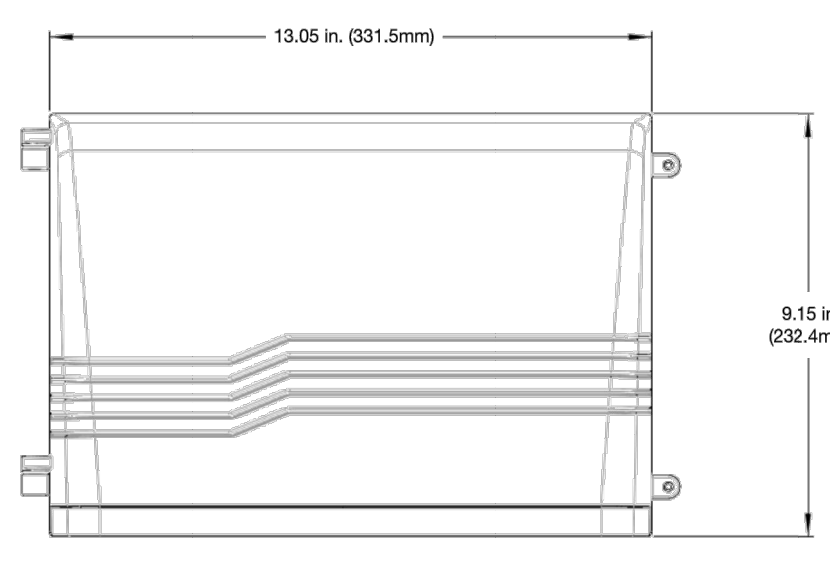
Dimensions

Net Weight	9.35 lbs. (4.24kg)
------------	--------------------

Side View



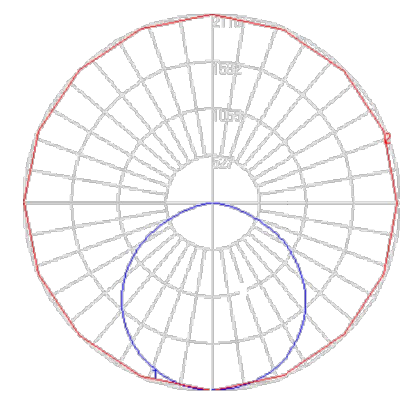
Front View



Performance Data

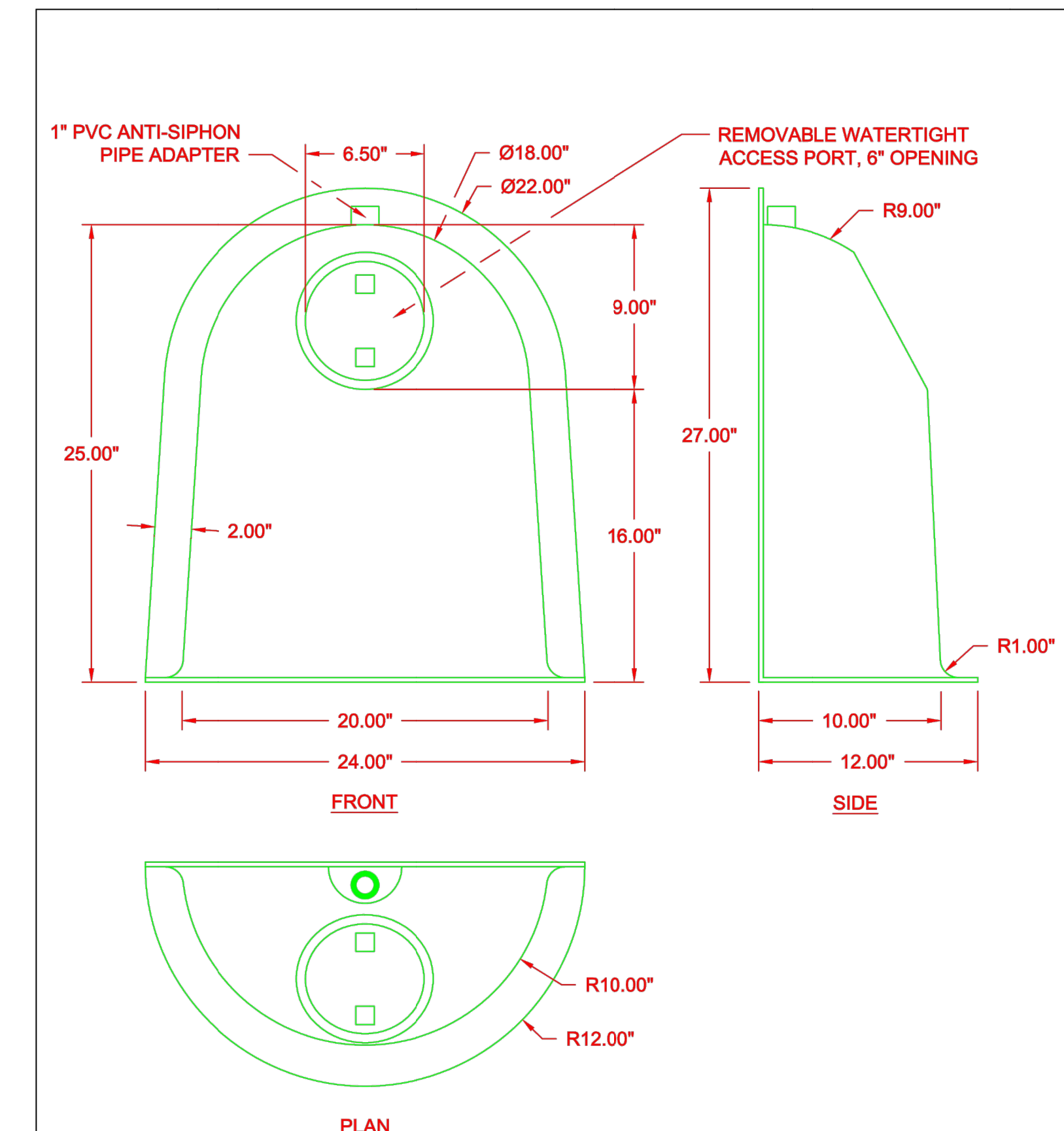
Luminaire Photometric Data

Model Number	DSC01-3-UNVL-50-96-BZ
Issue Date	07/12/2018
IESNA	LM-63-2002
Lamp	LED
Total Input Watts	40.0
Total Lumens	5,870
Efficacy	147 LPW
BUG Rating	B2-U0-G1



Model	CCT	System Level Power	Delivered Lumens	Efficacy	L70 Calculate Life	L85 Calculate Life
DSC01-3-UNVL-30-75-XX	3000K	29.9W	4,430	148 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-40-75-XX	4000K	30.1W	4,420	147 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-50-75-XX	5000K	29.9W	4,600	154 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-30-96-XX	3000K	40.0W	5,670	142 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-40-96-XX	4000K	40.0W	5,620	141 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-50-96-XX	5000K	40.0W	5,870	147 LPW	146,000 Hours	67,000 Hours

DSC01-3-06201 Due to continued product improvements, product specifications are subject to change without notice. Please visit www.usled.com for the most updated product specifications.



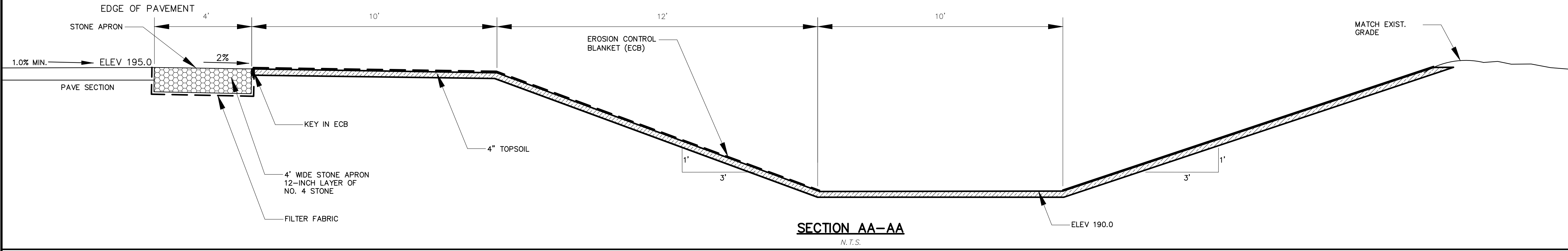
NOTES: 1. 18F SHOWN AS AN EXAMPLE ONLY.
USE APPROPRIATE SIZE FOR OUTLET PIPE

US PATENT #6126817 ADDITIONAL PATENTS PENDING

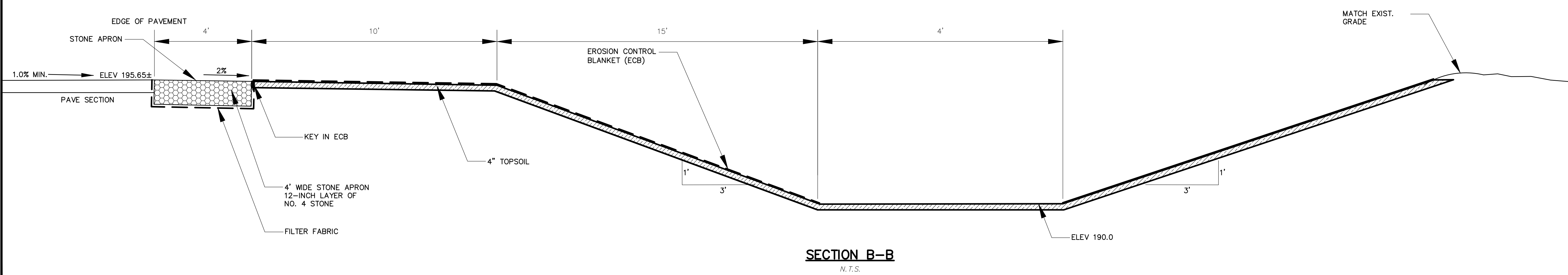
BMP, INC.
53 MT. ARCHER ROAD, LYME, CT. 06371
(800) 504-8008 FAX: (860) 434-3195

DESCRIPTION	DATE	SCALE
18F SNOT OIL & DEBRIS STOP	09/14/99	NONE
DRAWING NUMBER		18F

WALL LUMINAIRE



SECTION AA-AA
N.T.S.



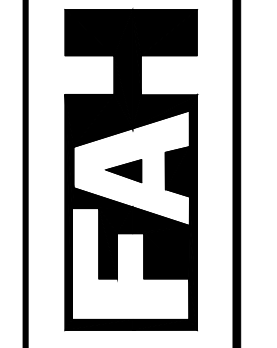
SECTION B-B
N.T.S.

No.	Date	Description
1.	11-01-2021	Layout Redesign
2.	07-08-2022	Phase 2 Design

DETAILS
PREPARED FOR
TALCOTT MOUNTAIN SELF STORAGE
HOPMEADOW STREET
SIMSBURY, CONNECTICUT
Date: 04-06-2021 Drawn by: ERN Job no: 21126
Checked by: GAH Sheet no: 5 OF 5
Scale: N.T.S. Greenberg USStorage Curatorial\2022-07-08-Phase 2\UST SD-1 2022-06-10.dwg SD-5, Jun 08, 2022 1:01:36 PM

SD-5

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 860-8000 Fax (860) 844-8600
www.fahsketh.com • m.fahsketh.com
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects



I. PROJECT DESCRIPTION

THE PROJECT CONSISTS OF CONSTRUCTING A NEW SELF STORAGE FACILITY IN ACCORDANCE WITH THE PAD ZONING REGULATIONS. THE PROPOSED FACILITY CONSISTS OF 6 ONE-STORY BUILDINGS TOTALING 55,000 S.F. THE SECOND PHASE IS OF 37,800 S.F. OF OUTDOOR STORAGE. THE ENTIRE SITE WILL BE FENCED AND GATED.

A TOTAL OF 4 PAVED PARKING SPACES ARE PROPOSED. ACCESS WILL BE FROM THE EXISTING TOWER PARK-CHUBB DRIVE AND FROM AN INTERSECTION ON HOPMEADOW STREET.

THE FACILITY WILL BE SERVED BY SANITARY SEWER, FIRE AND DOMESTIC WATER, ELECTRIC, TELEPHONE AND COMMUNICATION FROM UTILITIES AVAILABLE IN HOPMEADOW STREET.

STORMWATER WILL BE MANAGED WITH COMBINATION OF CONVENTIONAL STORM DRAIN SYSTEMS COMPRISED OF DEEP-SUMP CATCH BASINS, INFILTRATORS, AND A WATER QUALITY BASIN. RUNOFF FROM ROOF LEADERS WILL DISCHARGE TO UNDERGROUND INFILTRATORS WITH OVERFLOW TO THE WATER QUALITY BASIN. RUNOFF FROM PAVEMENT AREAS WILL BE COLLECTED WITH A COMBINATION OF PIPED DISCHARGE AND SHEET RUNOFF TO THE WATER QUALITY BASIN. THE BASIN HAS BEEN SIZED TO MEET THE CTDEEP WATER QUALITY VOLUME.

IN GENERAL, THE WORK INCLUDES, BUT IS NOT LIMITED TO:

- CLEARING AND GRUBBING OF SITE.
- ROUGH GRADING FOR LANDSCAPE BERM, BUILDING AND DRIVE/PARKING CONSTRUCTION.
- INFILTRATION/DETENTION BASIN CONSTRUCTION AND INSTALLATION OF STORM DRAIN SYSTEMS.
- CONSTRUCTION OF BUILDING FOUNDATION, INSTALLATION OF UNDERGROUND UTILITY SERVICES.
- CONSTRUCTION OF BUILDINGS.
- CONSTRUCTION OF PAVED PARKING AREAS AND DRIVES, AND INSTALLATION OF PAVEMENT MARKINGS AND SIGNAGE.
- INSTALLATION OF LANDSCAPING.

II. CONSTRUCTION SEQUENCE.

A DETAILED CONSTRUCTION PHASING PLAN AND SCHEDULE SHALL BE SUBMITTED BY THE CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO THE START OF CONSTRUCTION. THIS PHASING PLAN AND SCHEDULE SHALL INCLUDE ALL MAJOR CONSTRUCTION, TRAFFIC CONTROL, SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THIS PLAN AND SCHEDULE SHALL PROVIDE FOR ALL WORK TO BE COMPLETED WITHIN THE ALLOTTED TIME, SHALL MINIMIZE TRAFFIC AND ENVIRONMENTAL IMPACTS, AND SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL PERMITS AND REGULATIONS.

IN GENERAL, SITE WORK CONSTRUCTION SHALL FOLLOW THE SEQUENCE OUTLINED BELOW:

- INSTALLATION OF EROSION CONTROL DEVICES.
- CLEARING AND GRUBBING.
- ROUGH GRADING AND EXCAVATION/PREPARATION FOR BUILDING FOUNDATION/SLAB, LANDSCAPED BERM AND WATER QUALITY BASIN FOR USE AS TEMP. SEDIMENT TRAP.
- CONSTRUCTION OF STORM DRAINAGE SYSTEM, WATER QUALITY BASIN AND INFILTRATOR UNITS.
- BUILDING CONSTRUCTION, CONCRETE WORK, AND INSTALLATION OF UNDERGROUND UTILITIES.
- PLACEMENT OF SUB-GRADE AND PAVEMENT BASE COURSE.
- PLACEMENT OF BITUMINOUS PAVEMENT COURSES AND CURB.
- FINAL STABILIZATION OF DISTURBED AREAS, INSTALLATION OF LANDSCAPE MATERIALS, PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS.
- REMOVAL OF TEMPORARY EROSION CONTROL DEVICES.
- IT IS ANTICIPATED THAT CONSTRUCTION WILL BEGIN IN THE WINTER OF 2021 AND BE COMPLETED BY FALL OF 2022.

III. GENERAL NOTES:

- EXISTING TOPOGRAPHY TAKEN FROM A MAP ENTITLED "LIMITED TOPOGRAPHIC SURVEY", PREPARED FOR TALCOTT MOUNTAIN SELF STORAGE, HOPMEADOW STREET, SIMSBURY, CONNECTICUT" BY F.A. HESKETH & ASSOCIATES, INC., DATED 07-12-2010, REVISED 04-06-2021.
- ALL WORK AND MATERIALS TO CONFORM TO THE SPECIFICATIONS, DOT FORM 818, TOWN OF SIMSBURY SPECIFICATIONS, CUSTODIAL UTILITY COMPANY SPECIFICATIONS, AND THE DETAILS SHOWN ON THESE PLANS, AS APPLICABLE.
- PRIOR TO ANY EXCAVATION THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING "CALL BEFORE YOU DIG" 1-800-922-4455 AT LEAST 48 HOURS IN ADVANCE.
- THE LOCATION OF ALL UTILITIES SHOWN IS APPROXIMATE AND IS BASED UPON AVAILABLE AS-BUILT INFORMATION FROM UTILITY COMPANY RECORDS, THE PROPERTY OWNER, AND LIMITED SURVEY DATA. NOT ALL UTILITIES MAY BE SHOWN, AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES ON THE SITE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY AND NOTIFYING THE DESIGN SITE ENGINEER OR ARCHITECT, AS APPLICABLE, OF ANY ADJUSTMENTS TO THE PLANS WHICH ARE NECESSARY. TEST PITS WILL BE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS IN ORDER TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND TO IDENTIFY POTENTIAL CONFLICTS WITH VERTICAL AND HORIZONTAL ALIGNMENTS SHOWN ON THE PLANS. TEST PITS SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL UTILITIES TO BE INSTALLED, RELOCATED, AND/OR PROTECTED IN ACCORDANCE WITH UTILITY COMPANY STANDARDS, AS APPLICABLE, AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. FINAL LOCATION OF UTILITY CONNECTIONS OR METHODS OF PROTECTION ARE SUBJECT TO REVISION BY INDIVIDUAL UTILITY COMPANIES PRIOR TO THE INSTALLATION OR IMPLEMENTATION OF PROTECTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK WITH THE APPLICABLE UTILITY COMPANIES, FOR COORDINATING UTILITY CONNECTIONS OR RELOCATIONS WITH THE SITE WORK AND BUILDING CONSTRUCTION, AND COORDINATING THE PROTECTION OF ALL UTILITIES NECESSARY TO PERFORM THE WORK SHOWN ON THE PLANS. COORDINATION ACTIVITIES SHALL BE SCHEDULED AND TAKE PLACE PRIOR TO THE START OF CONSTRUCTION ACTIVITIES EFFECTING THE UTILITIES INSTALLATION, REPLACEMENT, AND/OR PROTECTION.
- INSTALLATION OF UTILITIES SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE PLANS, BOTH IN VERTICAL AND HORIZONTAL ALIGNMENTS, UNLESS SPECIFICALLY APPROVED BY THE SITE ENGINEER.
- A PRE-CONSTRUCTION MEETING AND AUTHORIZATION TO PROCEED WILL BE REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION, INCLUDING REMOVAL OF TREES AND/OR DEMOLITION ACTIVITIES. PROCEDURES FOR SUCH PRE-CONSTRUCTION MEETING AND AUTHORIZATION TO PROCEED SHALL BE IN ACCORDANCE WITH TOWN AND STATE REQUIREMENTS.
- PRIOR TO CONSTRUCTION, THE TOWN PLANNING & DEVELOPMENT DEPARTMENT SHALL BE CONTACTED AT (860) 658-3228, TO INSPECT THE INSTALLATION OF EROSION CONTROL MEASURES.
- ALL WORK ON THIS PROJECT SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF THE VARIOUS FEDERAL, STATE, AND LOCAL PERMITS ISSUED FOR THIS PROJECT.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLAN, SPECIFICATIONS, THE EROSION AND SEDIMENTATION CONTROL NOTES, AND APPLICABLE STATE AND LOCAL REQUIREMENTS.
- NO STUMPS OR OTHER DELETERIOUS MATERIALS ARE TO BE BURIED ON THE SITE.
- ALL DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SO AS NOT TO CAUSE FLOODING OF ROADWAYS OR DAMAGE TO PRIVATE PROPERTY.
- TRAFFIC CONTROL OPERATIONS SHALL BE CONDUCTED TO THE SATISFACTION OF THE TOWN AND STATE OFFICIALS.
- WORK WITHIN THE STATE HIGHWAY RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE CT. D.O.T. DISTRICT 4. THE CONTRACTOR IS RESPONSIBLE FOR PROCURING THE PERMIT PRIOR TO THE START OF CONSTRUCTION.
- PERIMETER SITE LIGHTING SHALL BE DIRECTED AWAY FROM ABUTTERS PROPERTY.

CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES

Refer to the "Connecticut Guidelines For Soil Erosion And Sediment Control – 2002" (see Erosion and Sediment Control Note 3) when constructing erosion control devices shown on this plan.

All of the control devices listed below may not be indicated on the initial SE&SC Plans and may not be necessary on a specific project. The Contractor shall utilize these devices, and others as necessary, as the project proceeds and as conditions warrant.

CE – CONSTRUCTION EXIT: a broken stone pad providing a hard surface point where vehicles will leave the site. The construction exits reduce tracking of sediment into adjacent pavement. Excess sediment should be periodically removed from the stone surface.

DE – DETENTION BASIN: An impoundment made by constructing a dam or an embankment (embankment detention basin), or by excavating a pit or dugout (excavated detention basin). Basins resulting from both excavation and embankment construction are classified as embankment detention basins where the depth of water impounded against the embankment at emergency spillway elevation is three feet or more.

DC – DUST CONTROL: The control of dust with water or calcium chloride.

DWM – DEWATERING EARTHEN MATERIALS: A procedure that uses a perimeter earthen berm and excavation to create a containment area where excessively wet soil is placed to allow for the draining of water or evaporation of excessive moisture.

ECB – EROSION CONTROL BLANKET: A manufactured blanket composed of biodegradable / photodegradable natural or polymer fibers and/or filaments that have been mechanically, structurally or chemically bound together to form a continuous matrix.

FD – FOUNDATION DEWATERING: A excavated area, surrounded by hay bales for receiving ground water pumped from foundation excavations. If the pumped water includes significant sediment loads use a Pump Settling Basin.

HBDC – HAY BALE CHECK DAMS: shall be staked in a single row perpendicular to the flow along the bottom and sides of drainage ditches and channels or in other locations where runoff is concentrated. Check dams shall be installed at 100' intervals unless indicated otherwise. Silt must be removed and haybales replaced periodically.

HBEC – HAYBALE EROSION CHECKS shall be staked a minimum of five (5) feet from the base of disturbed slopes exceeding eight (8) feet in height, or at locations shown on the plans. Place haybales before starting a fill slope and after digging a cut slope. Heel haybales 4" into the soil. Remove all sediment when deposits reach 1/2 bale height. Haybales must be replaced periodically.

IP – CATCH BASINS INLET PROTECTION: Staked haybales around the perimeter of catch basins or silt sacks installed within the catch basin.

LG – LAND GRADING: Reshaping of the ground surface by excavation or filling or both, to obtain planned grades.

LP – LANDSCAPE PLANTING: Planting trees, shrubs, or ground covers for stabilization of disturbed areas.

MS – MULCH FOR SEED: Application of a mulch that will protect the soil surface on a temporary basis and promote the establishment of temporary or permanent seedlings.

PS – PERMENT SEEDING: Establishment of permanent stand of grass and/or legumes by seeding and mulching exposed soils with a seed mixture appropriate for long term stabilization.

PSB – PUMPING SETTLING BASIN: An enclosed sediment barrier or excavated pit constructed with a stable inlet and outlet such that sediment laden water from pumping operations is de-energized and temporarily stored, allowing sediments to be settled and/or filtered out before being released from the construction site.

RRPP – RIP RAP PLUNGE POOL: a riprap lined apron installed at a zero percent grade to absorb the initial impact of stormwater discharge from the storm drainage system and further reduce flow velocities to prevent erosion downstream.

RRSW – RIP RAP SWALE: a swale with rip rap lining installed to absorb the energy of flowing stormwater and reduce flow velocities to prevent erosion of the channel.

SCD – STONE CHECK DAM: A temporary or permanent stone dam placed across a drainage-way.

SD – SUBSURFACE DRAINS: Used in areas having a high water table where benefits of lowering or controlling groundwater or surface runoff are desired. Where soil permeability is sufficient to permit installation of an effective and economically feasible system.

SFB – STONE FILTER BERM: A temporary or permanent stone filter placed across a drainage-way or discharge area designed to slow flow and filter sediment.

SFEC – SEDIMENT FENCE EROSION CHECK: A synthetic textile barrier designed to filter sediment from surface water runoff. Placement shall be similar to HBEC and installation requires anchoring the fence bottom to prevent bypass. All sediment shall be removed if deposits reach one (1) foot in depth. Additional support (such as snow fence or wire fence) on the downhill face may be required to strengthen sediment fence in high flow locations.

TD – TEMPORARY DIVERSION: A temporary channel with a berm of tamped or compacted soil placed in such a manner so as to divert flows.

TO – TOPSOILING: The application of topsoil to promote the growth of vegetation following the establishment of final grades.

TP – TREE PROTECTION: The protection of trees to remain by surrounding with silt fence or construction fence. The fence should be placed approximately at the drip line of the tree.

TS – TEMPORARY SEEDING: Establishment of a temporary stand of grass and/or legumes by seeding and mulching exposed soils with a seed mixture appropriate for long term stabilization.

TSP – TEMPORARY SLOPE PROTECTION: Application of a degradable material that will protect the soil surface on a temporary basis with the intention of promoting plant growth

TSS – TEMPORARY SOIL STOCKPILE: Temporary location of stockpiled topsoil. Locations shall generally be on level ground away from drainage ways and shall be ringed with silt fence and/or haybales. Stockpile shall be seeded if it remains in place for more than 30 days.

TST – TEMPORARY SEDIMENTATION TRAP: A temporary ponding area with a stone outlet formed by excavation and/or constructing an earthen embankment to detain sediment-laden runoff from small disturbed areas long enough to allow a majority of the sediment to settle out.

TRM – PERMENT TURF REINFORCEMENT MAT: A manufactured mat composed of non-biodegradable polymer or synthetic fibers mechanically, structurally or chemically bound together to form a continuous matrix.

LONG TERM STORMWATER SYSTEM AND OVERALL SITE MAINTENANCE PLAN

IT IS IMPORTANT THAT A LONG TERM MAINTENANCE PLAN BE IMPLEMENTED AND EXECUTED THROUGHOUT THE LIFE OF THE FACILITY.

STORMWATER SYSTEM

- MAINTENANCE OF THE ON-SITE STORM WATER SYSTEM IS THE RESPONSIBILITY OF THE PROPERTY OWNER. THIS INCLUDES ALL CATCH BASINS, YARD DRAINS, PIPING, MANHOLES, WATER QUALITY BASIN, INFILTRATOR UNITS, ROOF LEADERS AND THE DRAINAGE PIPES.
- THE FOLLOWING SCHEDULE OF MAINTENANCE SHALL BE FOLLOWED:

A. IN GENERAL, GOOD HOUSEKEEPING PRACTICES SHALL BE INCORPORATED INTO THE ROUTINE SITE AND FACILITY MAINTENANCE PLAN TO MINIMIZE DEPOSITION OF SEDIMENT, LITER AND CONTAMINANTS INTO THE STORM DRAINAGE SYSTEM.

B. PAVED PARKING AND LOADING AREAS AND WALKS SHALL BE SWEEPED OF DEBRIS, SAND, AND LITTER AT LEAST TWICE ANNUALLY, IN PARTICULAR, LATE SPRING AFTER WINTER SANDING OPERATIONS, AND IN LATE FALL AFTER LEAF LITTER CLEANUP.

C. CATCH BASINS, INFILTRATOR UNITS, AND THE WATER QUALITY BASIN SHALL BE INSPECTED SEMIANNUALLY, FOLLOWING SPRING AND FALL SITE CLEANUP. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED AND DISPOSED OF TO APPROVED OFF-SITE LOCATIONS.

- MAINTENANCE RECORDS DOCUMENTING SYSTEM INSPECTIONS AND CLEANING OPERATIONS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BE MADE AVAILABLE FOR INSPECTION BY THE TOWN AS REQUESTED.

No.	Date	Description	Revisions:
1	04-29-2021	TOWN COMMENTS	
2	11-01-2021	Layout Redesign	
3	07-08-2022	Phase 2 Design	

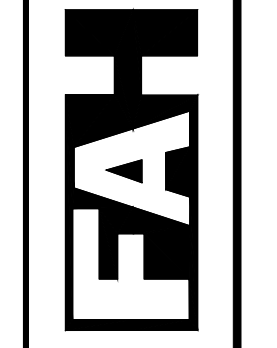
NOTES
PREPARED FOR

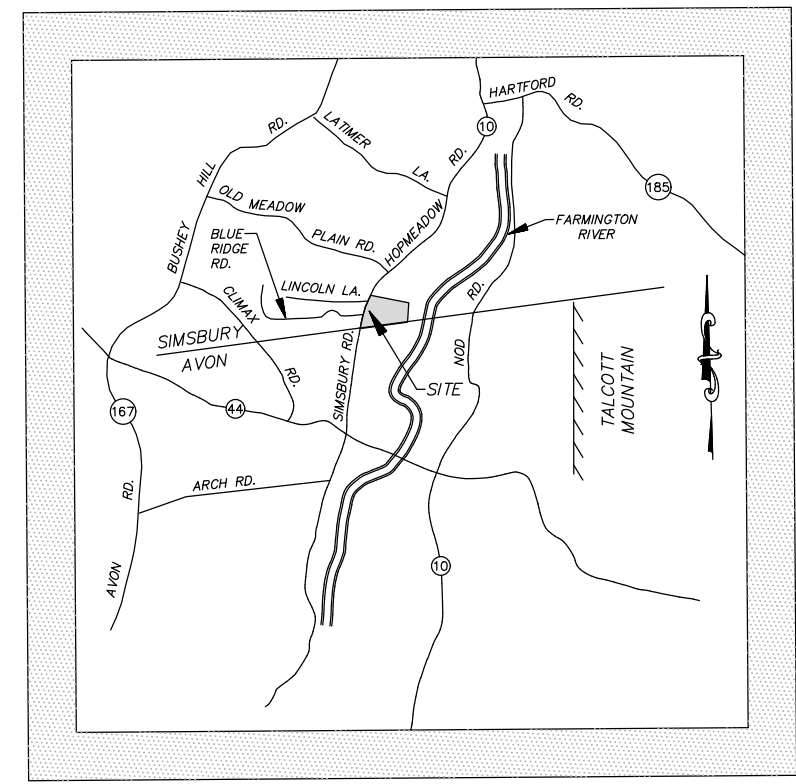
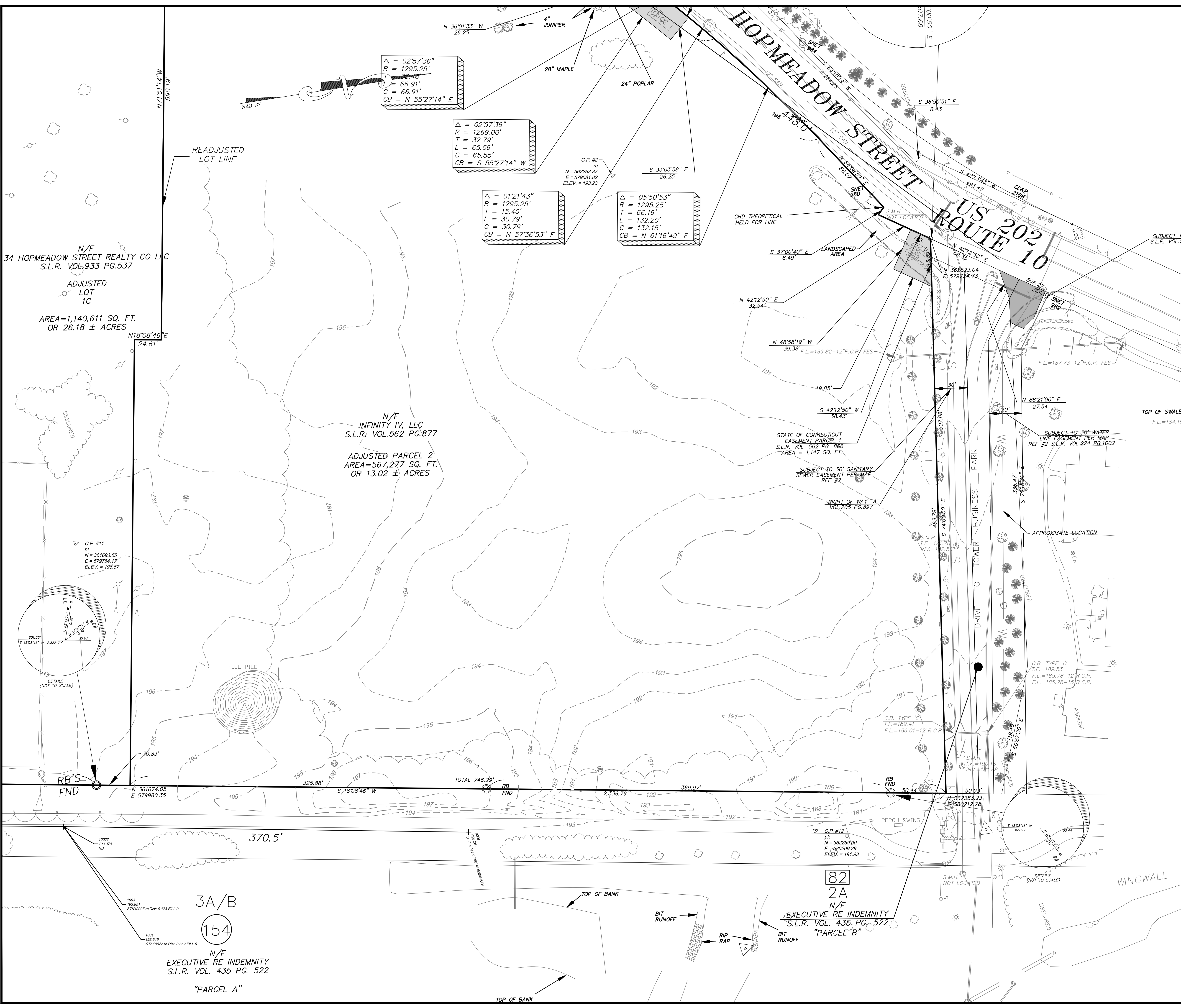
TALCOTT MOUNTAIN SELF STORAGE
HOPMEADOW STREET
SIMSBURY, CONNECTICUT

Date: 04-06-2021 Drawn by: RAK Job no: 21126
Checked by: DSZ Sheet no: 1 OF 1
Scale: NTS

NT-1

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026 · 146 N W Broad Street, Southern Pines, NC 28887
Phone (860) 653-8000 · Fax (860) 844-9600 · Phone (910) 692-2844 · Fax (910) 692-3356
Civ. & Traffic Engineers · Surveyors · Planners · Landscape Architects · www.fahesketh.com · fah@fahesketh.com



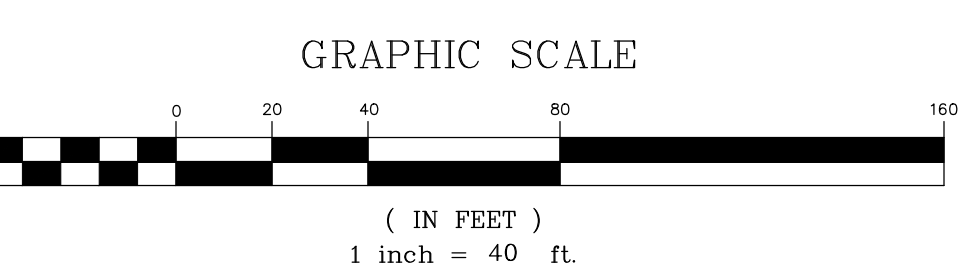


VICINITY MAP (NOT TO SCALE)

- NOTES:
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 - IT IS A LIMITED TOPOGRAPHIC SURVEY INTENDED TO BE USED FOR SITE PLANNING PURPOSES.
 - THIS SURVEY FALLS INTO THE RESURVEY BOUNDARY DETERMINATION CATEGORY. IT IS DEPENDENT IN NATURE AND BASED UPON MAP REFERENCE #2.
 - THIS SURVEY MEETS CLASS T-2 TOPOGRAPHIC ACCURACY STANDARDS.
 - BEARINGS AND COORDINATES DEPICTED HEREON REFER TO 1927 NORTH AMERICAN DATUM (NAD 27), CONNECTICUT GEODETIC SURVEY STATION TM J-209 NORTHING = 363,714.74 EASTING = 580,691.94 AND STATION CTGS 762X NORTHING = 364,777.46 EASTING = 581,631.82 WERE USED FOR REFERENCE.
 - ELEVATIONS DEPICTED HEREON (IF ANY) REFER TO ABRAMS AERIAL SURVEY CORP. SURVEY CONTROL DATA MARK J-209 ELEVATION=185.56 PURPORTED TO REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
 - THE SUBJECT PROPERTIES ARE LOCATED IN THE PAD ZONE APPROVED ON NOVEMBER 17, 2014 AT A REGULAR MEETING OF THE TOWN OF SIMSBURY ZONING COMMISSION.
 - INTENTIONALLY OMITTED.
 - THE SUBJECT PARCEL IS CURRENTLY OWNED BY 34 HOPMEADOW STREET REALTY CO LLC SIMSBURY LAND RECORDS VOLUME 933 PAGE 537.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PAROL TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 - THE PARCELS DEPICTED HEREON MAY BE SUBJECT TO AND BENEFIT FROM:
 - COVENANT AND AGREEMENT TO BUILD AND FOREVER MAINTAIN THE FENCES IS SET FORTH IN A GRANT FROM NATHAN CASE TO THE NEW HAVEN & NORTHAMPTON COMPANY DATED AUGUST 1849 AND RECORDED JANUARY 11, 1850 IN VOLUME 38 AT PAGE 413 OF THE SIMSBURY LAND RECORDS.
 - RIGHT OF WAY FROM HIGHWAY LEADING EAST TO SAID PROPERTY AS SET FORTH IN A WARRANTY DEED FROM AMERICAN SUMATRA TOBACCO CORPORATION TO FRANK S. AND RAYMOND M. HOLLOWAY DATED MARCH 14, 1938 AND RECORDED MARCH 25, 1938 IN VOLUME 73 AT PAGE 173 OF THE SIMSBURY LAND RECORDS.
 - EASEMENT AGREEMENT IN FAVOR OF TOWER BUSINESS PARK ASSOCIATION, INC. DATED DECEMBER 17, 2001 AND RECORDED IN THE SIMSBURY LAND RECORDS.
 - INTENTIONALLY OMITTED.
 - INTENTIONALLY OMITTED.
 - THE SIMSBURY PLANNING COMMISSION AT ITS MEETING ON MARCH 24, 2015 APPROVED WITH MODIFICATIONS SUBDIVISION APPLICATION #15-01 TO CREATE 3 LOTS IN A PAD ZONE ON PROPERTY LOCATED AT 34 HOPMEADOW STREET. MODIFICATION 3 REQUIRES THE APPLICANT TO FURNISH A DOCUMENT WHICH PROPOSES THAT THE OPEN SPACE PROVIDED AS PART OF THIS SUBDIVISION BE PROTECTED BY A CONSERVATION EASEMENT WHICH CONTAINS THE DETAILS AS TO THE MAINTENANCE RESPONSIBILITIES FOR THIS AREA. THE DOCUMENT IS TO BE REFERENCED ON THE RECORD SUBDIVISION MYLAR WHICH IS TO BE RECORDED WITH THE TOWN CLERK. SEE MAP REFERENCE #18.

MAP REFERENCES

- SUBDIVISION PLAN LOT 1A PROPERTY OF INFINITY IV, LLC 34 HOPMEADOW STREET (ROUTE 10) SIMSBURY, CT DATE: 02-25-2015 REVISED 04-20-2015 SCALE 1"=100' SHEET NO. 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC.
- COMPILATION PLAN LOT LINE ADJUSTMENT PLAN PREPARED FOR INFINITY IV, LLC 34 HOPMEADOW STREET (ROUTE 10) SIMSBURY, CT DATE: 07-16-2018 SCALE 1"=100' SHEET NO. 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC.



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

TODD S. HESKETH LS 17945

Phone (860) 683-8000
Fax (860) 644-8600
e-mail: mal@fahesket.com

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

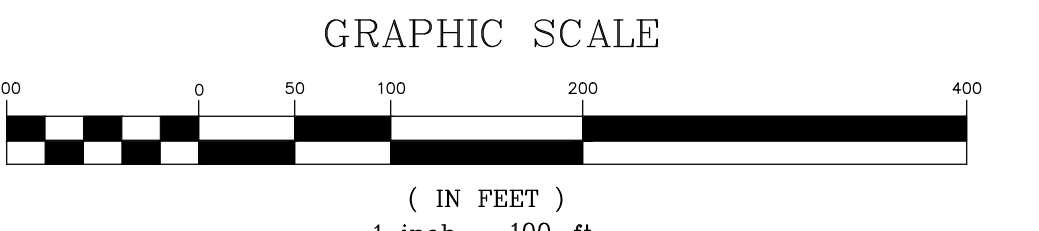
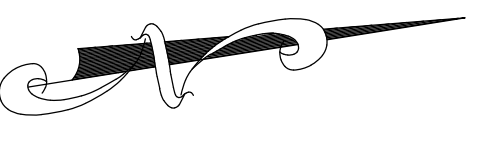
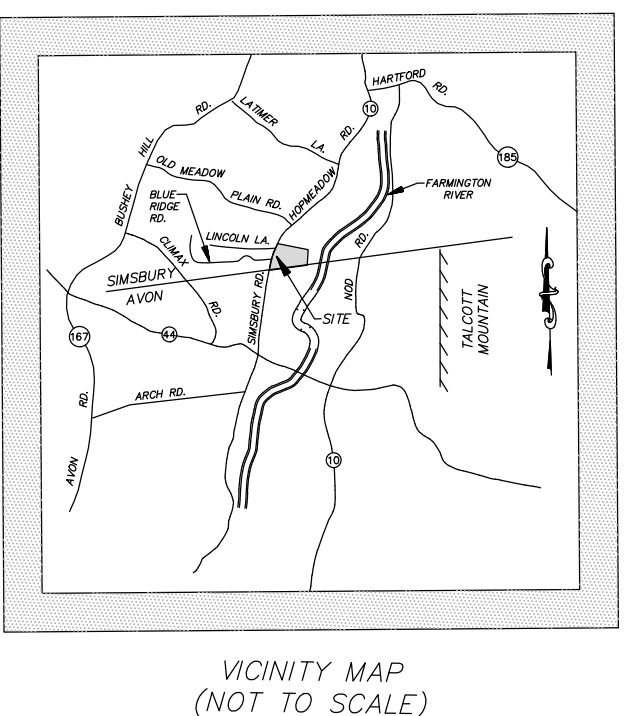
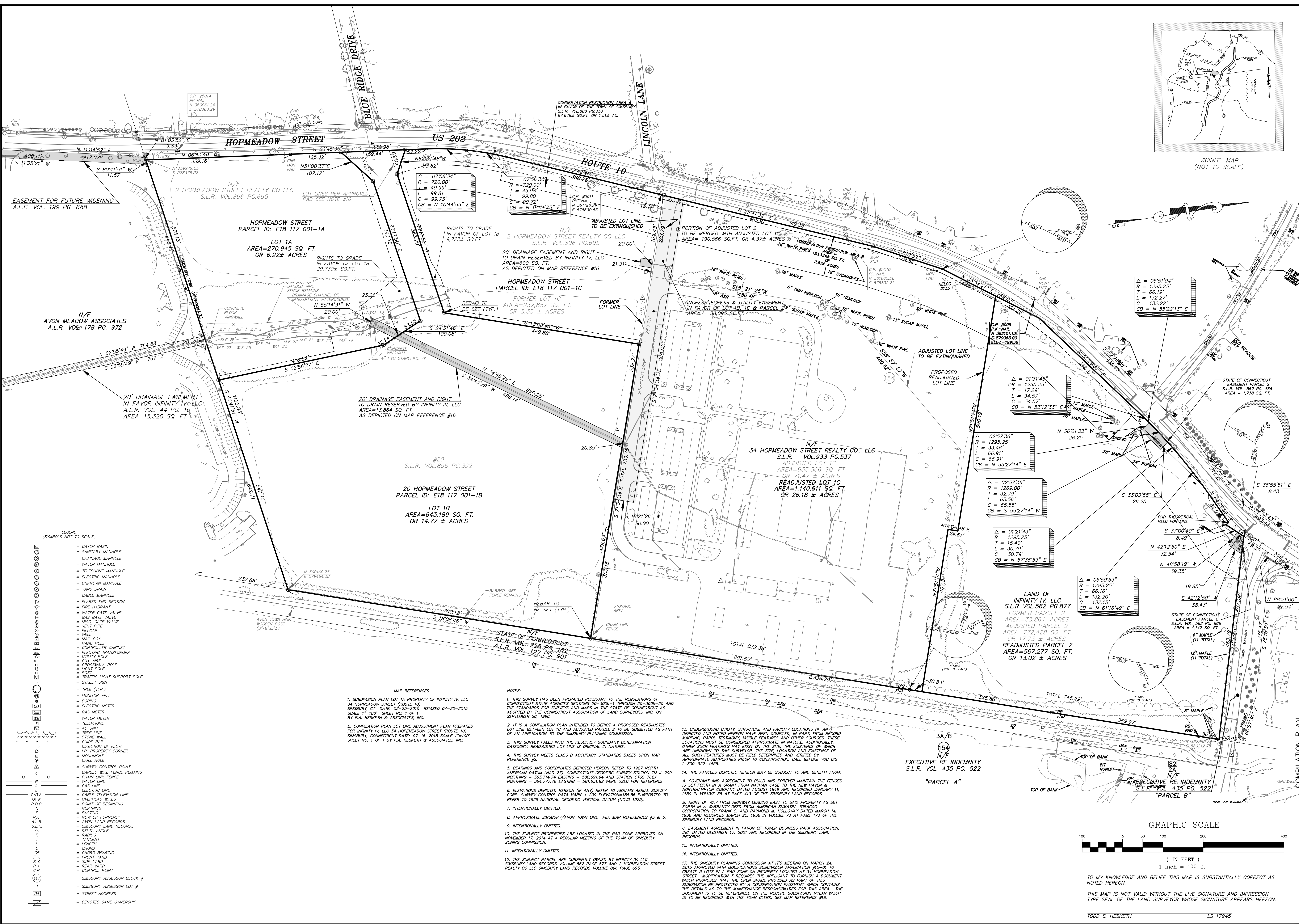
FAH

LTS-1

No.	Date	Description	Revisions:
1	11-01-2021	REVISED LOT LINE	

LIMITED TOPOGRAPHIC SURVEY
PREPARED FOR
TALCOTT MOUNTAIN SELF STORAGE
HOPMEADOW STREET (ROUTE 10)
SIMSBURY, CONNECTICUT

Date: 04-06-2021 Drawn by: CAD Job no: 21126
Scale: 1" = 40' Checked by: TSH Sheet no: 1 OF 1
© 2021 21126 - Greenberg USStorage Curated/SURVEY LIMITED TOPG 3.dwg, Sheet 1, Oct. 28, 2021 - 1:16:44 PM



- LEGEND (SYMBOLS NOT TO SCALE)**
- CATCH BASIN
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - WATER MANHOLE
 - TELEPHONE MANHOLE
 - ELECTRIC MANHOLE
 - UNKNOWN MANHOLE
 - YARD DRAIN
 - CABLE MANHOLE
 - FLARED END SECTION
 - FIRE HYDRANT
 - WATER GATE VALVE
 - MISC. GATE VALVE
 - VENT PIPE
 - WELL
 - MAIL BOX
 - HAND HOLE
 - CONTROLLER CABINET
 - ELECTRIC TRANSFORMER
 - UTILITY POLE
 - LIGHT POLE
 - CROSSWALK POLE
 - TRAFFIC LIGHT SUPPORT POLE
 - STREET SIGN
 - TREE (TYP.)
 - MONITOR WELL
 - BORING
 - ELECTRIC METER
 - GAS METER
 - WATER METER
 - TELEPHONE
 - AC UNIT
 - TREE LINE
 - STONE WALL
 - GUIDE RAIL
 - DIRECTION OF FLOW
 - L.P. PROPERTY CORNER
 - MONUMENT
 - DRILL HOLE
 - SURVEY CONTROL POINT
 - BARBED WIRE FENCE REMAINS
 - CHAIN LINK FENCE
 - WATER LINE
 - GAS LINE
 - ELECTRIC LINE
 - CABLE TELEVISION LINE
 - OVERHEAD WIRES
 - POINT OF BEGINNING
 - NORTHING
 - EASTING
 - NOW OR FORMERLY
 - AVON LAND RECORDS
 - SIMSBURY LAND RECORDS
 - DELTA ANGLE
 - RADII
 - TANGENT
 - LENGTH
 - CHORD
 - CHORD BEARING
 - FRONT YARD
 - SIDE YARD
 - REAR YARD
 - CONTROL POINT
 - SIMSBURY ASSESSOR BLOCK #
 - SIMSBURY ASSESSOR LOT #
 - STREET ADDRESS
 - DENOTES SAME OWNERSHIP

- MAP REFERENCES**
1. SUBDIVISION PLAN LOT 1A PROPERTY OF INFINITY IV, LLC 34 HOPMEADOW STREET (ROUTE 10) SIMSBURY, CT. DATE: 02-25-2015 REVISED 04-20-2015 SCALE: 1"=100' SHEET NO. 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC.
 2. COMPILATION PLAN LOT LINE ADJUSTMENT PLAN PREPARED FOR INFINITY IV, LLC 34 HOPMEADOW STREET (ROUTE 10) SIMSBURY, CONNECTICUT DATE: 07-16-2014 SCALE: 1"=100' SHEET NO. 1 OF 1 BY F.A. HESKETH & ASSOCIATES, INC.

- NOTES**
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 2. IT IS A COMPILATION PLAN INTENDED TO DEPICT A PROPOSED READJUSTED LOT LINE BETWEEN LOT 1C AND ADJUSTED PARCEL 2 TO BE SUBMITTED AS PART OF AN APPLICATION TO THE SIMSBURY PLANNING COMMISSION.
 3. THIS SURVEY FALLS INTO THE RESURVEY BOUNDARY DETERMINATION CATEGORY: READJUSTED LOT LINE IS ORIGINAL IN NATURE.
 4. THIS SURVEY MEETS CLASS D ACCURACY STANDARDS BASED UPON MAP REFERENCE #2.
 5. BEARINGS AND COORDINATES DEPICTED HEREON REFER TO 1927 NORTH AMERICAN DATUM (NAD 27), CONNECTICUT GEODETIC SURVEY STATION 1M J-209 NORTHING = 363,714.74 EASTING = 580,691.94 AND STATION CTS2 762X NORTHING = 364,772.46 EASTING = 581,651.82 WERE USED FOR REFERENCE.
 6. ELEVATIONS DEPICTED HEREON (IF ANY) REFER TO ADAMS AERIAL SURVEY CORP. SURVEY CONTROL DATA MARK J-209 ELEVATION=185.56 PURPORTED TO REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
 7. INTENTIONALLY OMITTED.
 8. APPROXIMATE SIMSBURY/AVON TOWN LINE PER MAP REFERENCES #3 & 5.
 9. INTENTIONALLY OMITTED.
 10. THE SUBJECT PROPERTIES ARE LOCATED IN THE PAD ZONE APPROVED ON NOVEMBER 17, 2014 AT A REGULAR MEETING OF THE TOWN OF SIMSBURY ZONING COMMISSION.
 11. INTENTIONALLY OMITTED.
 12. THE SUBJECT PARCEL ARE CURRENTLY OWNED BY INFINITY IV, LLC SIMSBURY LAND RECORDS VOLUME 562 PAGE 877 AND 2 HOPMEADOW STREET REALTY CO LLC SIMSBURY LAND RECORDS VOLUME 896 PAGE 695.
 13. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPS, PARCEL TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONAL OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 14. THE PARCELS DEPICTED HEREON MAY BE SUBJECT TO AND BENEFIT FROM:
 - A. COVENANT AND AGREEMENT TO BUILD AND FOREVER MAINTAIN THE FENCES IS SET FORTH IN A GRANT FROM NATHAN CASE TO THE NEW HAVEN & NORTHAMPTON COMPANY DATED AUGUST 1849 AND RECORDED JANUARY 11, 1850 IN VOLUME 38 AT PAGE 413 OF THE SIMSBURY LAND RECORDS.
 - B. RIGHT OF WAY FROM HIGHWAY LEADING EAST TO SAID PROPERTY AS SET FORTH IN A WARRANTY DEED FROM AMERICAN SUMATRA TOBACCO CORPORATION TO FRANK S. AND PATRICK M. HOLLOWAY DATED MARCH 14, 1938 AND RECORDED MARCH 25, 1938 IN VOLUME 73 AT PAGE 173 OF THE SIMSBURY LAND RECORDS.
 - C. EASEMENT AGREEMENT IN FAVOR OF TOWER BUSINESS PARK ASSOCIATION, INC. DATED DECEMBER 17, 2001 AND RECORDED IN THE SIMSBURY LAND RECORDS.
 15. INTENTIONALLY OMITTED.
 16. INTENTIONALLY OMITTED.
 17. THE SIMSBURY PLANNING COMMISSION AT ITS MEETING ON MARCH 24, 2015 APPROVED WITH MODIFICATIONS SUBDIVISION APPLICATION #15-01 TO CREATE 3 LOTS IN A PAD ZONE ON PROPERTY LOCATED AT 34 HOPMEADOW STREET. MODIFICATION 3 REQUIRES THE APPLICANT TO FURNISH A DOCUMENT WHICH PROPOSES THAT THE MAINTENANCE RESPONSIBILITIES FOR THIS AREA, THE SUBDIVISION BE PROTECTED BY A CONSERVATION EASEMENT WHICH CONTAINS THE DETAILS AS TO THE MAINTENANCE RESPONSIBILITIES FOR THIS AREA. THE DOCUMENT IS TO BE REFERENCED ON THE RECORD SUBDIVISION MAP WHICH IS TO BE RECORDED WITH THE TOWN CLERK. SEE MAP REFERENCE #18.

REVISIONS:

No.	Date	Description
1	09-30-2021	TOWN COMMENTS
2	10-20-2021	TOWN COMMENTS

LOT LINE READJUSTMENT PLAN
 PREPARED FOR
INFINITY IV, LLC
 34 HOPMEADOW STREET (ROUTE 10)
 SIMSBURY, CONNECTICUT

CP-2

Phone (860) 683-8000
 Fax (860) 644-8600
 e-mail: main@fahe.com

FAH
F. A. Hesketh & Associates, Inc.
 3 Creamery Brook, East Granby, CT 06026
 Civil & Traffic Engineers • Surveyors • Landscape Architects

Date: 08-27-2021 Drawn by: BAB Job no: 21126
 Scale: 1" = 100' Checked by: TSH Sheet no: 1 OF 1
© 1/2021 1/21/21 Greenberg/KS/Storage/Carroll/SURVEY/CP-2 - 2.dwg, Street 1, Oct. 22, 2021 - 10:45:51 AM

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

TODD S. HESKETH LS 17945