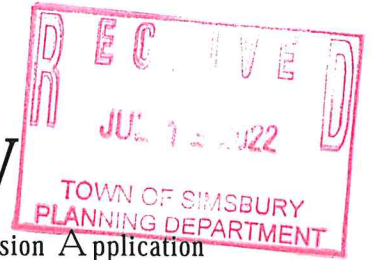




# Town of Simsbury

Office of Community Planning and Development - Zoning Commission Application



DATE: 07/08/2022 FEE: \$ ~~180.00~~ 240.00 CK #: \_\_\_\_\_ APP #: \_\_\_\_\_

PROPERTY ADDRESS: 55 Elm Street, Tariffville CT 06081

NAME OF OWNER: Willow Arms Mutual Housing Association

MAILING ADDRESS: 95 Niles Street, Hartford CT 06105

EMAIL ADDRESS: SarahMiner@MutualHousing.org TELEPHONE # (860) 206-5260

NAME OF AGENT: Susan Odell, Paul B. Bailey Architect

MAILING ADDRESS: 110 Audubon Street, New Haven CT 06510

EMAIL ADDRESS: sodell@pbbarchitect.com TELEPHONE # (203) 776-8888

ZONING DISTRICT: R15/R25 LOT AREA: 368,348/8.46 SQ FT/ACRES

Does this site have wetlands?  YES  NO Have you applied for a wetlands permit?  YES  NO

**REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):**

**ZONE CHANGE:** The applicant hereby requests that said premises be changed from zone \_\_\_\_\_ to zone \_\_\_\_\_.

**TEXT AMENDMENT:** Please attach proposed changes, including Articles and Sections, and purposes.

**SPECIAL EXCEPTION:** The applicant hereby requests a public hearing pursuant to Article \_\_\_\_\_, Section \_\_\_\_\_.

**SITE PLAN APPROVAL:** The applicant hereby requests

PRELIMINARY  FINAL  **SITE PLAN AMENDMENT pursuant to Article 5, Section J**

**SIGN PERMIT**

**OTHER (PLEASE EXPLAIN):** \_\_\_\_\_

*NOTE: Each application must fully comply with the requirements of the Zoning Regulations prior to receipt by the Commission. Each application for zone change and/or special exception shall include a list of names and addresses of abutting property owners and all property owners within 100 feet of the subject site.*

A check payable to the Town of Simsbury must accompany this **original signed and dated** application. **Six (6) complete (folded) sets of plans and eleven (11) copies of the completed application and correspondence** must also be included. If you have a PDF of your plans, we would appreciate a copy of that sent to [lbarkowski@simsbury-ct.gov](mailto:lbarkowski@simsbury-ct.gov), as well.

*Athina Mackern* 7-11-22  
Signature of Owner Date

*Susan Odell* 07/08/2022  
Signature of Agent Date

Telephone (860) 658-3245  
Facsimile (860) 658-3206

[www.simsbury-ct.gov](http://www.simsbury-ct.gov)

933 Hopmeadow Street  
Simsbury, CT 06070

**NOTICE**

**IT IS THE RESPONSIBILITY OF THE APPLICANT TO SUBMIT COPIES OF APPLICATIONS TO THE FOLLOWING AGENCIES FOR REVIEW:**

**WATER POLLUTION CONTROL AUTHORITY**

Drake Hill Road  
Simsbury, CT 06070

Telephone: 860-658-1380

**SIMSBURY FIRE MARSHAL**

Attention: Kevin Kowalski  
871 Hopmeadow Street  
Simsbury, CT 06070

Telephone: 860-658-1971

**FARMINGTON VALLEY HEALTH DISTRICT**

95 River Road, Suite C  
Canton, CT 06019

Telephone: 860-352-2333

**ZONING AMENDMENT NUMBER**  
**Approved at Public Hearing on August 3, 1988**

**Purpose:** The purpose of the amendment is to require that a sign be posted to give public notice prior to a public hearing on an application to develop a site.

Amend Article Eleven "Administration"

Add New: Letter E

E. Public Information Notice Sign

Whenever an application filed with the Zoning Commission requires a public hearing, the Applicant shall display a Public Information sign on the site giving notice that an application is pending before the Zoning Commission. The sign shall be in a manner and form as prescribed by the Commission and be provided by the Commission to the Applicant. It shall be displayed in a highly visible place at each location in the site where the property line abuts a public or private street or at a visible location nearest the site. It shall be the responsibility of the Applicant to insure that the signs remain on the display for a period of fifteen (15) days prior to the public hearing and are to be removed within seven (7) days following the close of the public hearing. The Applicant, at the public hearing, shall supply the Commission with an affidavit certifying that the Public Information Notice sign has been placed for the period specified.

---

Amend Article Twelve "Board of Appeals"

Letter C – Add Number 3

Add New: Article Twelve "C Procedure"  
New Number 3

3. Public Information Notice Sign

Whenever an application filed with the Zoning Board of Appeals requires a public hearing, the Applicant shall display a Public Information sign on the site giving notice that an application is pending before the Zoning Board of Appeals. The sign shall be in a manner and form as prescribed by the Commission and be provided by the Commission to the Applicant. It shall be displayed in a highly visible place at each location in the site where the property line abuts a public or private street or at a visible location nearest the site. It shall be the responsibility of the Applicant to insure that the signs remain on display for a period of fifteen (15) days prior to the public hearing and are to be removed within seven (7) days following the close of the public hearing. The Applicant, at the public hearing, shall supply the Commission with an affidavit certifying that the Public Information Notice sign has been placed for the period specified.

**NOTICE TO APPLICANTS**

This **AFFIDAVIT** is required for all applications requiring a **PUBLIC HEARING**.

**NOTE: PUBLIC HEARING SIGNS MUST BE POSTED ON THE SUBJECT PROPERTY AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING DATE.**

**THIS FORM (SIGNED AND NOTARIZED) MUST BE PRESENTED AT THE PUBLIC HEARING.**

-----

**AFFIDAVIT**

(STATE OF CONNECTICUT)

Ss:

(COUNTY OF HARTFORD)

I, \_\_\_\_\_ of \_\_\_\_\_  
(Applicant) (City, State)

Being duly sworn, make oath and say that I have maintained sign(s) as required by the Simsbury Zoning Regulations, stating that a Land Use Application is pending for the following property:

\_\_\_\_\_  
(Location of Property)

DATE: \_\_\_\_\_  
(Signature of Applicant)

\_\_\_\_\_  
(Type or Print Name of Applicant)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
(Notary Public)

My Commission Expires on \_\_\_\_\_

P A U L B. B A I L E Y  
• A R C H I T E C T •

110 AUDUBON STREET  
NEW HAVEN, CONNECTICUT 06510  
203 • 776 • 8888

## **Willow Arms**

55 Elm Street, Simsbury CT

Willow Arms is an 81-unit existing low-rise housing development built circa 1970. There are seven building groupings plus a community building on an approximately 8 ½ acre site. These buildings are arranged around a generous central green space, with a driveway/parking loop border around the buildings.

The buildings will be rehabilitated with new roofs, windows, doors, siding, porches, exterior trim, mechanical systems, and interior fixtures and finishes. The site will receive improved lighting, new plantings and trees, maintenance of existing plantings and trees, a newly paved driveway and parking areas, new fenced enclosures containing bear-proof dumpsters, new mailbox stands and other site fixtures. The goal of the project is to provide improved and more visually attractive living spaces for the residents, incorporating increased energy efficiency, improved indoor air quality, new private outdoor spaces, improved public outdoor spaces, improved trash management and enhanced building facades that are better suited to the design standards of Simsbury.

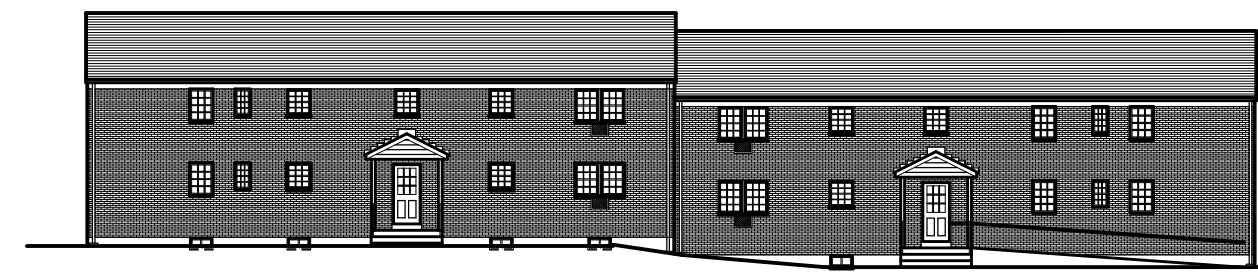
# WILLOW ARMS REDEVELOPMENT

55 ELM STREET  
TARIFFVILLE, CONNECTICUT 06081

## EXISTING BUILDING ELEVATIONS



BUILDING 1 #B1, B2, B3



BUILDING 2 #B19, B20



BUILDING 3 #B4, B5, B6



BUILDING 4 #B16, B17, B18



BUILDING 5 #B7, B8, B9



BUILDING 6 #B13, B14, B15



BUILDING 7 #B10, B11, B12



COMMUNITY BUILDING

## DRAWING LIST

### COVER SHEET

#### SITE

- SURVEY
- L1 DEMOLITION PLAN
- L2 SITE PLAN
- L4 LIGHTING PLAN
- L5 PLANTING PLAN
- L6 PLANTING PLAN ENLARGEMENTS
- L7 PLANTING NOTES & DETAILS
- L8 DETAILS

#### ARCHITECTURAL

- AS1.0 ARCHITECTURAL SITE PLAN

#### BUILDING 1 #B1, B2, B3

- A1.0B1 BASEMENT & 1ST FLR PLAN
- A1.1B1 2ND FLR & ROOF PLAN
- A2.1B1 EXTERIOR ELEVATIONS
- A2.2B1 EXTERIOR ELEVATIONS

#### BUILDING 2 #B19, B20

- A1.0B2 BASEMENT & 1ST FLOOR PLAN
- A1.1B2 2ND FLOOR & ROOF PLAN
- A2.1B2 EXTERIOR ELEVATIONS
- A2.2B2 EXTERIOR ELEVATIONS

#### BUILDING 3 #B4, B5, B6

- A1.0B3 BASEMENT & 1ST FLOOR PLAN
- A1.1B3 2ND FLOOR & ROOF PLAN
- A2.1B3 EXTERIOR ELEVATIONS
- A2.2B3 EXTERIOR ELEVATIONS

#### BUILDING 4 #B16, B17, B18

- A1.0B4 BASEMENT & 1ST FLR PLAN
- A1.1B4 2ND FLR & ROOF PLAN
- A2.1B4 EXTERIOR ELEVATIONS
- A2.2B4 EXTERIOR ELEVATIONS

#### BUILDING 5 #B7, B8, B9

- A1.0B5 BASEMENT & 1ST FLR PLAN
- A1.1B5 2ND FLR & ROOF PLAN
- A2.1B5 EXTERIOR ELEVATIONS
- A2.2B5 EXTERIOR ELEVATIONS

#### BUILDING 6 #B13, B14, B15

- A1.0B6 BASEMENT & 1ST FLR PLAN
- A1.1B6 2ND FLR & ROOF PLAN
- A2.1B6 EXTERIOR ELEVATIONS
- A2.2B6 EXTERIOR ELEVATIONS

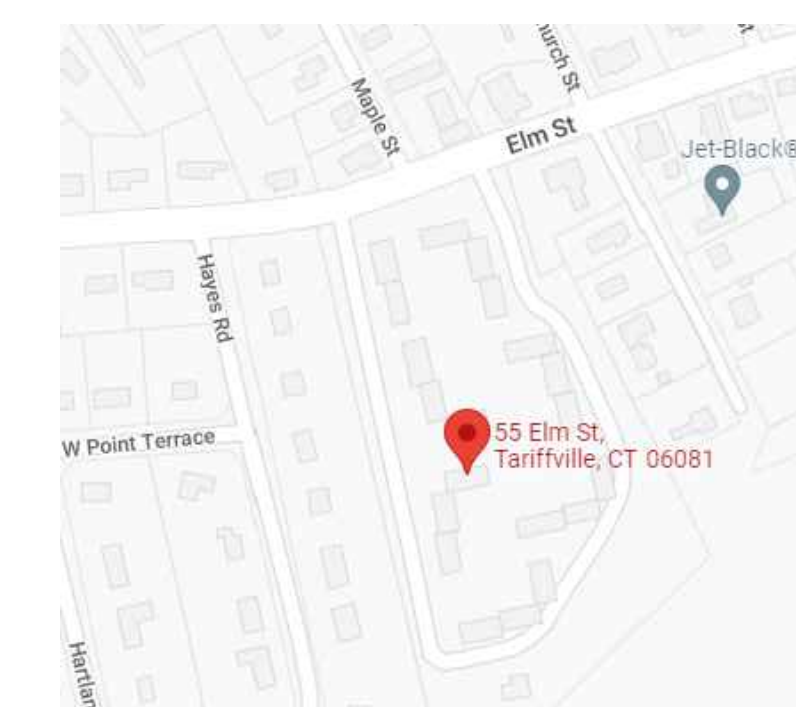
#### BUILDING 7 #B10, B11, B12

- A1.0B7 BASEMENT & 1ST FLR PLAN
- A1.1B7 2ND FLR & ROOF PLAN
- A2.1B7 EXTERIOR ELEVATIONS
- A2.2B7 EXTERIOR ELEVATIONS

#### COMMUNITY BUILDING

- A1.1CB 1ST FLR & ROOF PLAN
- A2.1CB EXTERIOR ELEVATIONS

## LOCATION



## ARCHITECT

PAUL B. BAILEY  
• ARCHITECT •  
110 AUDUBON STREET  
NEW HAVEN, CONNECTICUT 06510  
203 • 776 • 8888

DATE: 7/11/2022 DRB/P&Z SET

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A2 Land Consulting, LLC  
30 Rocky Hill Rd.  
New Fairfield, CT  
P: 845.531.1504  
E: abigail@a2land.com  
W: www.a2land.com

McCleery  
Engineering  
701 East Gate Dr., #100  
Mt. Laurel, NJ 08054

PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/24/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P&Z SET

PHASE:  
**SCHEMATIC DESIGN**

PAUL B. BAILEY  
• ARCHITECT •  
110 AUDUBON STREET  
NEW HAVEN, CONNECTICUT 06510  
203 • 776 • 8888 F 203 • 772 • 1365  
DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-084

DRAWING NAME:  
**COVER**

**COVER**

Property Description

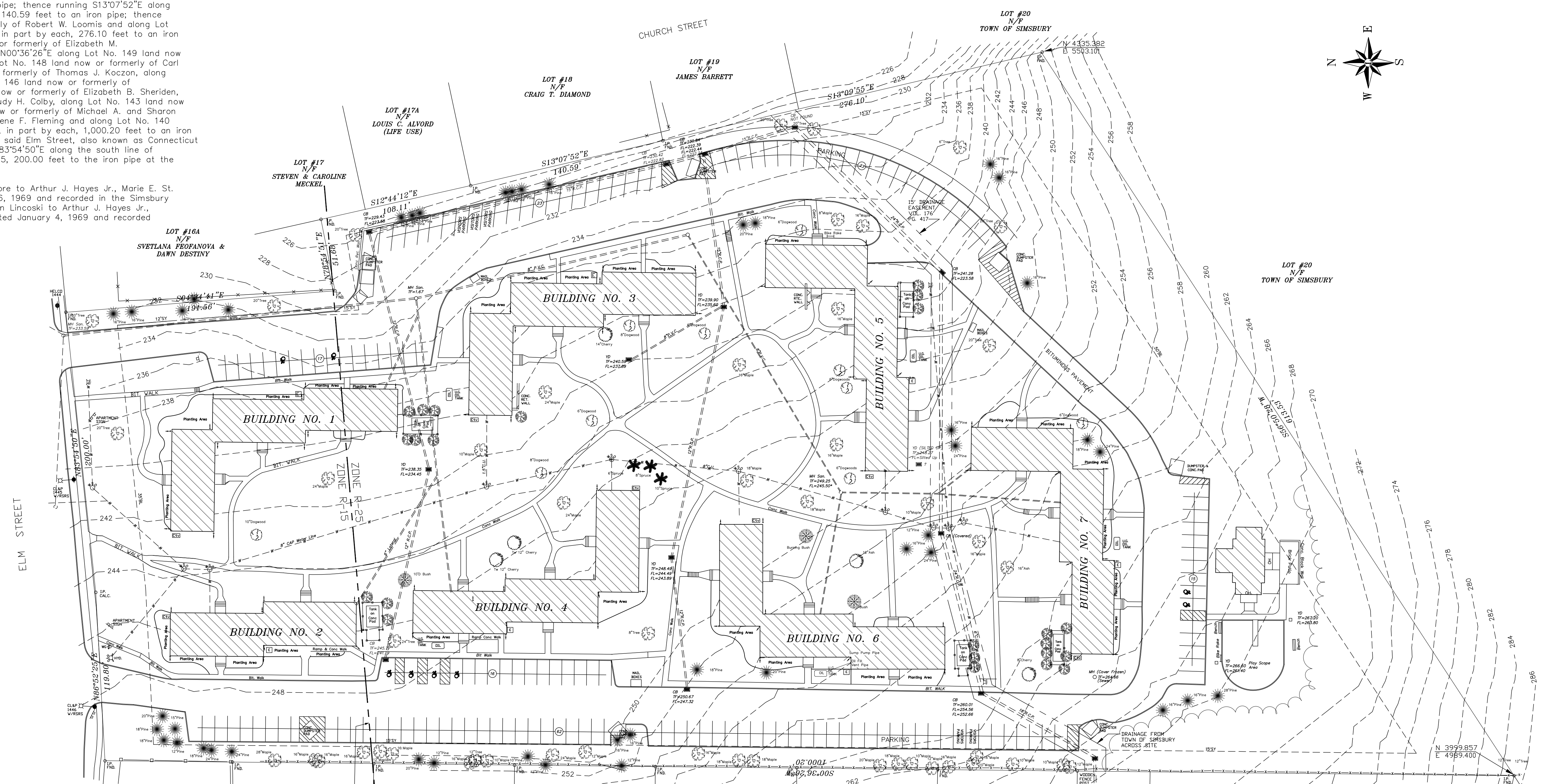
That certain piece or parcel of land, with the improvements thereon and appurtenances thereon, situated in the Town of Simsbury, County of Hartford and State of Connecticut, known as No. 55 Elm Street, and being shown on a certain map or plan entitled "Property Survey At Willow Arms 55 Elm Street, Simsbury, Connecticut, J.L. Surveying, 470 New Britain Berlin, Connecticut Date January 20, 2010, Sheet No. 1 of 1, reference to which is hereby made, and being bounded:

Beginning at an iron pipe in the south line of Elm Street, also known as Connecticut Route No. 315 at the northeast corner of the premises described herein and at the northwest corner of lot No. 16A land now or formerly of Robert G. and Melissa S. Ribbell; thence running S04°34'41"E along said Lot No. 16A land now or formerly of Robert G. and Melissa S. Ribbell, 191.56 feet to an iron pipe; thence running N78°54'51"E along said Lot No. 16A land now or formerly of Robert G. and Melissa S. Ribbell, 51.65 feet to an iron pipe; thence running S12°44'12"E along Lot No. 17 land now or formerly of Jeffrey S. and Dorann H. Seltzer and along Lot 17A land now or formerly of Louis C. Alford, in part by each, 108.11 feet to an iron pipe; thence running S13°07'52"E along Lot No. 18 land now or formerly of Kathryn L. Mattingly, 140.59 feet to an iron pipe; thence running S13°09'55"E along Lot No. 19 land now or formerly of Robert W. Loomis and along Lot No. 20 land now or formerly of Elizabeth M. G. Johnson, in part by each, 276.10 feet to an iron pipe; thence running S56°50'28"W along Lot No. 20 now or formerly of Elizabeth M. G. Johnson, 613.69 feet to an iron pipe; thence running N00°36'26"E along Lot No. 149 land now or formerly of Kenneth J. and Deborah Peterson, along Lot No. 148 land now or formerly of Carl A. and Joan A. Sundwall, along Lot No. 147 land now or formerly of Thomas J. Koczon, along land now or formerly of Town of Simsbury, along Lot No. 146 land now or formerly of Alan P. and Catherine McIlveen, along Lot No. 145 land now or formerly of Elizabeth B. Sheridan, along Lot No. 144 land now or formerly of Roy S. and Judy H. Colby, along Lot No. 143 land now or formerly of Charles L. Cambie, along lot No. 142 land now or formerly of Michael A. and Sharon Mangiagli, along Lot No. 141 land now or formerly of Eugene F. Fleming and along Lot No. 140 land now or formerly of Joseph A. and Pamela Sottolandi, in part by each, 1,000.20 feet to an iron pipe; thence running N86°52'25"E along the south line of said Elm Street, also known as Connecticut Route No. 315, 119.80 feet to a point; thence running N83°54'50"E along the south line of said Elm Street, also known as Connecticut Route No. 315, 200.00 feet to the iron pipe at the point and place of beginning.

Together with drainage easements from Francis W. Ashmore to Arthur J. Hayes Jr., Marie E. St. Martin, Ann E. Brown and Ethel B. Hayes dated January 6, 1969 and recorded in the Simsbury Land records in Volume 176, Page 399, and from Stephen Lincoski to Arthur J. Hayes Jr., Marie E. St. Martin, Ann E. Brown and Ethel B. Hayes dated January 4, 1969 and recorded in the Simsbury Land Records in Volume 176, Page 417.

MAP REFERENCES:

- 1) PROPERTY OF I.R. STICH ASSOCIATES INC. SIMSBURY, CONN. SCALE 1"=100' DEC. 1953 F.P. MOLLOY ENG. W.H.F.T.D., CONN.
- 2) PROPOSED GARDEN APARTMENTS ELM ST. SIMSBURY, CONN. SITE DEVELOPMENT PLAN ARNOLD LAWRENCE ARCHITECT SCALE 1"=20' JOB#1058 SH.#1 DATE 12-20-1968 REVISED 1-7-68 & 2-4-68.
- 3) AS BUILT LOCATION PLAN PROPERTY OF THE GREATER HARTFORD ASSOC. GARDEN APTS. 55 ELM ST. TOWN OF SIMSBURY TARIFFVILLE DIST. CONN. HENRY CHARLES COTTON L.S. AUG. 1,1972 1"=20'.
- 4) PROPERTY SURVEY AT WILLOW ARMS 55 ELM STREET SIMSBURY, CT. SCALE 1"=40', DATE MARCH 10, 1997 REVISED 6-27-97 BY RODRICK D. HEWITT CONSULTING ENGINEERS AND LAND SURVEYORS
- 5) PROPERTY SURVEY AT WILLOW ARMS 55 ELM STREET SIMSBURY, CT. SCALE 1"=40', DATE JANUARY 20, 2010 BY JOHN THOMSON L.S., J.L. SURVEYING DEEDS: VOL 434 PG 996 VOL 646 PG 1095



LEGEND

- I.P. FND. IRON PIPE FOUND
- I.P. SET IRON PIN SET
- BIT. BITUMINOUS CONCRETE
- SAN. W. SANITARY MANHOLE
- C.B. CATCH BASIN
- Y.B. YARD DRAIN
- R.C.P. REINFORCED CONCRETE PIPE
- T.F. TOP OF FOUNDATION
- F.F. FINISHED FLOOR
- F.L. FLOW LINE
- INV. INVERT
- T.G. TOP OF GRATE
- E.T. ELECTRIC TRANSFORMER
- C.T. CABLE TELEVISION LOCK BOX
- W.V. WATER VALVE
- N.F. NEW OR FORMERLY
- STM. STORM
- HYD. HYDRANT
- W. WATER
- G.D.S. GUTTER DOWN SPOUT

NOTE:  
 UNDER GROUND UTILITIES ARE FROM MAP REF. #3  
 ALL SANITARY SEWER MANHOLES ARE BURIED OR MANHOLE COVERS ARE FROZEN AND COULDN'T BE OPENED TO CHECK PIPE SIZES OR FLOW LINES  
 CATCH BASINS LOCATED BY BUILDING NO. 5, 6 & 7 ARE SILTED UP

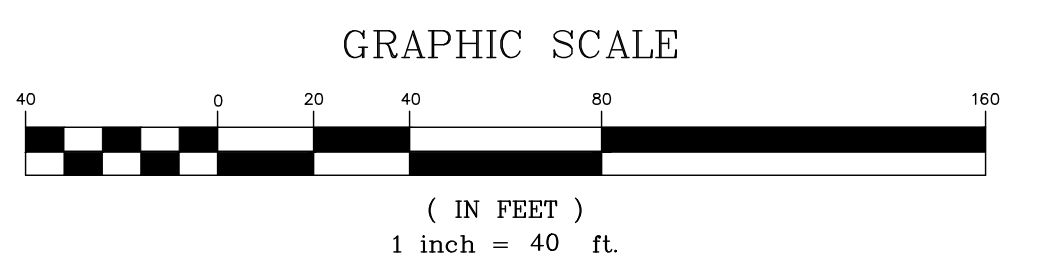
THE UNDERGROUND OIL TANKS SHOWN IN THE PREVIOUS DRAWING MAY OR MAY NOT BE SHALL IN THE GROUND

ASSUMED COORDINATE SYSTEM  
 DATUM=TOWN OF SIMSBURY

LOT AREA = 8.46 ACRES/368,348 S.F.

THIS PROPERTY IS NOT IN ANY FLOOD ZONE

WHERE ARE 159 EXISTING PARKING SPACES



MAP CERTIFICATE:  
 THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-306b-1 THRU 20-306b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES-MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT STATE ASSOCIATION OF LAND SURVEYORS, INC. THIS MAP CONFORMS TO A HORIZONTAL ACCURACY CLASS OF A=2 THE SURVEY TYPE IS RESURVEY BASED ON EXISTING MAPS AND FIELD EVIDENCE AND IS INTENDED TO BE USED - BOUNDARY LOCATION SURVEY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREIN

JEFFERY PESCOSSILLO L.S. NO. 70405

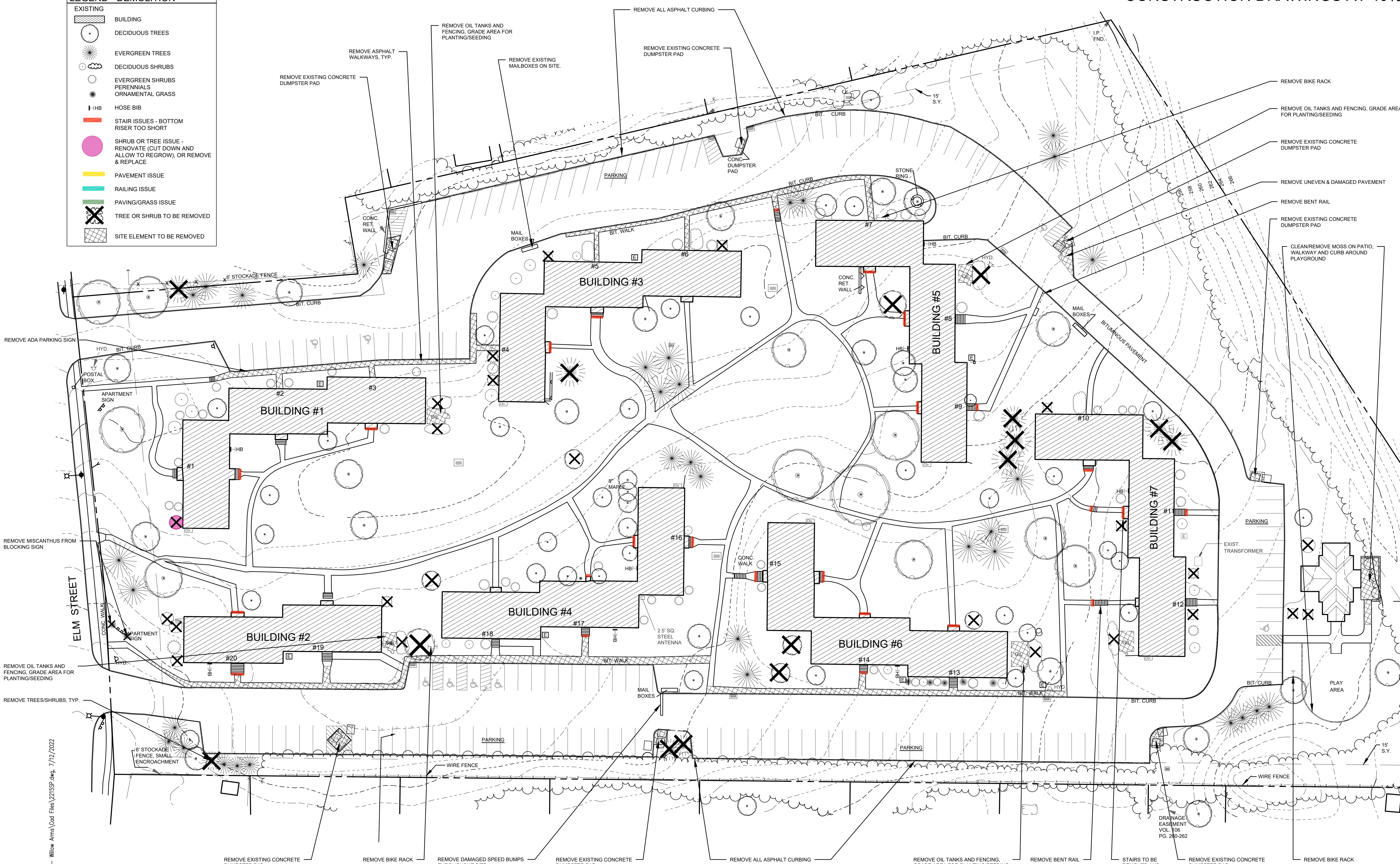
<p>REVISIONS</p>	<p>PROPERTY SURVEY                  AT                  WILLOW ARMS                  PROPERTY OF                  WILLOW ARMS MUTUAL HOUSING                  ASSOCIATION</p>		<p>55 ELM STREET                  SIMSBURY, CONNECTICUT</p>
	<p>J L SURVEYING                  212 Old Brickyard Lane                  Berlin Connecticut                  Phone 860-828-3200</p>		
<p>DATE: 1-20-10</p>	<p>FILE NAME:2010\21004\55 ELM</p>	<p>BY:JLG</p>	<p>SH. NO. 1 OF 1</p>

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**LEGEND - DEMOLITION**

EXISTING

- BUILDING
- DECIDUOUS TREES
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- ORNAMENTAL GRASS
- HOSE BIB
- STAIR ISSUES - BOTTOM RISER TOO SHORT
- SHRUB OR TREE ISSUE - RENOVATE (CUT DOWN AND ALLOW TO REGROW), OR REMOVE & REPLACE
- PAVEMENT ISSUE
- RAILING ISSUE
- PAVING/GRASS ISSUE
- TREE OR SHRUB TO BE REMOVED
- SITE ELEMENT TO BE REMOVED



A2 Land Consulting, LLC  
 30 Rocky Hill Rd.  
 New Fairfield, CT  
 P: 845.531.1504  
 E: abigail@a2land.com  
 W: www.a2land.com

**McCleery Engineering**  
 701 East Gate Dr., #100  
 Mt. Laurel, NJ 08054



PROJECT:  
 WILLOW ARMS  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/29/22	CEPA SCOPING SET
	5/13/22	40% PRICING SET
	7/11/22	PERMITTING SET

PHASE:  
 DESIGN DEVELOPMENT

**PAUL B. BAILEY ARCHITECT**  
 110 AUBUBON STREET  
 NEW HAVEN, CONNECTICUT 06510  
 203 · 776 · 8888 F 203 · 772 · 1365

DATE: 01-10-2022 DRAWN BY: BC  
 SCALE: AS NOTED CHECKED BY: AA  
 JOB NO: 21-084

DRAWING NAME:  
 DEMOLITION PLAN

**DEMOLITION NOTES**

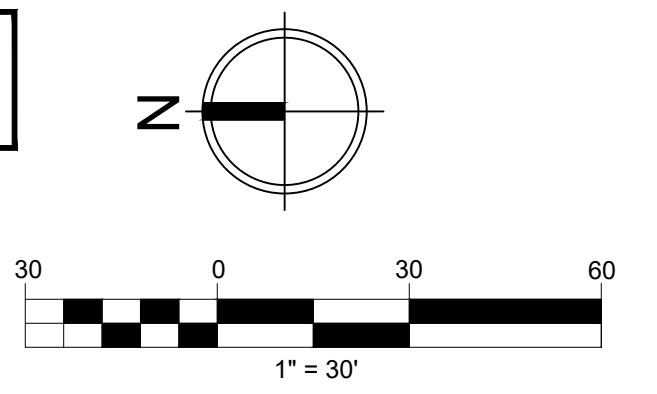
- CONTRACTOR SHALL STRIP AND STORE TOPSOIL IN ALL AREAS TO BE DISTURBED OR REGRADED. LOCATION OF TOPSOIL STOCKPILE TO BE DESIGNATED BY SIMSBURY ENGINEER.
- ALL MATERIAL TO BE REMOVED SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AWAY FROM THE SITE OR DELIVERED AS DIRECTED BY THE OWNER.
- LOCATION OF ALL UTILITIES ARE SHOWN DIAGRAMMATICALLY & MAY BE INCOMPLETE. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DONE BY THIS WORK SHALL BE REPAIRED BY THE CONTRACTOR.
- PROTECTION OF ALL EXISTING TREES TO REMAIN SHALL BE A PRIORITY. INSTALL TREE PROTECTION AS INDICATED. DO NOT STOCKPILE, PARK OR PERFORM ANY MECHANICAL OPERATIONS WITHIN THE DRIPLINE OF EXISTING TREES AS INDICATED IN THE DETAILS. NO STORAGE OF MATERIALS OR SOIL SHALL BE ALLOWED IN THESE AREAS. ALL FILL AND EXCAVATION REQUIRED WITHIN THE DRIPLINE OF ALL EXISTING TREES TO REMAIN SHALL BE COMPLETED BY HAND UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND VEGETATION. DAMAGE TO VEGETATION SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS BY THE CONTRACTOR.
- BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1.800.922.4455. THE RESPECTIVE UTILITY COMPANIES AND LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR AS A RESULT OF FAILURE TO CONTACT PROPER AUTHORITIES SHALL BE BORN BY THE CONTRACTOR.
- OWNER'S REPRESENTATIVE SHALL BE CONSULTED BEFORE ANY WORK SHALL COMMENCE.
- PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL SECURE ALL PERMITS

- REQUIRED FROM ANY UTILITY COMPANY OR OTHER GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO HIS CONTRACT OPERATIONS.
- CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
- CONTRACTOR SHALL MAINTAIN PROPER SIGNS, BARRICADES, AND FENCES TO PROPERLY PROTECT THE WORK EQUIPMENT, PERSONS AND PROPERTY FROM DAMAGE.
- ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS APPLICABLE, AND LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.

BEFORE WORK COMMENCES:  
 CALL 811 OR VISIT WWW.CBYD.COM

CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK.

NOTES:  
 1. BASE INFORMATION TAKEN FROM "PROPERTY SURVEY AT WILLOW ARMS, 55 ELM STREET, SIMSBURY, CT." BY RODERICK D. HEWITT, CONSULTING ENGINEERS & LAND SURVEYORS., DATED MARCH 10, 1997. REVISED 4/23/97, 8/19/97 & 6/27/97.  
 2. THIS PROPERTY IS LOCATED IN THE R-15 HIGH DENSITY RESIDENTIAL ZONE.

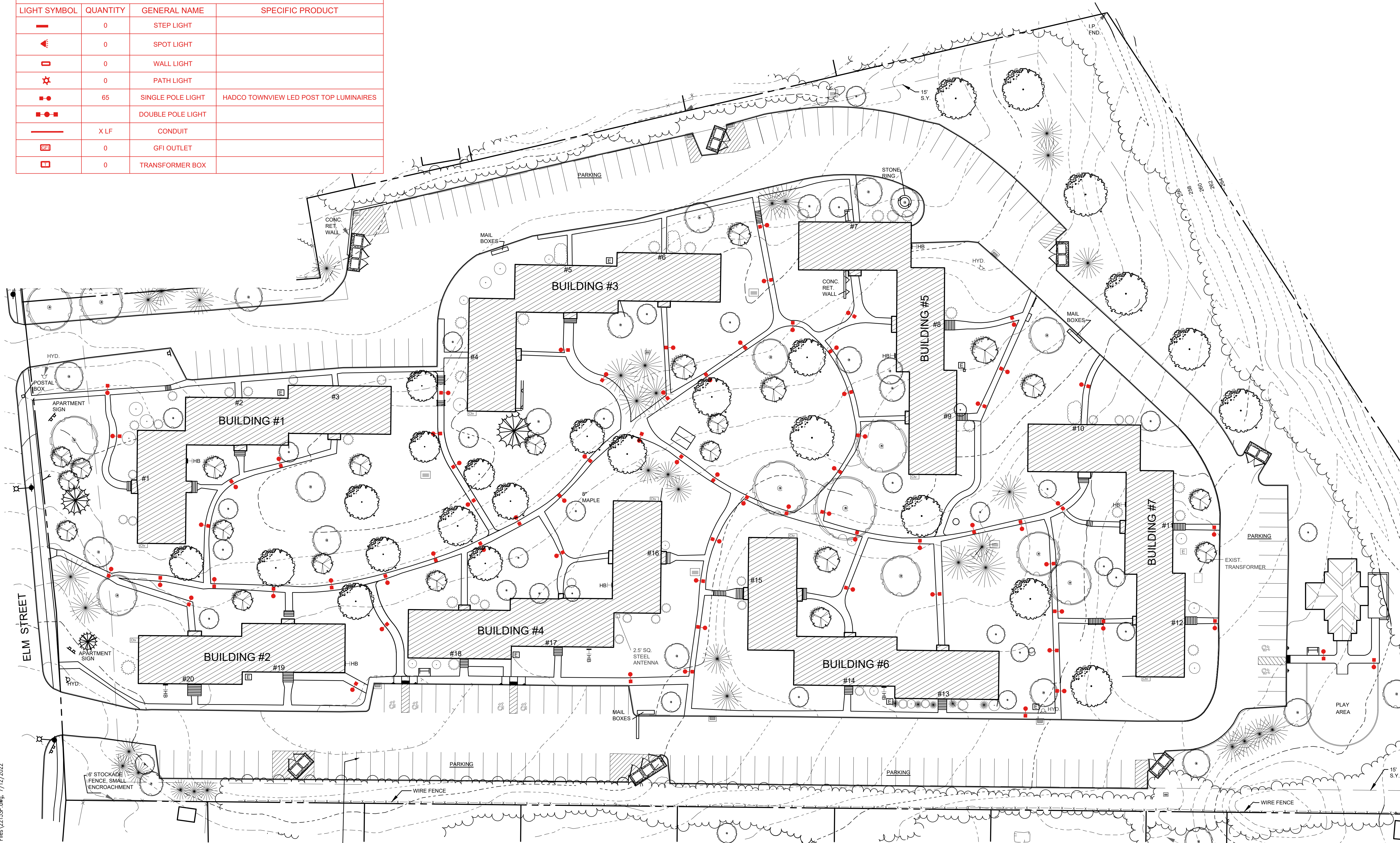


G:\V\Draw V2 - Project - Willow Arms\Cad Files\2215SP.dwg, 7/12/2022





LIGHTING SCHEDULE			
LIGHT SYMBOL	QUANTITY	GENERAL NAME	SPECIFIC PRODUCT
—	0	STEP LIGHT	
◀	0	SPOT LIGHT	
◻	0	WALL LIGHT	
⚙	0	PATH LIGHT	
●	65	SINGLE POLE LIGHT	HADCO TOWNVIEW LED POST TOP LUMINAIRES
■		DOUBLE POLE LIGHT	
—	X LF	CONDUIT	
Ⓜ	0	GFI OUTLET	
Ⓜ	0	TRANSFORMER BOX	



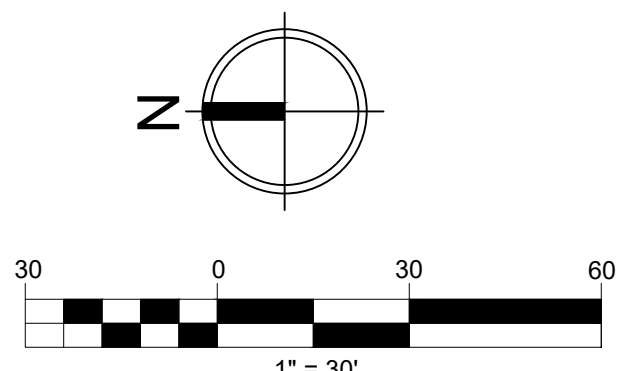
**LIGHTING NOTES**

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CONNECTICUT STATE DOT STANDARD SPECIFICATIONS, LATEST EDITIONS, AND THE TOWN OF SIMSBURY, CONNECTICUT SPECIFICATIONS.
3. CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
4. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
5. NOT INCLUDED ON THIS PLAN ARE UNDER BUILDING CANOPY LIGHT FIXTURES. THESE FIXTURES WILL BE UTILIZED IN ALL BUILDING OVERHANGS ADJACENT TO WALKWAYS AND SERVICE AREAS.
6. CONTRACTOR TO SUPPLY ALL CONDUIT, WIRING, PULL BOXES, AND CONTROLS NECESSARY FOR FIXTURE CONNECTIONS AND OPERATIONS.
7. FIXTURES TO BE SUPPLIED BY APEX LIGHTING SOLUTIONS. CONTACT SYLVIA PERDIKIS AT SPERDIKIS@APEXLTG.COM OR (860) 707-3024 FOR FURTHER COORDINATION.

ALL LIGHTING CONNECTIONS ARE TO MEET ALL APPLICABLE CONNECTICUT BUILDING & ELECTRICAL CODES.

CONTRACTOR TO SUPPLY ALL CONDUIT THAT IS NECESSARY TO HANDLE ALL PROPOSED EXTERIOR LIGHTING.

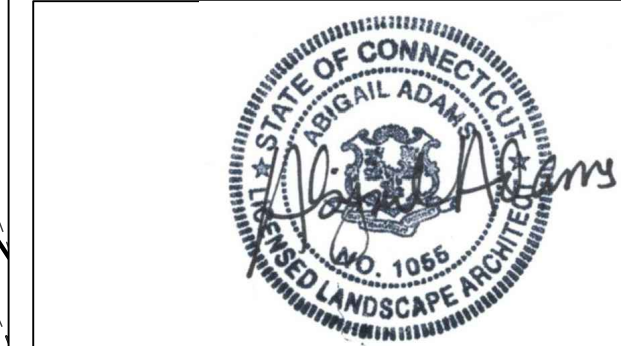
- NOTES:
1. BASE INFORMATION TAKEN FROM "PROPERTY SURVEY AT WILLOW ARMS, 55 ELM STREET, SIMSBURY, CT." BY RODERICK D. HEWITT, CONSULTING ENGINEERS & LAND SURVEYORS., DATED MARCH 10, 1997, REVISED 4/23/97, 6/19/97 & 6/27/97.
  2. THIS PROPERTY IS LOCATED IN THE R-15 HIGH DENSITY RESIDENTIAL ZONE.



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**A2 Consulting**  
 A2 Land Consulting, LLC  
 30 Rocky Hill Rd.  
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 E: abigail@a2land.com  
 W: www.a2land.com

**McCleery Engineering**  
 701 East Gate Dr., #100  
 Mt. Laurel, NJ 08054



PROJECT:  
 WILLOW ARMS  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/28/22	CEPA SCOPING SET
	5/13/22	40% PRICING SET
	7/11/22	PERMITTING SET

PHASE:  
 DESIGN DEVELOPMENT

**PAUL B. BAILEY ARCHITECT**  
 110 AUBURON STREET  
 NEW HAVEN, CONNECTICUT 06510  
 203 · 776 · 8888 F 203 · 772 · 1365

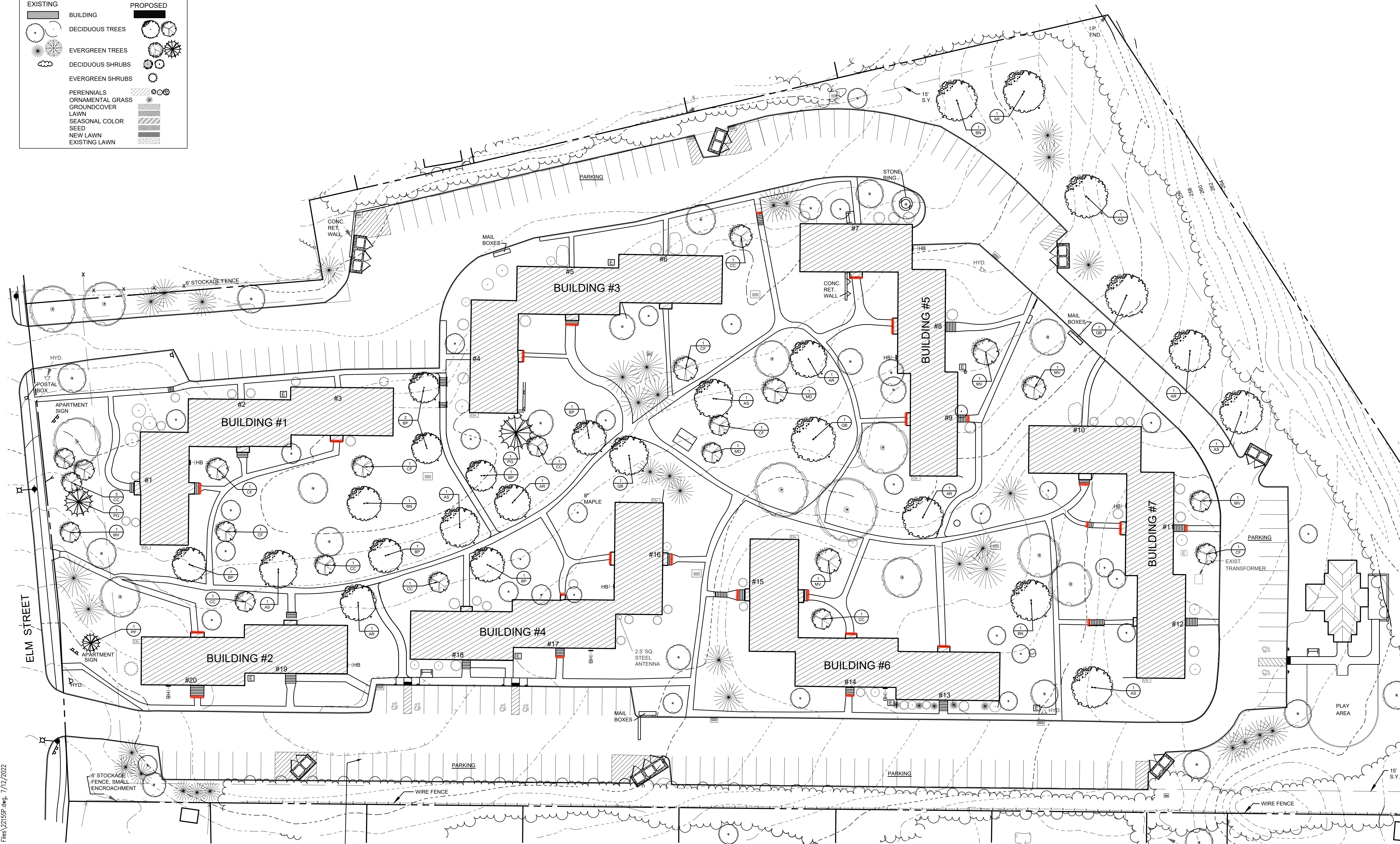
DATE: 01-10-2022 DRAWN BY: BC  
 SCALE: AS NOTED CHECKED BY: AA  
 JOB NO: 21-084

DRAWING NAME:  
 LIGHTING PLAN

L4

**LEGEND - PLANTING**

EXISTING	PROPOSED
BUILDING	BUILDING
DECIDUOUS TREES	DECIDUOUS TREES
EVERGREEN TREES	EVERGREEN TREES
DECIDUOUS SHRUBS	DECIDUOUS SHRUBS
EVERGREEN SHRUBS	EVERGREEN SHRUBS
PERENNIALS	PERENNIALS
ORNAMENTAL GRASS	ORNAMENTAL GRASS
GROUND COVER	GROUND COVER
LAWN	LAWN
SEASONAL COLOR SEED	SEASONAL COLOR SEED
NEW LAWN	NEW LAWN
EXISTING LAWN	EXISTING LAWN



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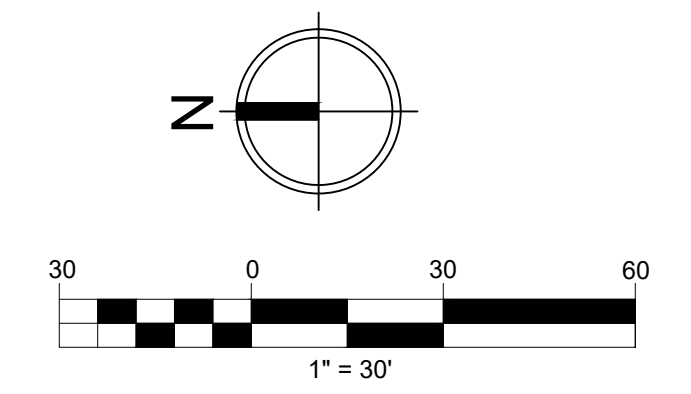
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 SCALE: AS NOTED CHECKED BY: AA  
 JOB NO: 21-084

DRAWING NAME:  
 PLANTING PLAN

**PLANTING NOTES**

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR. FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT, ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEEP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
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- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

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**L5**

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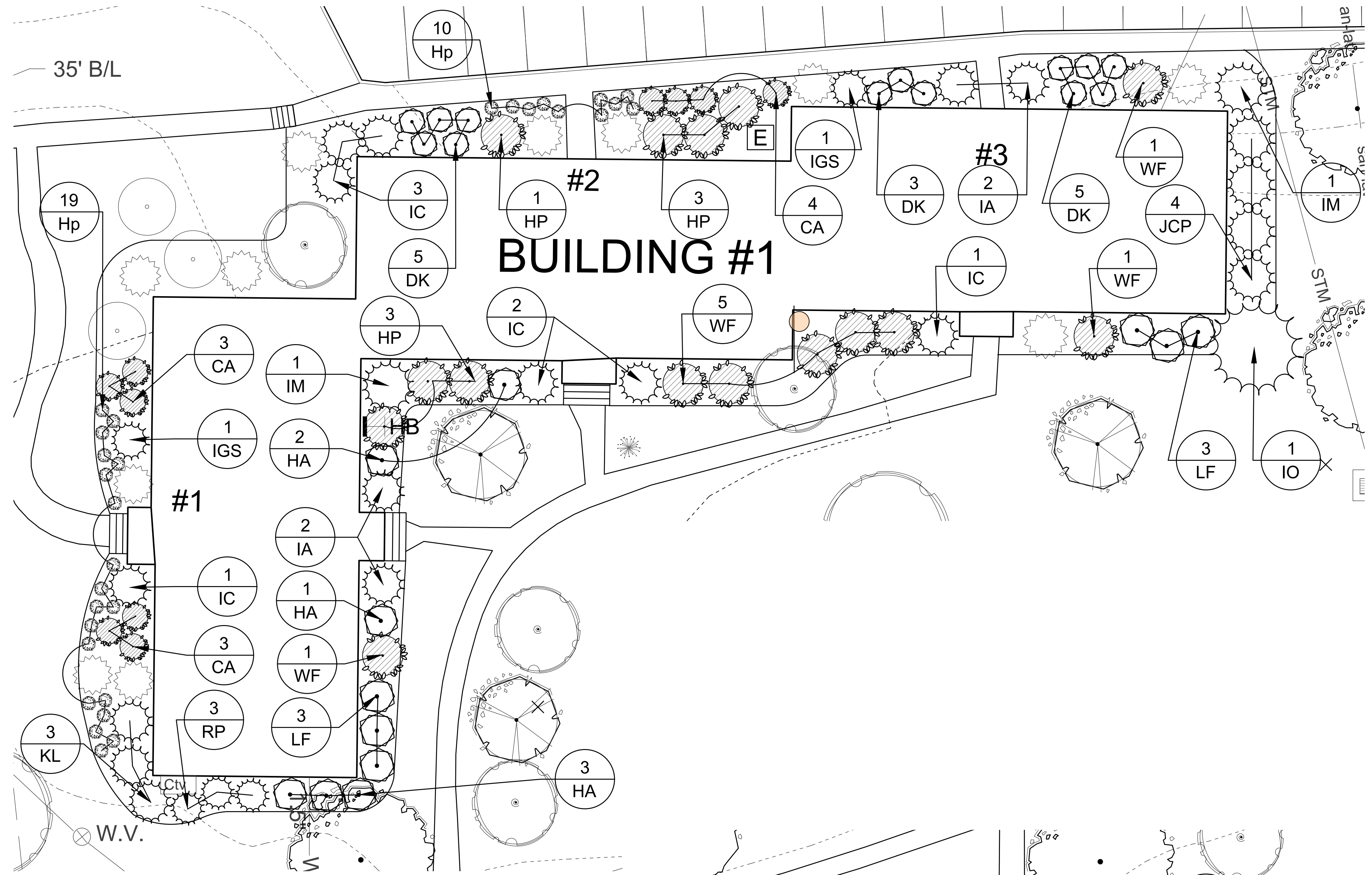
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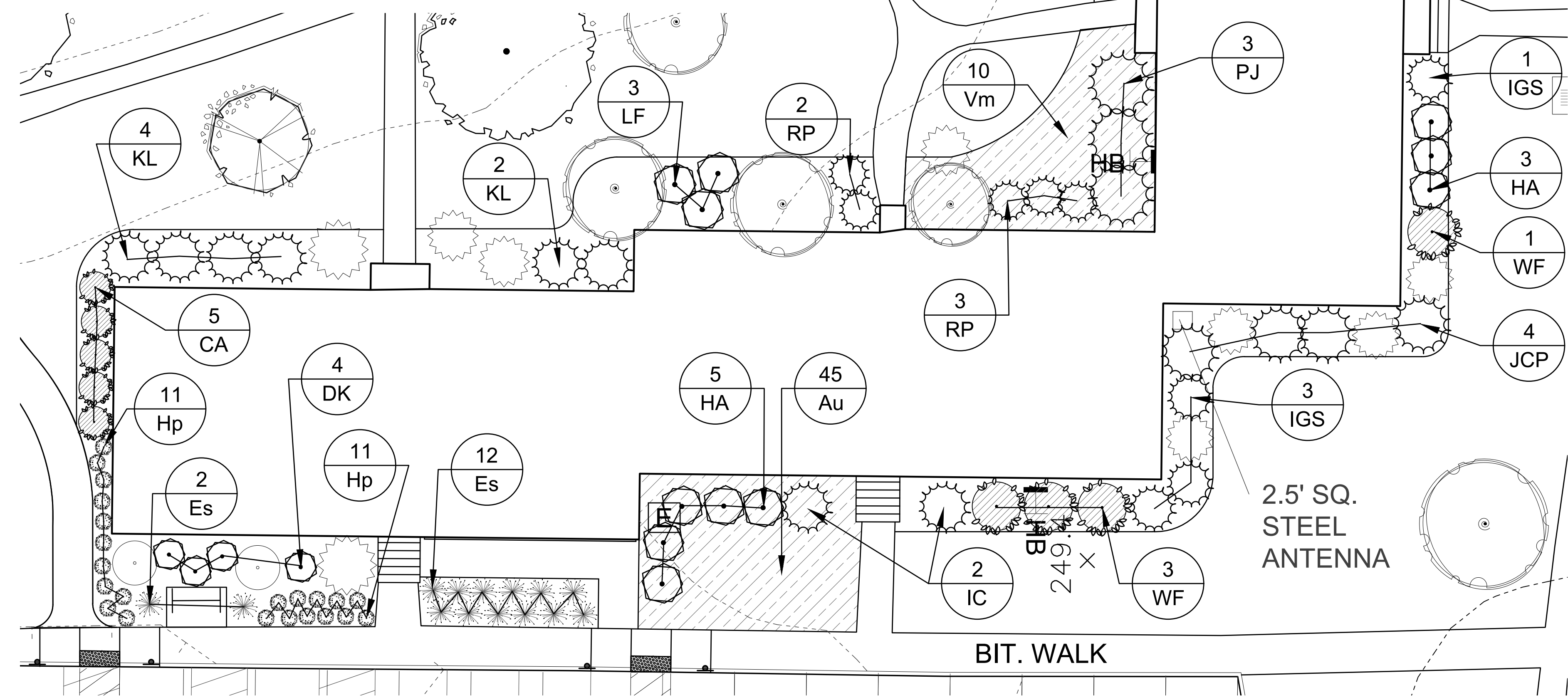
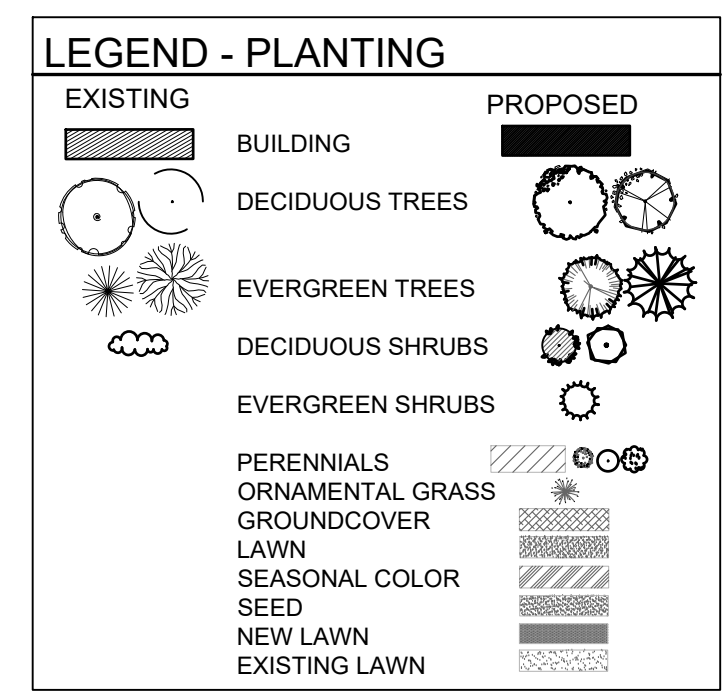
DATE: 01-10-2022 DRAWN BY: BC  
 SCALE: AS NOTED CHECKED BY: AA  
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DRAWING NAME:  
 PLANTING PLAN ENLARGEMENTS

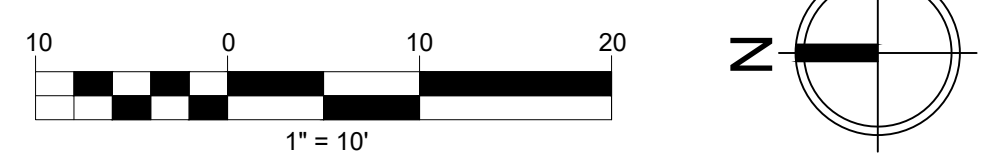
L6



TYPICAL BUILDING PLANTING



TYPICAL BUILDING PLANTING



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PLANT SCHEDULE						
CATEGORY	SYM.	NO.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
CANOPY TREES	AR	6	ACER RUBRUM 'RED POINTE'	RED POINTE MAPLE	7'-8' HT.	B&B
	AS	6	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	7'-8' HT.	B&B
	BN	2	BETULA NIGRA 'HERITAGE'	RIVER BIRCH	7'-8' HT.	B&B
	BP	7	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE GRAY BIRCH	5'-6' HT.	B&B
	QB	3	QUERCUS BICOLOR	SWAMP WHITE OAK	7'-8' HT.	B&B
EVERGREEN TREES	PG	2	PICEA GLAUCA	WHITE SPRUCE	6'-10' HT.	B&B
	PP	1	PICEA PUNGENS 'FAT ALBERT'	FAT ALBERT SPRUCE	7'-8' HT.	B&B
ORNAMENTAL TREES	CC	8	CERCIS CANADENSIS	EASTERN REDBUD	2" - 2 1/2" CAL.	B&B
	CF	6	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS DOGWOOD	2" - 2 1/2" CAL.	B&B
	MV	3	MAGNOLIA VIRGINIANA	SWEET BAY MAGNOLIA	2" - 2 1/2" CAL.	B&B
	MD	2	MALUS 'DONALD WYMAN'	CRABAPPLE	2" - 2 1/2" CAL.	B&B
	CA	18	CLETHRRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	3 GAL.	CONT.
SHRUBS	DK	21	DIERVILLA X KODIAK ORANGE	KODIAK ORANGE DIERVILLA	5 GAL.	CONT.
	HA	17	HYDRANGEA ARBORESCENS 'INVINCIBELLE LIMETTA'	SMOOTHLEAF HYDRANGEA	5 GAL.	CONT.
	HP	10	HYDRANGEA PANICULATA 'LIMELIGHT PRIME'	LIMELIGHT PRIME HYDRANGEA	3 GAL.	CONT.
	IA	4	ILEX X. AQUIPERNYI 'DRAGON LADY'	DRAGON LADY HOLLY	5 GAL.	CONT.
	IC	9	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	5 GAL.	CONT.
	IGS	6	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	5 GAL.	CONT.
	IM	2	ILEX X. MESERVEAE 'BLUE PRINCE'	BLUE PRINCE MESERVEAE HOLLY	5 GAL.	CONT.
	IO	1	ILEX OPACA 'MISS HELEN'	MISS HELEN AMERICAN HOLLY	5 GAL.	CONT.
	JCP	8	JUNIPERUS CHINENSIS 'PFITZERIANA SEA GREEN'	SEA GREEN PFITZER JUNIPER	5 GAL.	CONT.
	KL	9	KALMIA X 'OLYMPIC FIRE'	OLYMPIC FIRE MOUNTAIN LAUREL	5 GAL.	CONT.
	LF	9	LEUCOTHOE FONTANESIANA 'RAINBOW'	RAINBOW LEUCOTHOE	5 GAL.	CONT.
	PJ	6	PIERIS JAPONICA 'MT. FIRE'	MOUNTAIN FIRE PIERIS	5 GAL.	CONT.
	RP	9	RHODODENDRON PJM ELITE	PJM RHODIE	5 GAL.	CONT.
	WF	15	WEIGELA FLORIDA 'VARIEGATA'	VARIATED WEIGELA	5 GAL.	CONT.
	PERENNIALS & GRASSES	Au	45	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	4" POT
Es		14	ERAGROTIS SPECTABILIS	PURPLE LOVEGRASS	1 GAL.	CONT.
Hp		51	HEMEROCALLIS 'PANDORA'S BOX'	PANDORA'S BOX DAYLILY	1 GAL.	CONT.
Vm		10	VINCA MINOR	VINCA	FLATS OF 24	CONT.

### GENERAL PLANTING NOTES

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- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.
- CONTRACTOR TO VERIFY ALL SITE CONDITIONS IN FIELD PRIOR TO THE START OF CONSTRUCTION.
- FIELD REVISIONS TO PLANT MATERIAL LOCATION AND MATERIAL SUBSTITUTIONS WILL BE PERMITTED IF CONFLICTS ARISE. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF CHANGE IS REQUIRED.

### GENERAL MAINTENANCE PLAN

- ALL TREES TO BE PRUNED AND MAINTAINED TO A BRANCHING HEIGHT OF 8' ABOVE FINISH GRADE.
- PRUNE SHRUB MATERIAL SEASONALLY IF REQUIRED.
- REMOVE DEAD OR BROKEN BRANCHES TO MAINTAIN HEALTH AND AESTHETICS OF MATERIAL ON AN AS NEEDED BASIS.
- MULCH ANNUALLY IN SPRING AS SPECIFIED IN GENERAL PLANTING NOTES.
- REPLACE ANY DEAD PLANT MATERIAL ON AN AS NEEDED BASIS TO MAINTAIN AESTHETICS.

### WETLAND SOIL SPECIFICATIONS

**DESCRIPTION**  
This work shall consist of preparing wetland soil that is manufactured from compost and other soil constituents for use in establishing wetland vegetation.

#### MATERIALS

Soil - Soil shall consist of loose, friable soil, free of ice, snow and rubbish with no admixture of refuse or material toxic to plant growth. Soil shall be reasonably free of seeds and roots of exotic invasive species, stones, lumps and or similar objects larger than two inches in diameter. Manufactured wetland soil will be uniformly mixed to meet the final requirements listed below.

#### Soil shall meet additional parameters:

- Parameters Range pH: 5 - 7.5
- Moisture Content: 25% - 55%
- Soluble Salts: 2.5 mmhos (dS)
- Organic Content > 20% (dry weight)
- Organic Carbon Content > 12% (dry weight)
- Stone and Debris < 5% (by weight)
- Foreign Matter < 0.5% (by weight)
- Particle Size: 100% by volume must pass a 1.5 inch screen.
- 85% by volume must pass a 3/4 inch screen.

**Compost** - Compost shall be leaf and yard waste compost. The product shall be well composted and contain material of a generally humus nature capable of sustaining growth of vegetation, with no materials toxic to plant growth.

#### Compost shall have the following properties:

- Parameters Range pH: 5 - 7.5
- Moisture Content: 15% - 55%
- Soluble Salts < 4.0 mmhos (dS) C:N Ratio: 25:1
- Particle Size < 1.5"
- Organic Content > 25% (dry weight)
- Bulk Density < 1300 lbs./cubic yard
- Foreign Matter < 1% (dry weight)

Compost generator shall also provide minimum available nitrogen and other macro and micronutrients.

**Product Information** - All parameters listed above can be met by **AGRESOIL COMPOST** as distributed by: Agresource, 100 Main Street, Amesbury, MA 01913 Telephone 900-313-3320

### SEEDING NOTES

SEED MIXES WILL BE SOWN WITH A HAND-HELD SPREADER. LIGHTLY RAKE TO ENSURE PROPER SOIL-SEED CONTACT. SEEDING CAN TAKE PLACE ON FROZEN SOIL, AS THE FREEZING AND THAWING WILL WORK THE SEED INTO THE SOIL. WHEN PLANTING IN THE SPRING, PLANT EARLY SO THERE IS SUFFICIENT RAINFALL. IF SPRING CONDITIONS ARE DRIER THAN USUAL, WATERING MAY BE REQUIRED. A NON-INVASIVE ANNUAL, SUCH AS WINTER RYE MAY BE ADDED TO THE MIX TO OBTAIN SOIL STABILIZATION COVER IN THE FALL. DO NOT ADD ANNUAL RYEGRASS, KENTUCKY BLUEGRASS OR PERENNIAL RYEGRASS. ALL SEED MIXES SHOULD BE DILUTED WITH FILLER SUCH AS SAND TO ENSURE UNIFORM COVERAGE. THE SEEDING AREA IS TO BE MULCHED.

#### ROADSIDE MIX:

#### NEW ENGLAND ROADSIDE MATRIX UPLAND SEED MIX:

AS SUPPLIED BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUAL.

SPECIES: GRASSES VIRGINIA WILD RYE (ELYMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), CREEPING RED FESCUE (FESTUCA RUBRA), BIG BLUESTEM (ANDROPOGON GERARDII), INDIAN GRASS (SORGHASTRUM NUTANS), SWITCH GRASS (Panicum VIRGATUM).

WILDFLOWERS PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), GOLDEN ALEXANDERS (Zizia AUREA), SMOOTH BLUE ASTER (ASTER LAEVIS), BUSH CLOVER (LESPEDEZA CAPI TATA), PURPLE JOE PYE WEED (EUPATORIUM PURPUREUM), WILD BERGAMOT (MONARDA FISTULOSA), GREEN HEADED CONEFLOWER (RUDEBECKIA LACINATA), GRASS LEAVED GOLDENROD (EUTHAMIA GRAMINIFOLIA), EARLY GOLDENROD (SOLIDAGO JUNCEA)

SHRUBS GREY DOGWOOD (COMUS RACEMOSA), STAGHOM SUMAC (RHUS TYPHINA), WITCH HAZEL (HAMAMELIS VIRGINIANA), BLACK CHERRY (PRUNUS SEROTINA)

APPLICATION RATE: 35 LBS/ACRE 1250 SQ. FT/LB

#### DETENTION BASIN BOTTOM MIX:

#### NEW ENGLAND WETMIX (WETLAND SEED MIX):

SPECIES: FOX SEDGE, (CAREX VULPINOIDEA), LURID SEDGE, (CAREX LURIDA), BLUNT BROOM SEDGE, (CAREX SCOPARIA), SENSITIVE FERN, (ONOCLEA SENSIBILIS), BLUE VERNAIN, (VERBENA HASTATA), HOP SEDGE, (CAREX LUPULINA), GREEN BULRUSH, (SCIRPUS ATROVIRENS), NODDING BUR MARIGOLD, (BIDENS CERNUA), BRISTLY SEDGE, (CAREX COMOSA), FRINGED SEDGE, (CAREX CRINHA), AMERICAN MANNAGRASS, (GLYCERIA GRANDIS), WOOL GRASS, (SDRPLUS CYPERINUS), SOFT RUSH, (JUNCUS EFFUSUS), SPOTTED JOE PYE WEED, (EUPATORIUM MACULATUM), BONESET, (EUPATORIUM PERFORIATUM), MUD PLANTAIN, (ALISMA SUBCORDATUM), NEW ENGLAND ASTER, (ASTER NOVAE-ANGLIAE), RATTLESNAKE GRASS, (GLYCERIA CANADENSIS), SOFT STEW BULRUSH, (SDRPLUS VALIDUS), SWAMP MILKWEED, (ASCLEPIAS INCARNATA), MONKEY FLOWER, (MIMULUS RINGENS).

APPLICATION RATE: 1 LB/2500 SQ. FT

#### DETENTION BASIN SIDE SLOPE MIX:

#### NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES:

AS SUPPLIED BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUAL.

SPECIES: VIRGINIA WILD RYE, (ELYMUS VIRGINICUS), CREEPING RED FESCUE, (FESTUCA RUBRA), LITTLE BLUESTEM, (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM, (ANDROPOGON GERARDII), FOX SEDGE, (CAREX VULPINOIDEA), SWITCH GRASS, (Panicum VIRGATUM), ROUGH BENTGRASS, (AGROSTIS SCABRA), NEW ENGLAND ASTER, (ASTER NOVAE-ANGLIAE), BONESET, (EUPATORIUM PERFORIATUM), GRASS LEAVED GOLDENROD, (EUTHAMIA GRAMINIFOLIA), GREEN BULRUSH, (SCIRPUS ATROVIRENS), BLUE VERNAIN, (VERBENA HASTATA), SOFT RUSH, (JUNCUS EFFUSUS), WOOL GRASS, (SDRPLUS CYPERINUS).

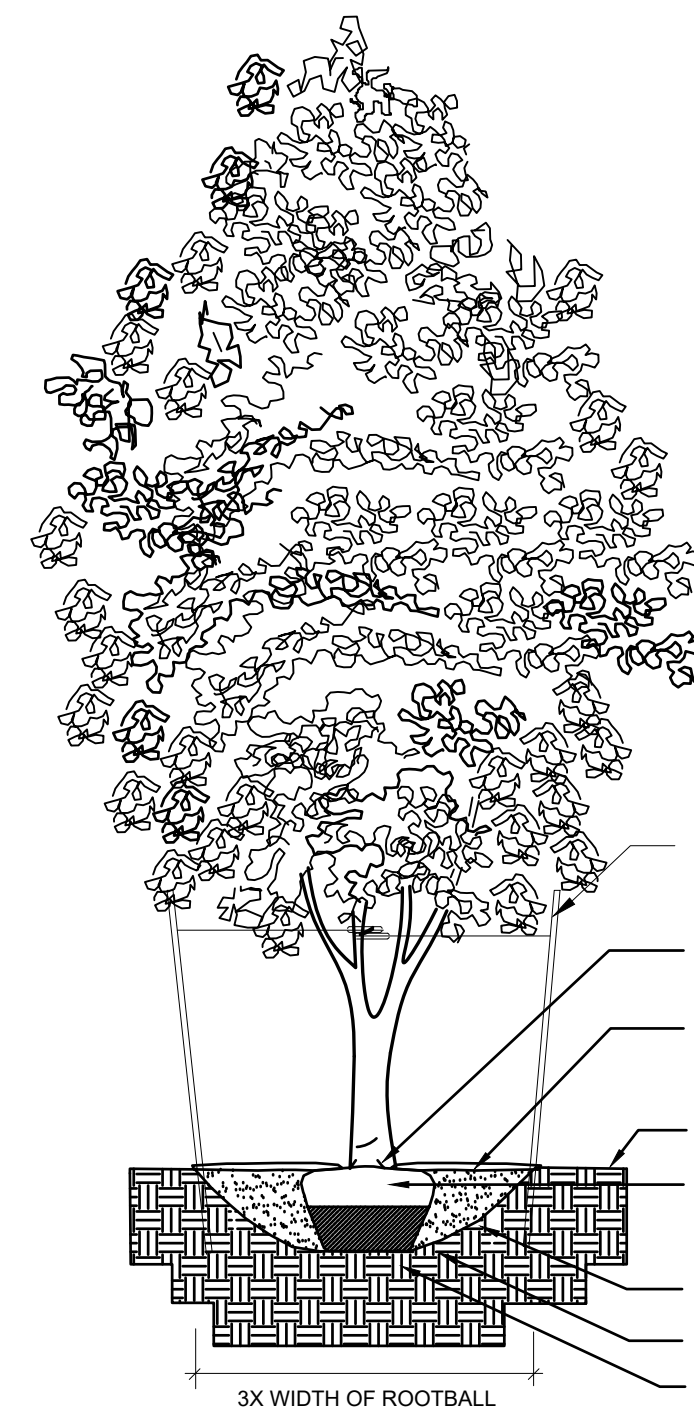
APPLICATION RATE: 35 LBS/ACRE 1250 SQ. FT/LB

#### GENERAL SEED MIX:

WATER STAR ULTRA MIXTURE  
AS SUPPLIED BY PLANTER CHOICE NURSERY,  
OR APPROVED EQUAL.

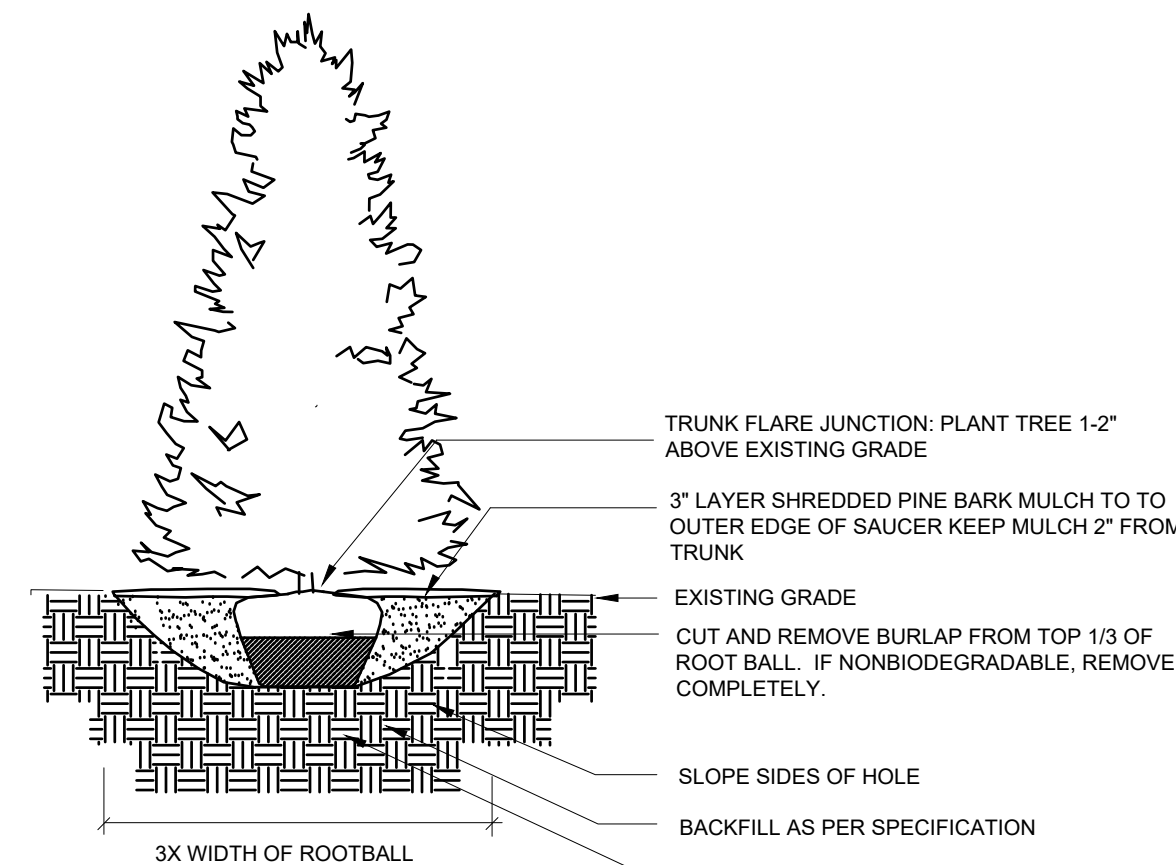
- 30% PRAZOR CREEPING RED FESCUE
- 20% INTERGA PERENNIAL RYEGRASS
- 20% APR 2015 PERENNIAL RYEGRASS
- 10% SURVIVOR CHEWINGS FESCUE
- 10% SOPRANO PERENNIAL RYEGRASS
- 10% BLUE BONNET KENTUCKY BLUE

50# per 12,500 sq. ft.



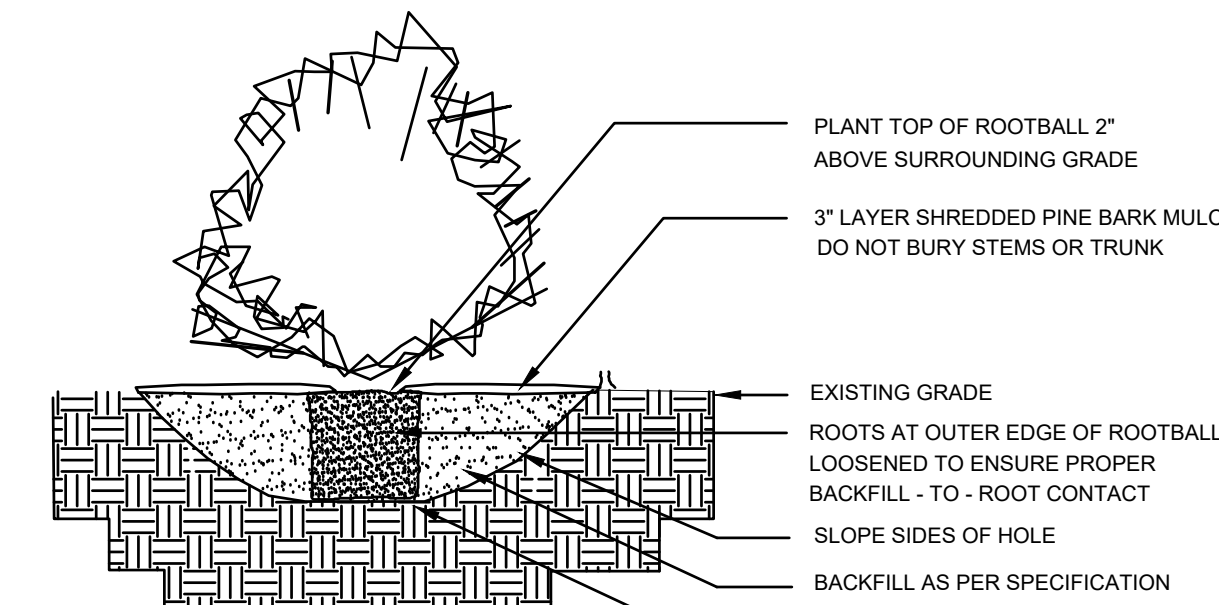
DECIDUOUS TREE PLANTING

N.T.S.



EVERGREEN TREE PLANTING

N.T.S.



SHRUB PLANTING

N.T.S.

NEW PLANT MATERIAL TO BE LAID OUT IN FIELD BY LANDSCAPE ARCHITECT.

SEED ALL DISTURBED AREAS WITH GENERAL SEED MIX UNLESS OTHERWISE NOTED.

DEER PROOFING WILL BE REQUIRED AS PART OF ONGOING LANDSCAPE MAINTENANCE FOR THIS PROPERTY.

ALL PLUGS AND TUBELINGS CAN BE PURCHASED FROM NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUAL.

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W: www.a2land.com



McCleery Engineering  
701 East Gate Dr., #100  
Mt. Laurel, NJ 08054



#### PROJECT:

WILLOW ARMS  
  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/28/22	CEPA SCOPING SET
	5/13/22	40% PRICING SET
	7/11/22	PERMITTING SET

#### PHASE:

DESIGN  
DEVELOPMENT

PAUL B. BAILEY  
ARCHITECT

110 AUBODON STREET  
NEW HAVEN, CONNECTICUT 06510  
203 · 776 · 8888 F 203 · 772 · 1365

DATE: 01-10-2022 DRAWN BY: BC  
SCALE: AS NOTED CHECKED BY: AA  
JOB NO: 21-084

DRAWING NAME:  
PLANTING NOTES  
& DETAILS

L7

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**ME** McCleery Engineering  
 701 East Gate Dr., #100  
 Mt. Laurel, NJ 08054



PROJECT:  
 WILLOW ARMS  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/28/22	CEPA SCOPING SET
	5/13/22	40% PRICING SET
	7/11/22	PERMITTING SET

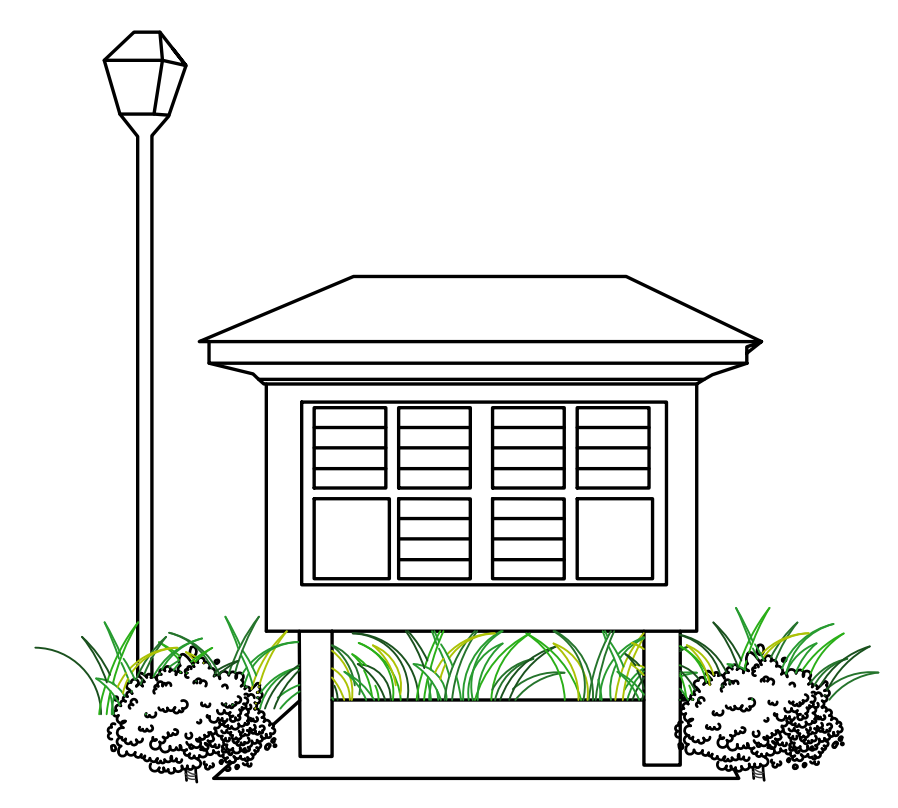
PHASE:  
 DESIGN DEVELOPMENT

**PAUL B. BAILEY**  
 • ARCHITECT •  
 110 AUDUBON STREET  
 NEW HAVEN, CONNECTICUT 06510  
 203 · 776 · 8888 F 203 · 772 · 1365

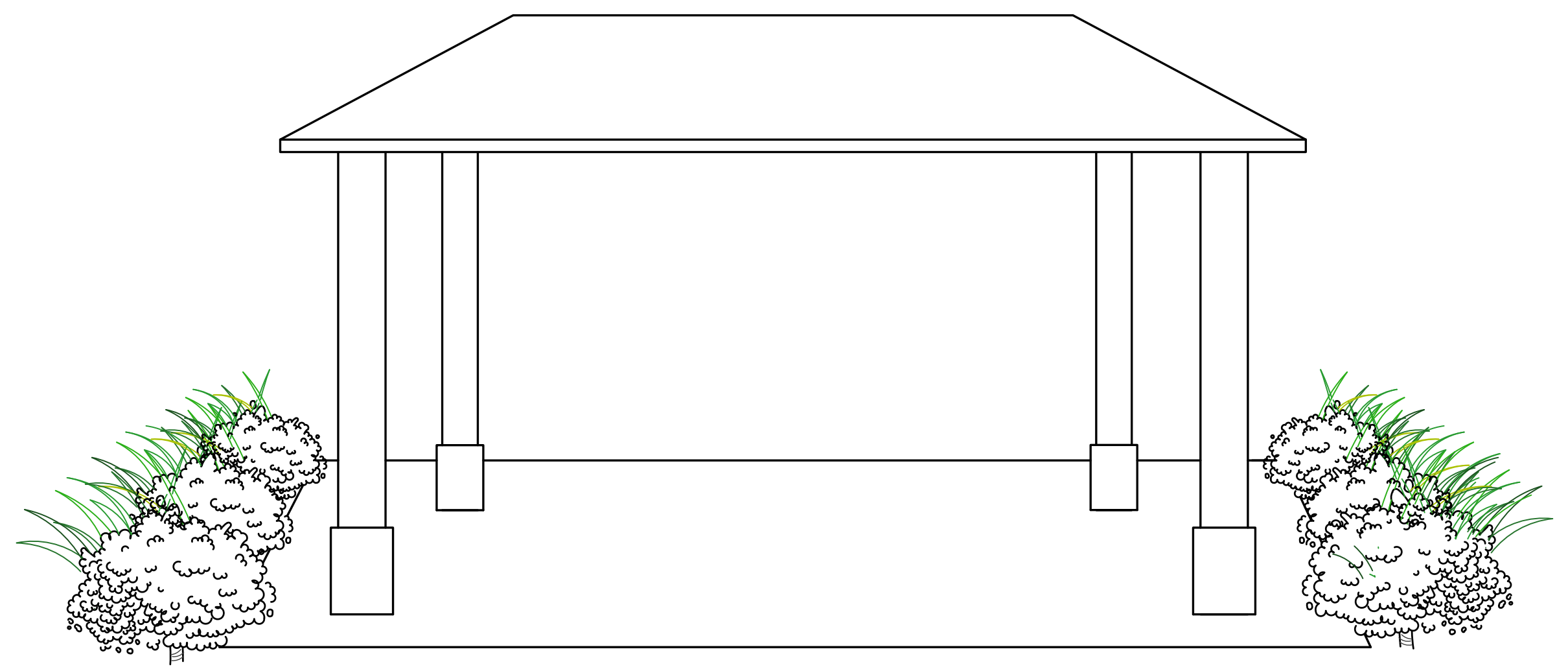
DATE: 01-10-2022 DRAWN BY: BC  
 SCALE: AS NOTED CHECKED BY: AA  
 JOB NO: 21-084

DRAWING NAME:  
 DETAILS

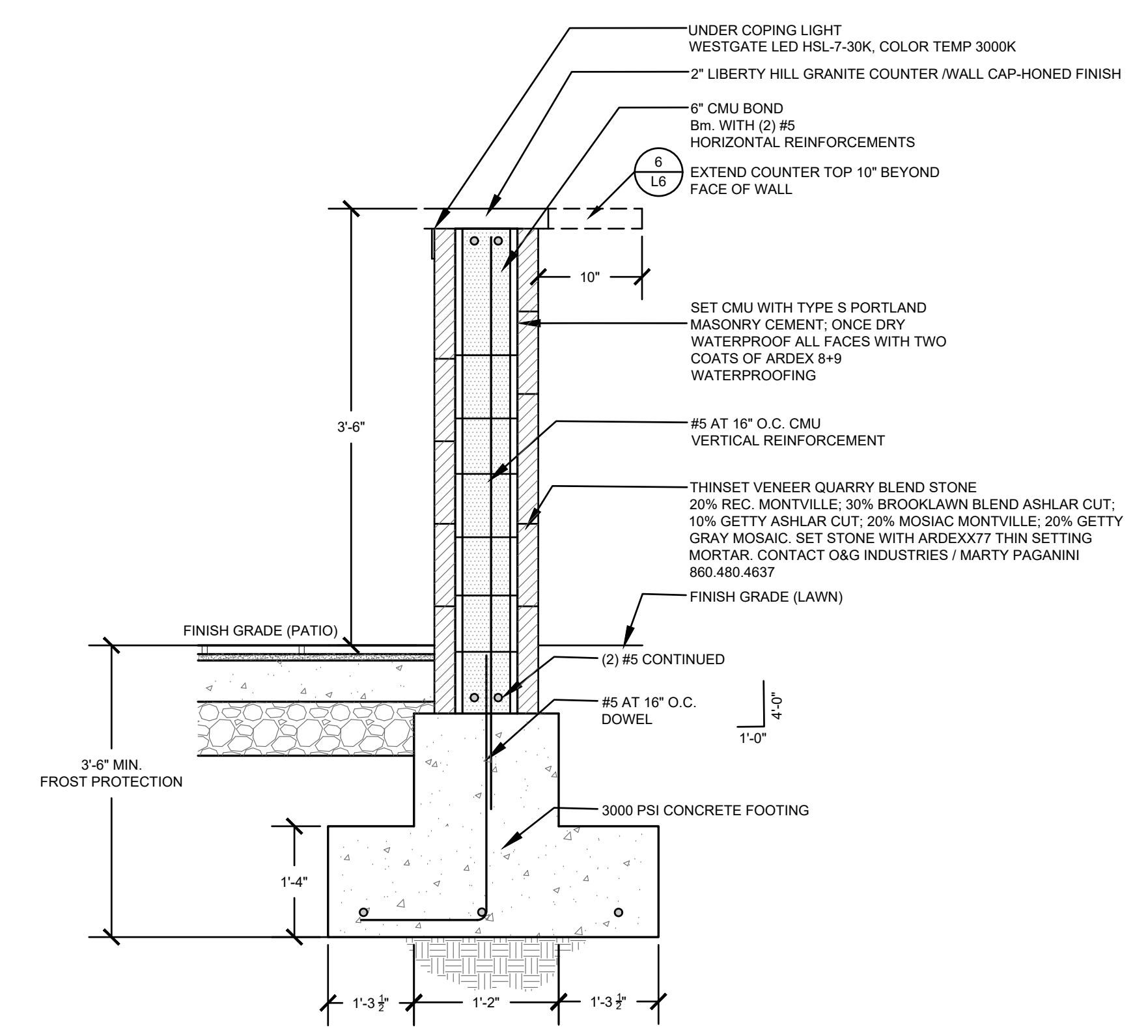
L8



1 MAILBOX ELEVATION  
 L-8 SCALE: NTS

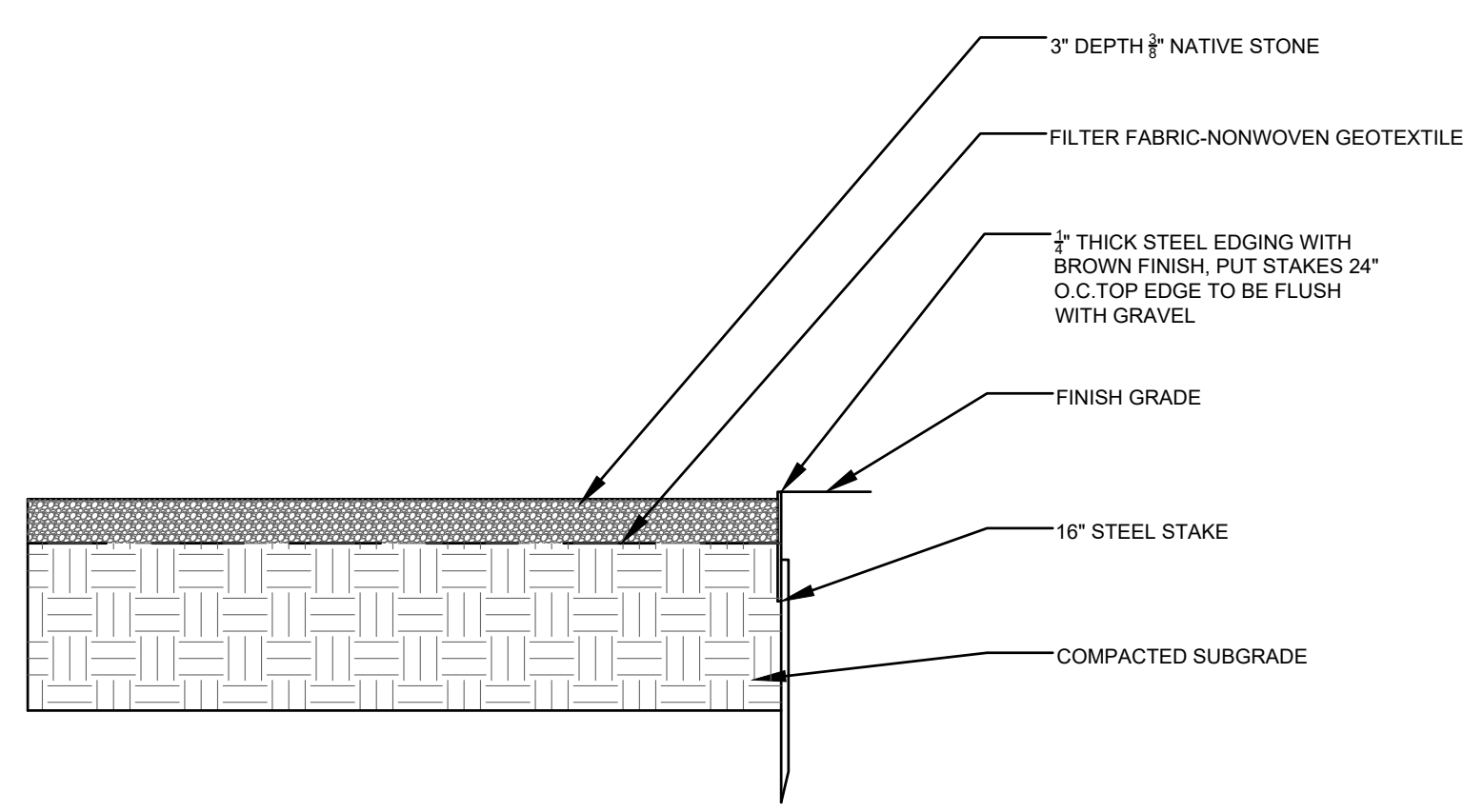


2 PAVILION ELEVATION  
 L-8 SCALE: NTS



4 FREESTANDING SCREEN WALL  
 L-8 SCALE: NTS

NOTE:  
 1. CONDUIT REQUIRED FOR WALL LIGHTS (SEE FREESTANDING WALL / COPING DETAIL BELOW).



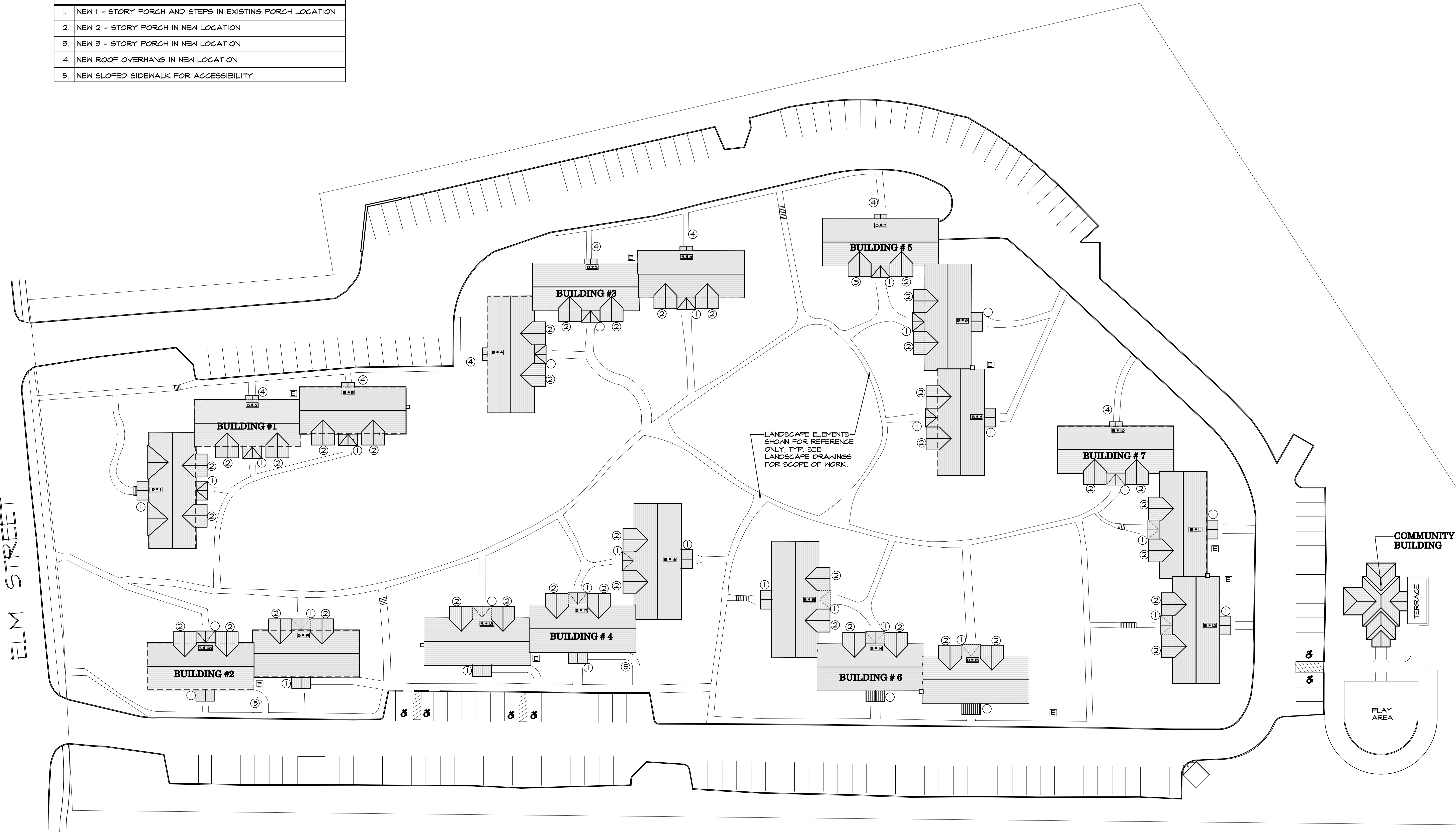
3 NATIVE STONE PAVING/STEEL EDGE  
 L-8 SCALE: NTS

NOTE:  
 CONTRACTOR TO PROVIDE SAMPLE OF NATIVE STONE TO CLIENT AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE

C:\My Drive\A2 Project Files\2021\2215 - Willow Arms\Cad Files\2215SSP.dwg, 7/12/2022

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NOTES	
1.	NEW 1 - STORY PORCH AND STEPS IN EXISTING PORCH LOCATION
2.	NEW 2 - STORY PORCH IN NEW LOCATION
3.	NEW 3 - STORY PORCH IN NEW LOCATION
4.	NEW ROOF OVERHANG IN NEW LOCATION
5.	NEW SLOPED SIDEWALK FOR ACCESSIBILITY



ELM STREET

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PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

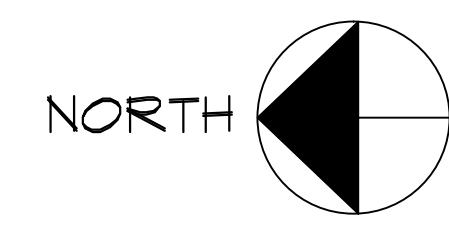
ISSUE	DATE	DESCRIPTION
	04/20/22	CEPA SCOPING SET
	05/15/22	40% PRICING SET
	07/11/22	DRB/P4Z SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT •**  
 110 AUDUBON STREET  
 NEW HAVEN, CONNECTICUT 06510  
 203 - 776 - 8888 F 203 - 772 - 1365

DATE: 01-10-2022	DRAWN BY: TG
SCALE: AS NOTED	CHECKED BY: SO
JOB NO: 21-024	

DRAWING NAME:  
**ARCHITECTURAL SITE PLAN**



1 ARCHITECTURAL SITE PLAN  
 AS-1.0 1" = 30'-0"

AS-10

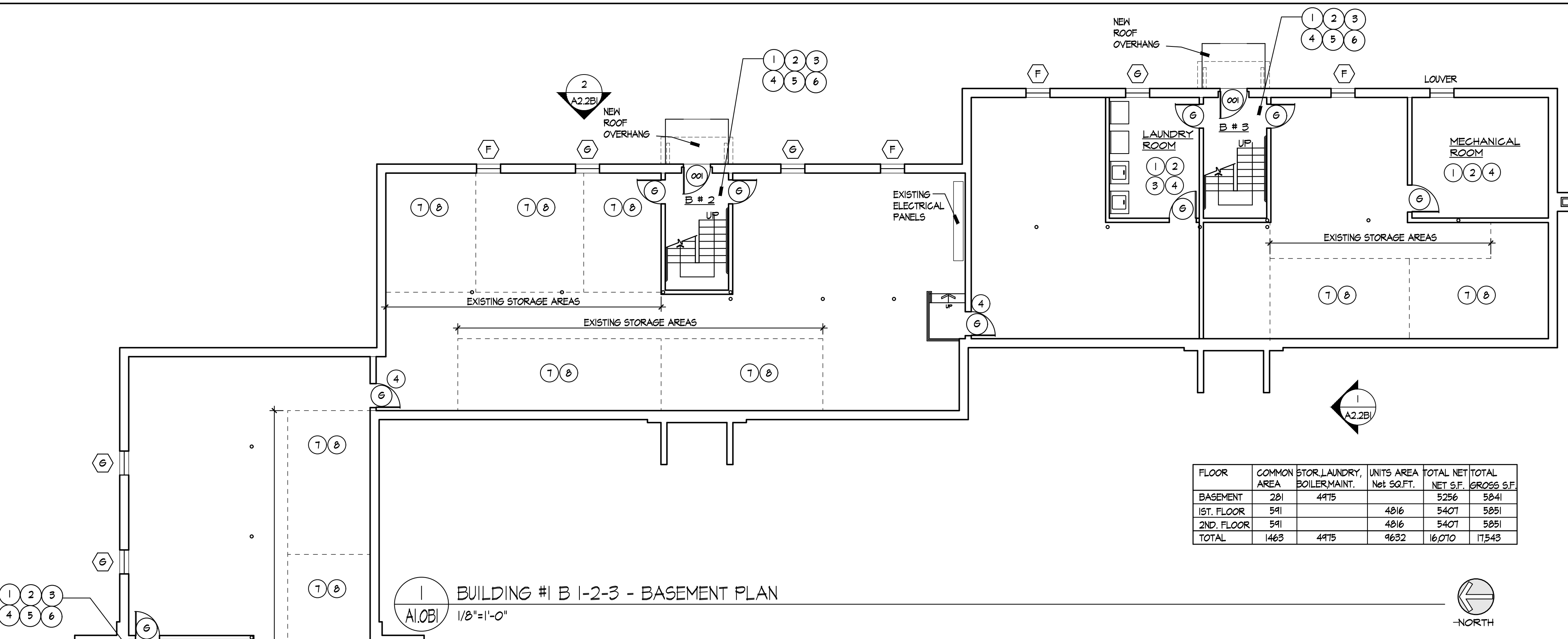
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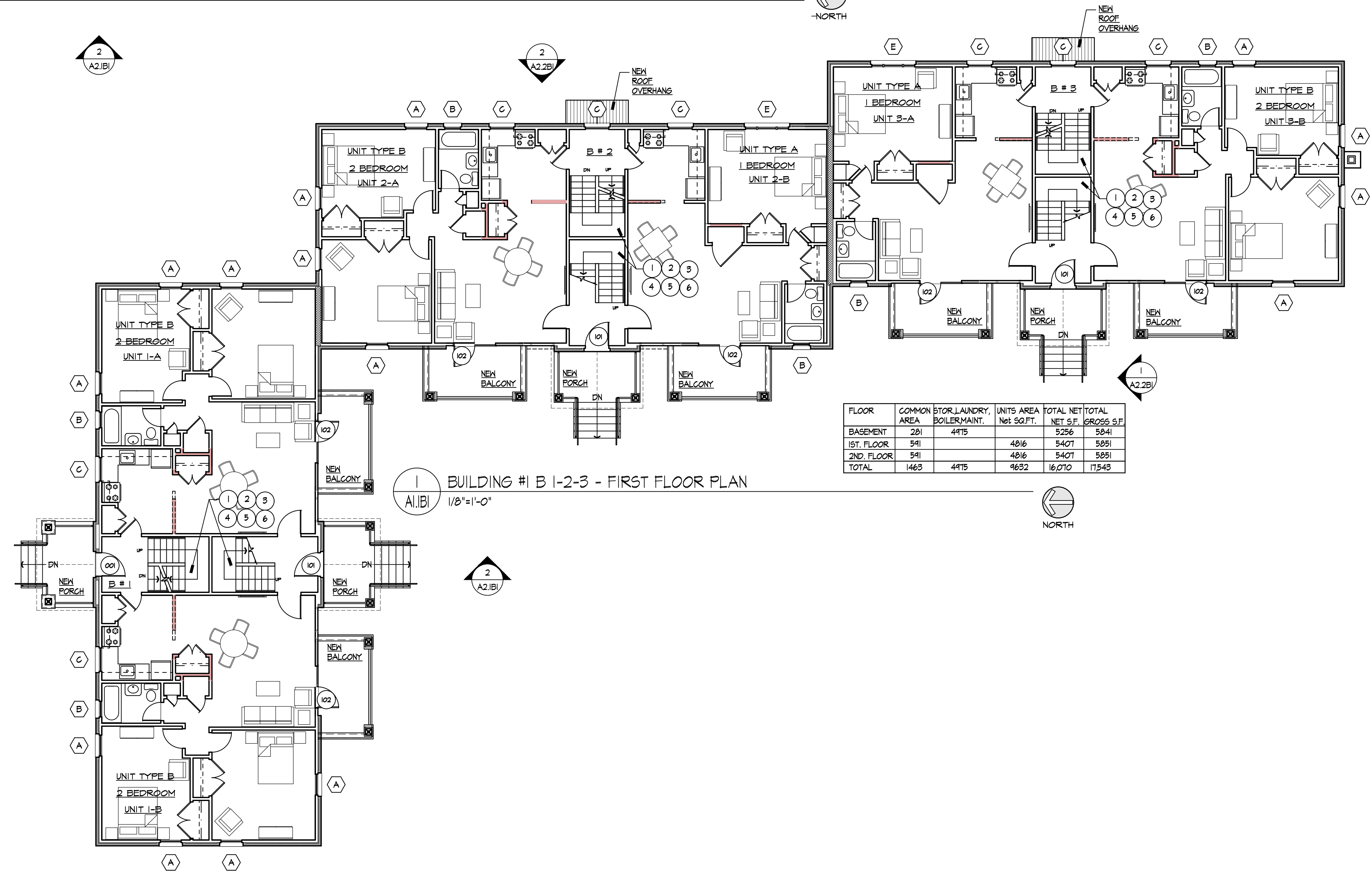
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TYPICAL PLAN NOTES	
1	NEW PAINTED G&B AT ALL NEW AND EXISTING WALLS.
2	NEW PAINTED G&B AT ALL EXISTING CEILING.
3	NEW FINISH FLOORING PER FINISH SCHEDULE.
4	NEW DOOR AND HARDWARE IN EXISTING LOCATION.
5	NEW RAILING IN EXISTING LOCATION.
6	NEW STAIR TREADS AND RISERS IN EXISTING LOCATION.
7	NEW RAISED FLOOR.
8	NEW FRP PANELS AT WALLS AND DOOR.

FLOOR	COMMON AREA	STOR./LAUNDRY, BOILER/MAINT.	UNITS AREA Net SQ.FT.	TOTAL NET NET S.F.	TOTAL GROSS S.F.
BASEMENT	281	4475		5256	5841
1ST. FLOOR	591		4816	5407	5891
2ND. FLOOR	591		4816	5407	5891
TOTAL	1463	4475	9632	16,070	17,543



1 BUILDING #1 B 1-2-3 - BASEMENT PLAN  
 1/8"=1'-0"



1 BUILDING #1 B 1-2-3 - FIRST FLOOR PLAN  
 1/8"=1'-0"

FLOOR	COMMON AREA	STOR./LAUNDRY, BOILER/MAINT.	UNITS AREA Net SQ.FT.	TOTAL NET NET S.F.	TOTAL GROSS S.F.
BASEMENT	281	4475		5256	5841
1ST. FLOOR	591		4816	5407	5891
2ND. FLOOR	591		4816	5407	5891
TOTAL	1463	4475	9632	16,070	17,543

PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
 110 AUDUBON STREET  
 NEW HAVEN, CONNECTICUT 06510  
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DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**BASEMT & 1ST FLR PLAN BUILDING 1**

A1.0B1



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PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/20/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
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DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**SECOND FLOOR PLAN  
 BUILDING 1**

A1.1 B1

**TYPICAL PLAN NOTES**

- NEW PAINTED GWB AT ALL NEW AND EXISTING WALLS.
- NEW PAINTED GWB AT ALL EXISTING CEILING.
- NEW FINISH FLOORING PER FINISH SCHEDULE.
- NEW DOOR AND HARDWARE IN EXISTING LOCATION.
- NEW RAILING IN EXISTING LOCATION.
- NEW STAIR TREADS AND RISERS IN EXISTING LOCATION.
- NEW RAISED FLOOR.
- NEW FRP PANELS AT WALLS AND DOOR.

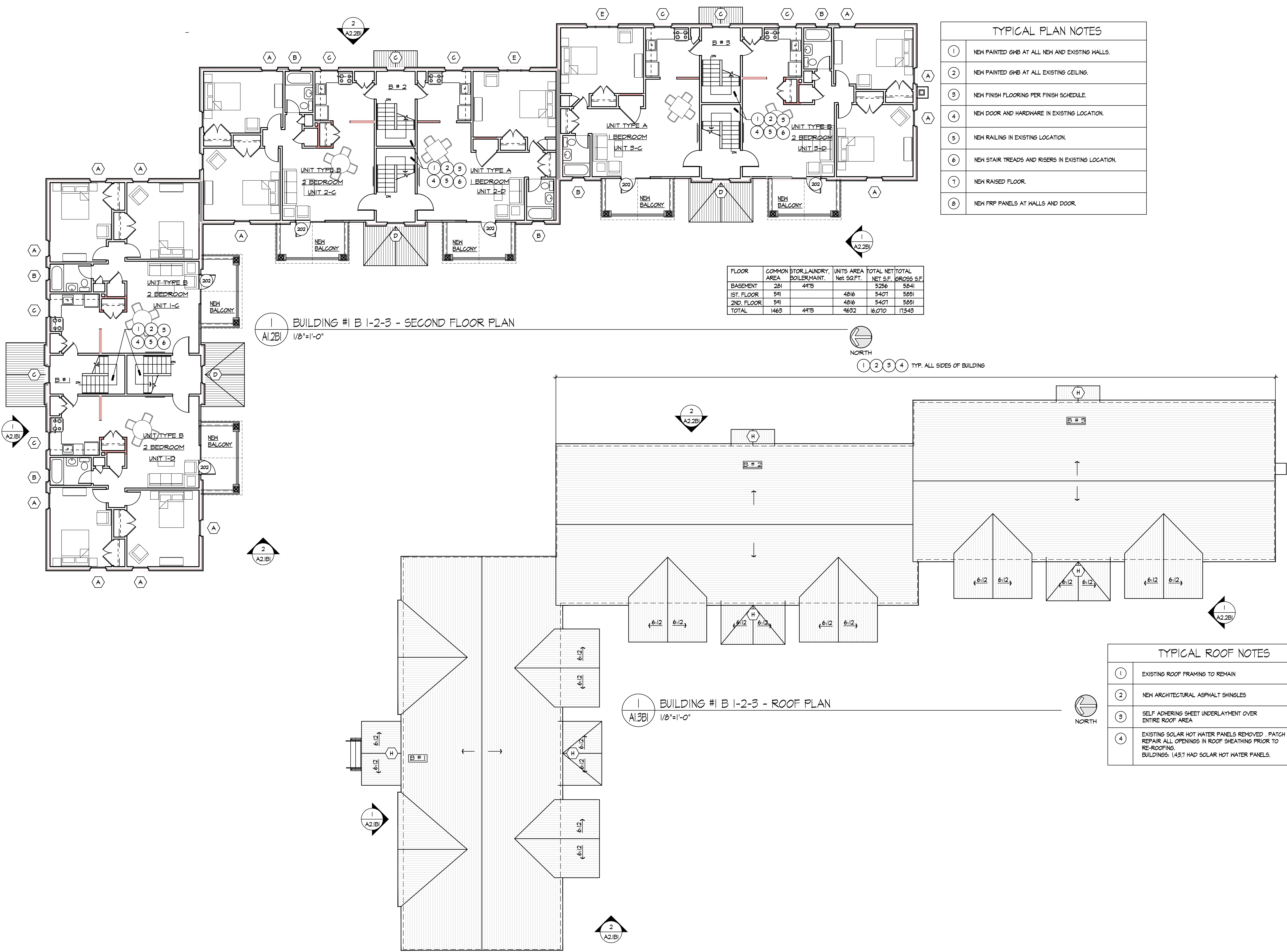
FLOOR	COMMON AREA	STOR./LAUNDRY/BOILER/MAINT.	UNITS AREA Net SQ.FT.	TOTAL NET SQ.FT.	TOTAL GROSS SQ.FT.
BASEMENT	291	4475		5256	5841
1ST. FLOOR	541		4916	5407	5891
2ND. FLOOR	541		4916	5407	5891
TOTAL	1463	4475	9832	16,070	17,543

1 BUILDING #1 B 1-2-3 - SECOND FLOOR PLAN  
 1/8"=1'-0"

1 BUILDING #1 B 1-2-3 - ROOF PLAN  
 1/8"=1'-0"

**TYPICAL ROOF NOTES**

- EXISTING ROOF FRAMING TO REMAIN
- NEW ARCHITECTURAL ASPHALT SHINGLES
- SELF ADHERING SHEET UNDERLAYMENT OVER ENTIRE ROOF AREA
- EXISTING SOLAR HOT WATER PANELS REMOVED. PATCH AND REPAIR ALL OPENINGS IN ROOF SHEATHING PRIOR TO RE-ROOFING. BUILDINGS 1,4,5,7 HAD SOLAR HOT WATER PANELS.



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1 NORTH ELEVATION BUILDING #1  
A2.1B1 1/4"=1'-0"



2 WEST ELEVATION BUILDING #1  
A2.1B1 1/8"=1'-0"

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Engineering  
701 East Gate Dr., #100  
Mt. Laurel, NJ 08054

PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P4Z SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY**  
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DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-084

DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 1**

**A2.1B1**

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PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

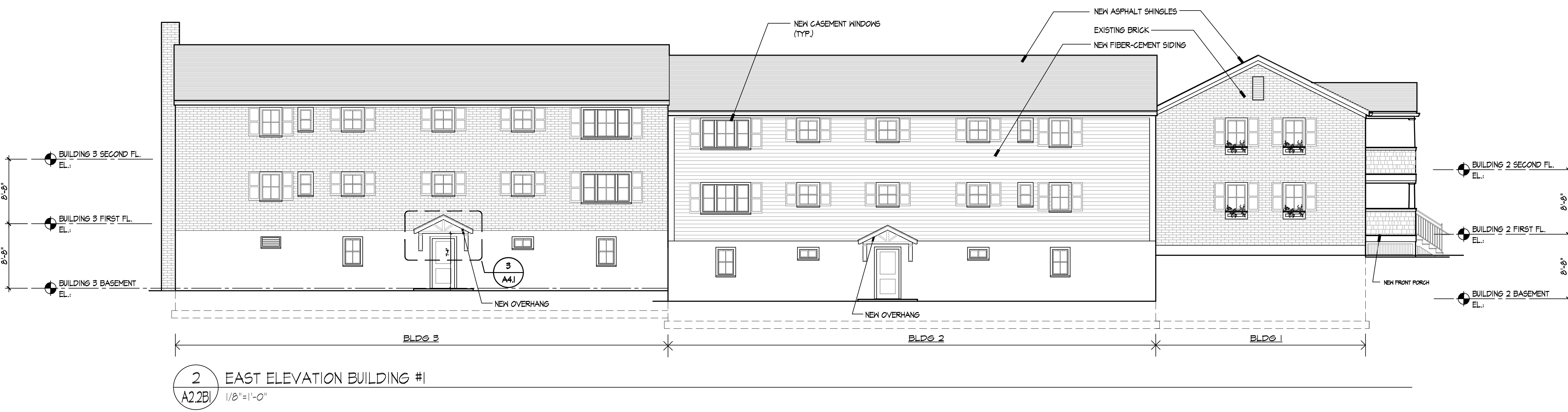
ISSUE	DATE	DESCRIPTION
	04/24/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P4Z SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
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DATE: 01-10-2022 DRAWN BY: T6  
 SCALE: AS NOTED CHECKED BY: 50  
 JOB NO: 21-024

DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 1**



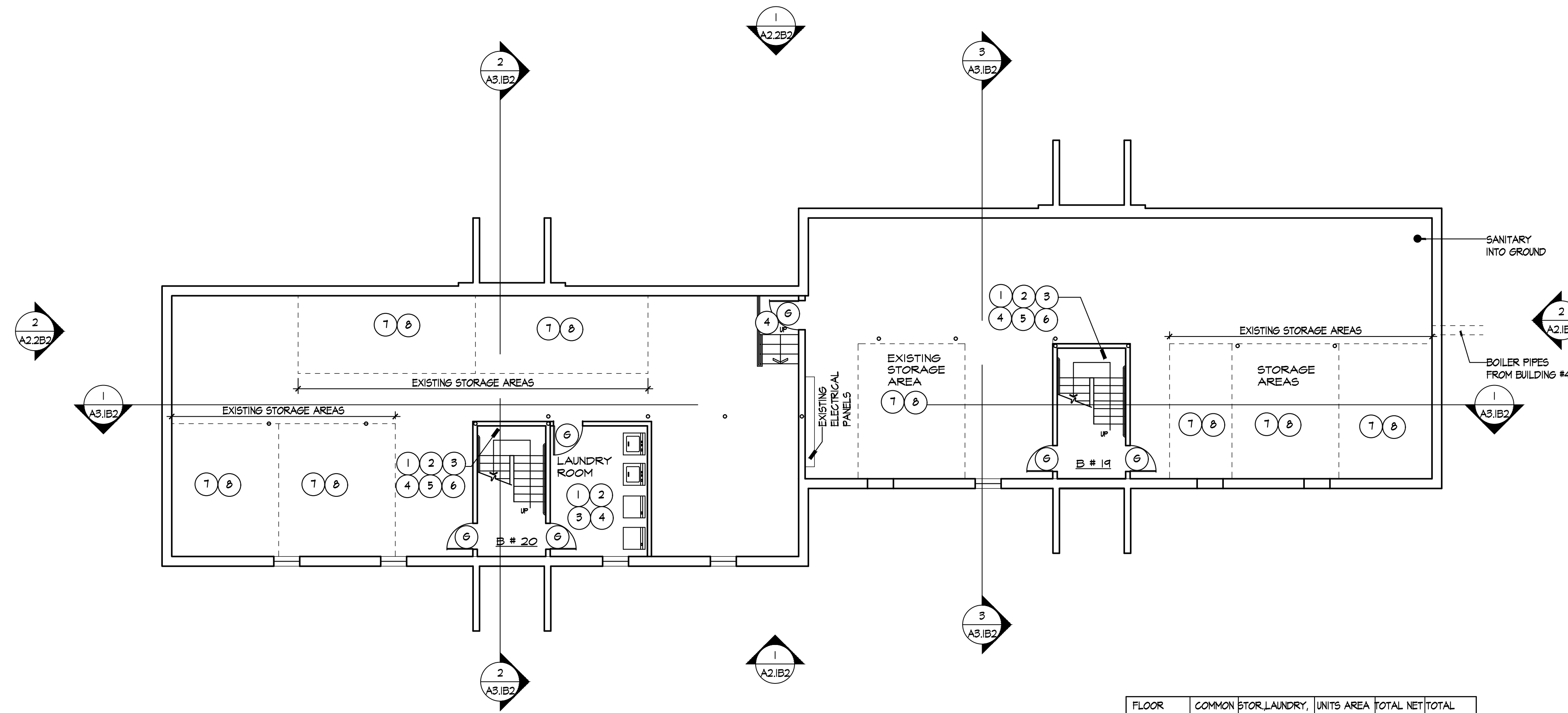
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4	NEW DOOR AND HARDWARE IN EXISTING LOCATION.
5	NEW RAILING IN EXISTING LOCATION.
6	NEW STAIR TREADS AND RISERS IN EXISTING LOCATION.
7	NEW RAISED FLOOR.
8	NEW FRP PANELS AT WALLS AND DOOR.

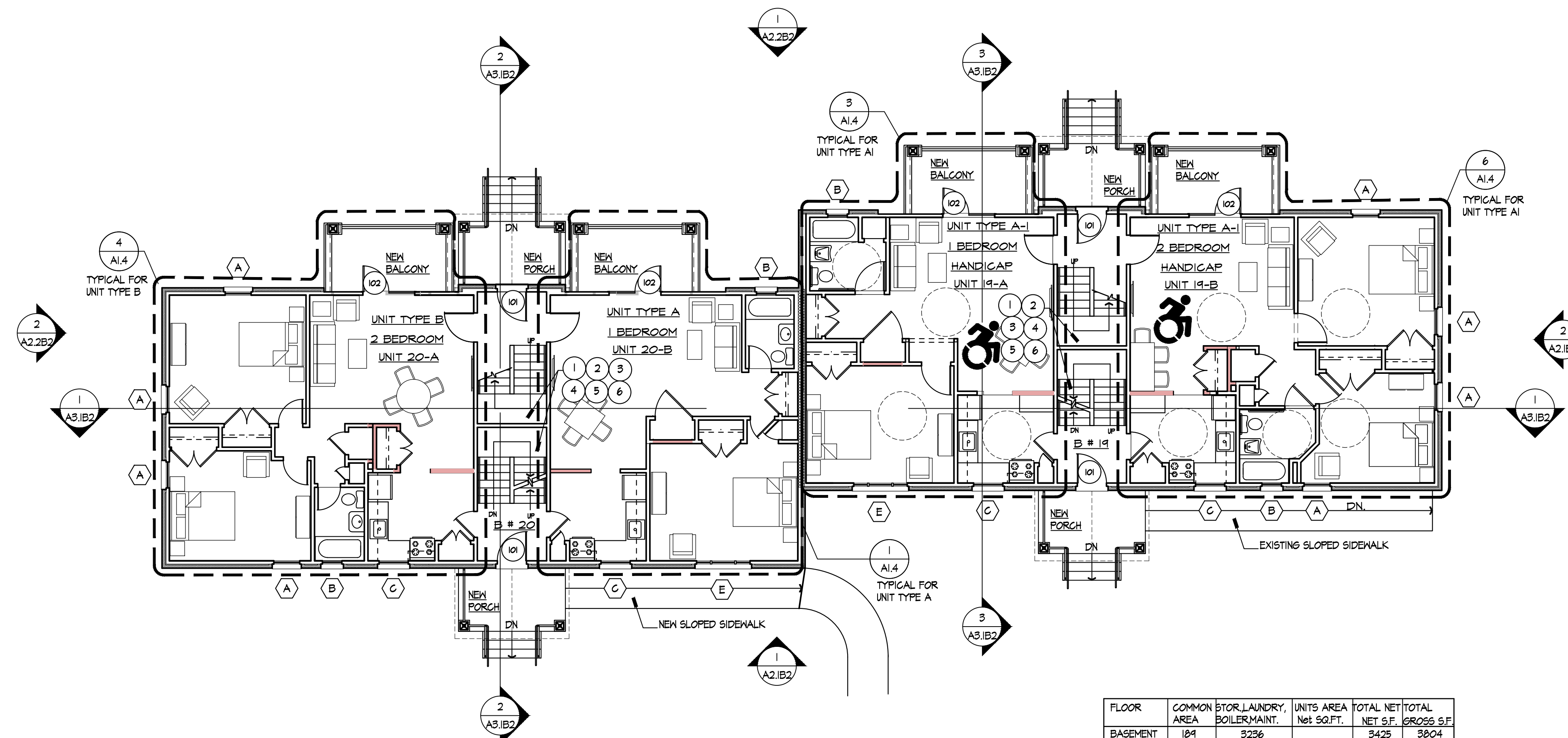
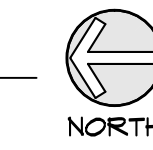
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FLOOR	COMMON AREA	STOR./LAUNDRY, BOILER/MAINT.	UNITS AREA Net SQ.FT.	TOTAL NET SQ.F.	TOTAL GROSS S.F.
BASEMENT	184	3236		3425	3804
1ST. FLOOR	344		3313	3101	3186
2ND. FLOOR	344		3313	3101	3186
TOTAL	471	3236	6626	10,834	11,316

1 BUILDING #2 B 19-20 - BASEMENT PLAN  
 A1.0B2 1/8"=1'-0"



FLOOR	COMMON AREA	STOR./LAUNDRY, BOILER/MAINT.	UNITS AREA Net SQ.FT.	TOTAL NET SQ.F.	TOTAL GROSS S.F.
BASEMENT	184	3236		3425	3804
1ST. FLOOR	344		3313	3101	3186
2ND. FLOOR	344		3313	3101	3186
TOTAL	471	3236	6626	10,834	11,316

1 BUILDING #2 B 19-20 - FIRST FLOOR PLAN  
 A1.1B2 1/8"=1'-0"



PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

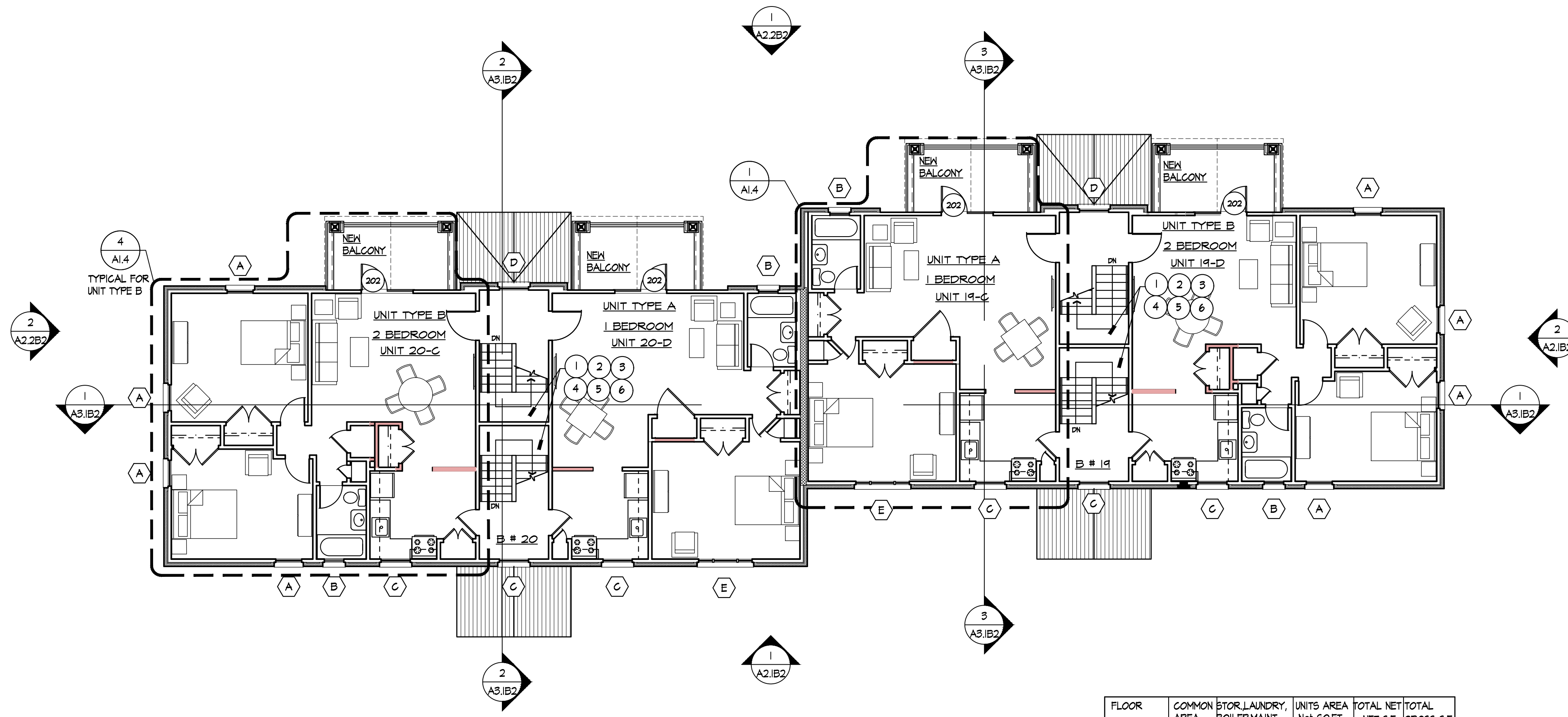
ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
 110 AUDUBON STREET  
 NEW HAVEN, CONNECTICUT 06510  
 203 · 776 · 8888 F 203 · 772 · 1365  
 DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

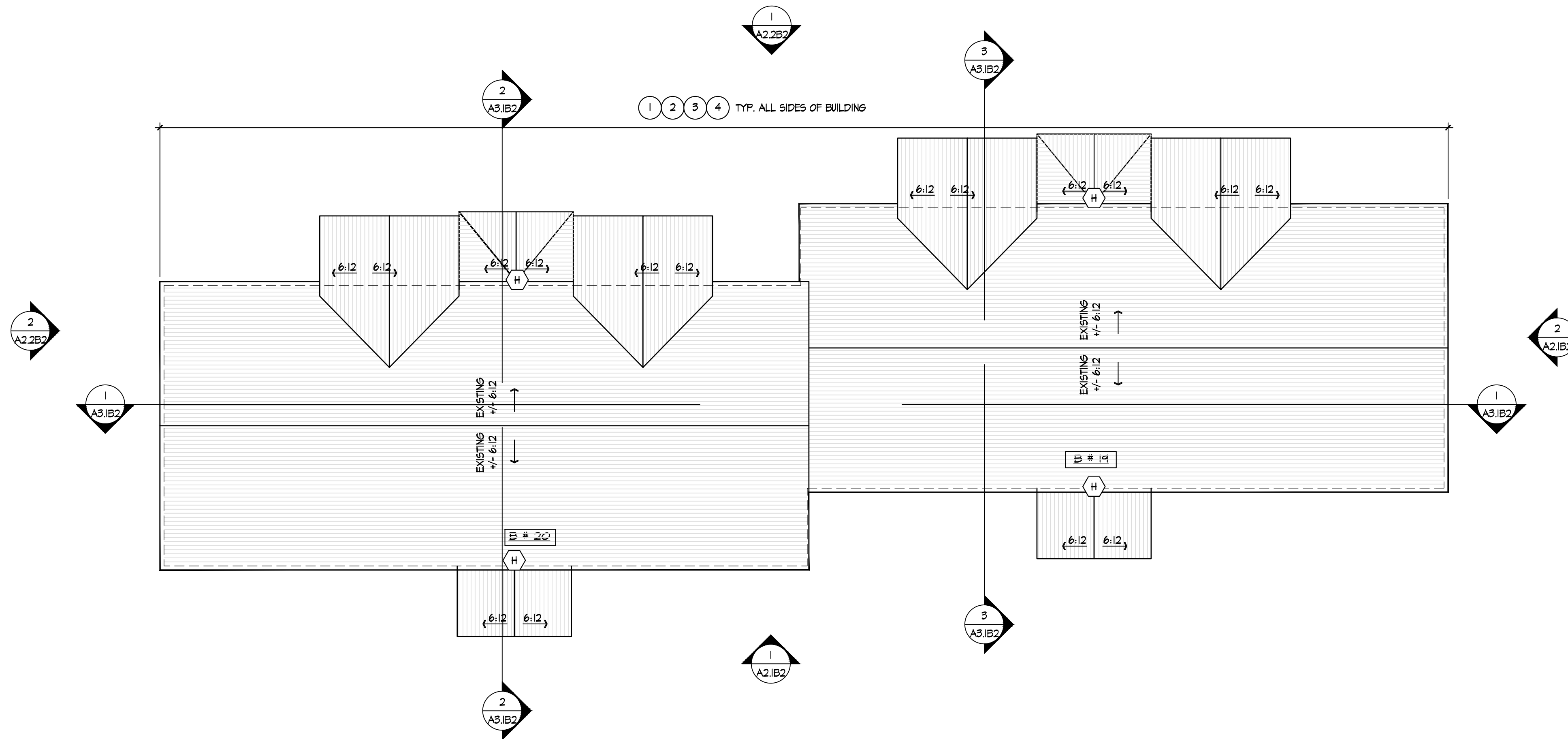
DRAWING NAME:  
**BASEMENT PLAN BUILDING 2**

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FLOOR	COMMON AREA	STOR./LAUNDRY, BOILER/MAINT.	UNITS AREA Net SQ.FT.	TOTAL NET NET S.F.	TOTAL GROSS S.F.
BASEMENT	184	3236		3425	3804
1ST. FLOOR	344		3313	3107	3186
2ND. FLOOR	344		3313	3107	3186
TOTAL	971	3236	6626	10,834	11,316

1 BUILDING #2 B 19-20 - SECOND FLOOR PLAN  
A1.2B2 1/8"=1'-0"



1 BUILDING #2 B 19-20 - ROOF PLAN  
A1.3B2 1/8"=1'-0"

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PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
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	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

PAUL B. BAILEY  
ARCHITECT  
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DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-084

DRAWING NAME:  
**BASEMENT PLAN  
BUILDING 2**

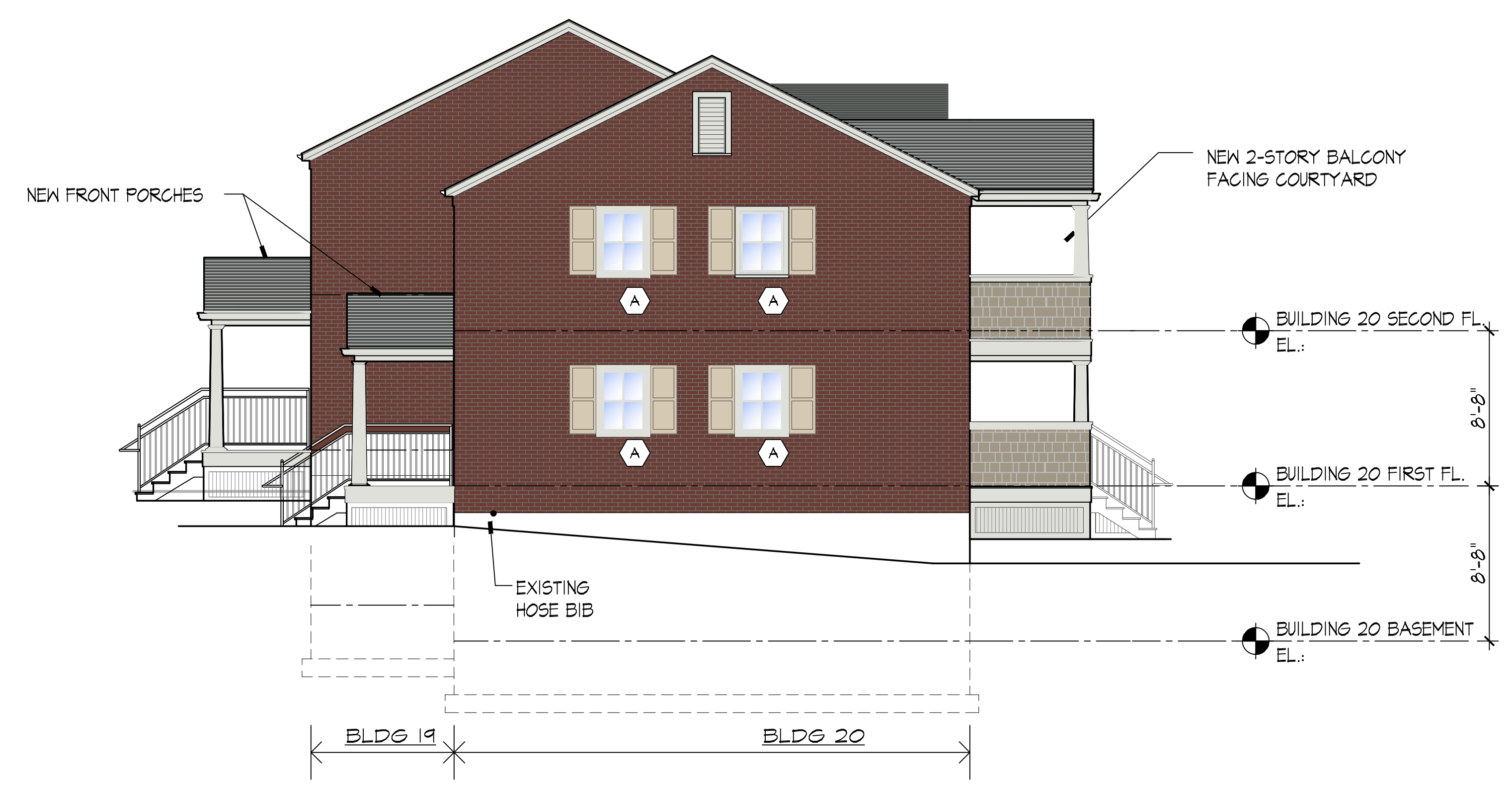
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1 WEST ELEVATION BUILDING # 2  
 A2.1B2 3/16"=1'-0"



2 SOUTH ELEVATION BUILDING # 2  
 A2.1B2 3/16"=1'-0"

PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P4Z SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY**  
 ARCHITECT  
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DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 2**

A2.1B2

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**ME** McCleery  
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 Mt. Laurel, NJ 08054

PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/24/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P42 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY**  
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DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 2**

**A2.2B2**



**1** EAST ELEVATION BUILDING # 2  
 A2.2B2 1/8"=1'-0"

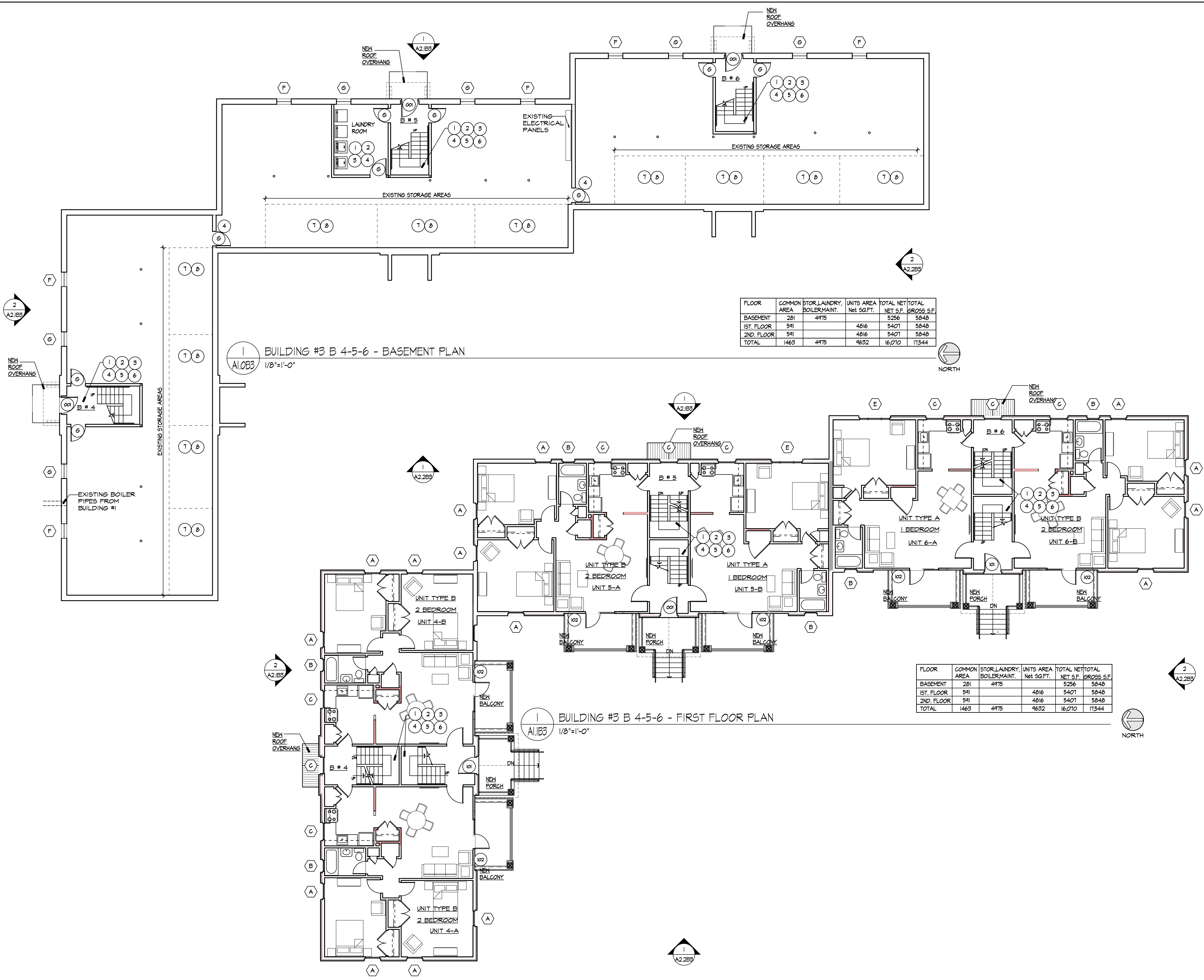


**2** NORTH ELEVATION BUILDING # 2  
 A2.2B2 1/8"=1'-0"

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 W: www.a2land.com

**McCleery Engineering**  
 701 East Gate Dr., #100  
 Mt. Laurel, NJ 08054



FLOOR	COMMON AREA	STOR./LAUNDRY, BOILER/MAINT.	UNITS AREA Net SQ.FT.	TOTAL NET NET S.F.	TOTAL GROSS S.F.
BASEMENT	281	4475		5256	5848
1ST. FLOOR	541		4816	5407	5848
2ND. FLOOR	541		4816	5407	5848
TOTAL	1463	4475	9632	16,070	17,544

**BUILDING #3 B 4-5-6 - BASEMENT PLAN**  
 1/8"=1'-0"

**BUILDING #3 B 4-5-6 - FIRST FLOOR PLAN**  
 1/8"=1'-0"

FLOOR	COMMON AREA	STOR./LAUNDRY, BOILER/MAINT.	UNITS AREA Net SQ.FT.	TOTAL NET TOTAL NET S.F.	TOTAL GROSS S.F.
BASEMENT	281	4475		5256	5848
1ST. FLOOR	541		4816	5407	5848
2ND. FLOOR	541		4816	5407	5848
TOTAL	1463	4475	9632	16,070	17,544

PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT •**  
 110 AUDUBON STREET  
 NEW HAVEN, CONNECTICUT 06510  
 203 • 776 • 8888 F 203 • 772 • 1365

DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

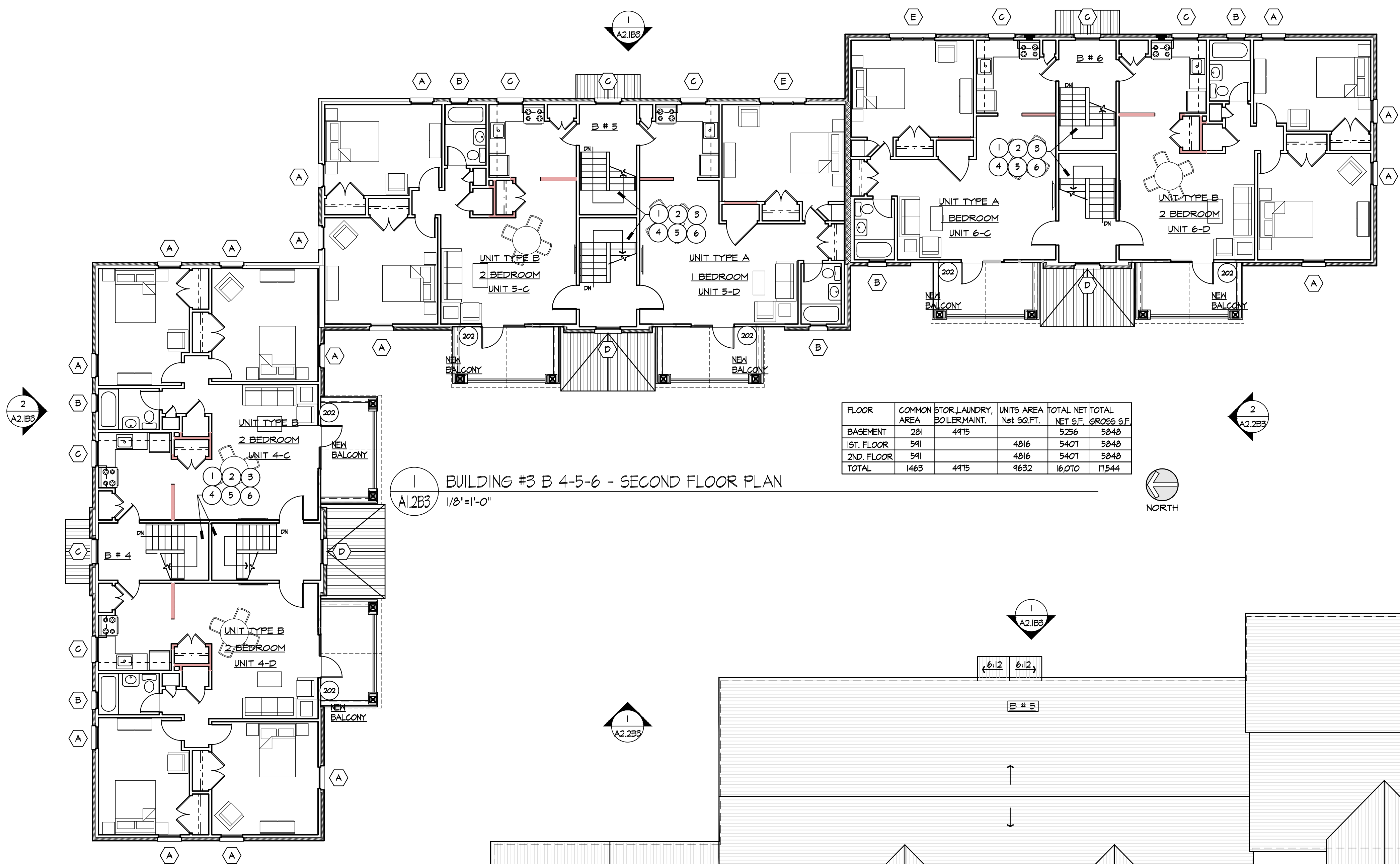
DRAWING NAME:  
**BASEM'T & 1ST FLR PLAN BUILDING 3**



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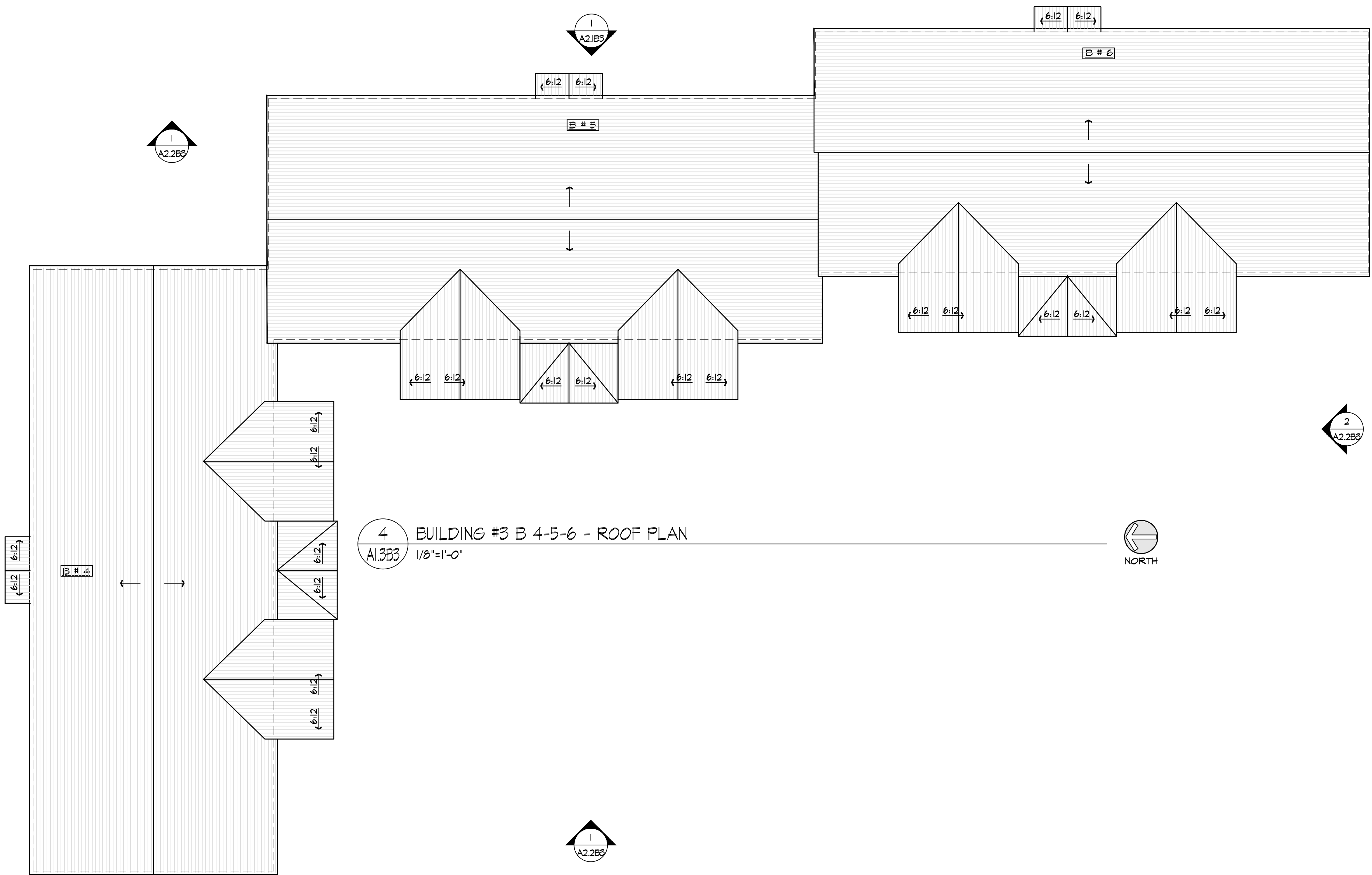
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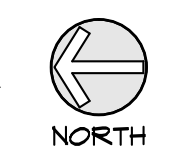


FLOOR	COMMON STOR. LAUNDRY, AREA	BOILER/MAINT.	UNITS AREA Net SQ.FT.	TOTAL NET TOTAL NET S.F.	GROSS S.F.
BASEMENT	281	4475		5256	5848
1ST. FLOOR	541		4816	5407	5848
2ND. FLOOR	541		4816	5407	5848
TOTAL	1463	4475	9632	16070	17544

1 BUILDING #3 B 4-5-6 - SECOND FLOOR PLAN  
 1/8"=1'-0"



4 BUILDING #3 B 4-5-6 - ROOF PLAN  
 1/8"=1'-0"



PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/22/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
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DATE: 01-10-2022 DRAWN BY: TG  
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DRAWING NAME:  
**2ND FLR & ROOF PLAN BUILDING 3**

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1 EAST ELEVATION BUILDING # 3  
A2.1B3 3/16"=1'-0"



2 NORTH ELEVATION BUILDING # 3  
A2.1B3 3/16"=1'-0"

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PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/29/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P42 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
110 AUDUBON STREET  
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203 • 776 • 8888 F 203 • 772 • 1365

DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-024

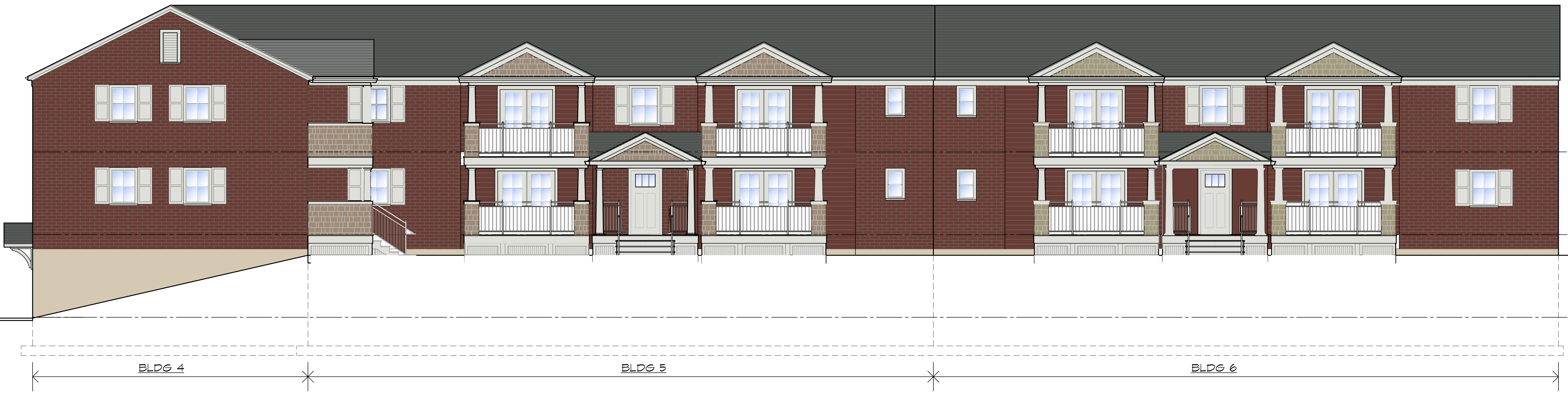
DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 3**

**A2.1B3**

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1 WEST ELEVATION BUILDING # 3  
 A2.2B3 3/16"=1'-0"



2 SOUTH ELEVATION BUILDING # 3  
 A2.2B3 3/16"=1'-0"

PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P&Z SET

PHASE:  
**SCHEMATIC DESIGN**

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 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 3**

**A2.2B3**

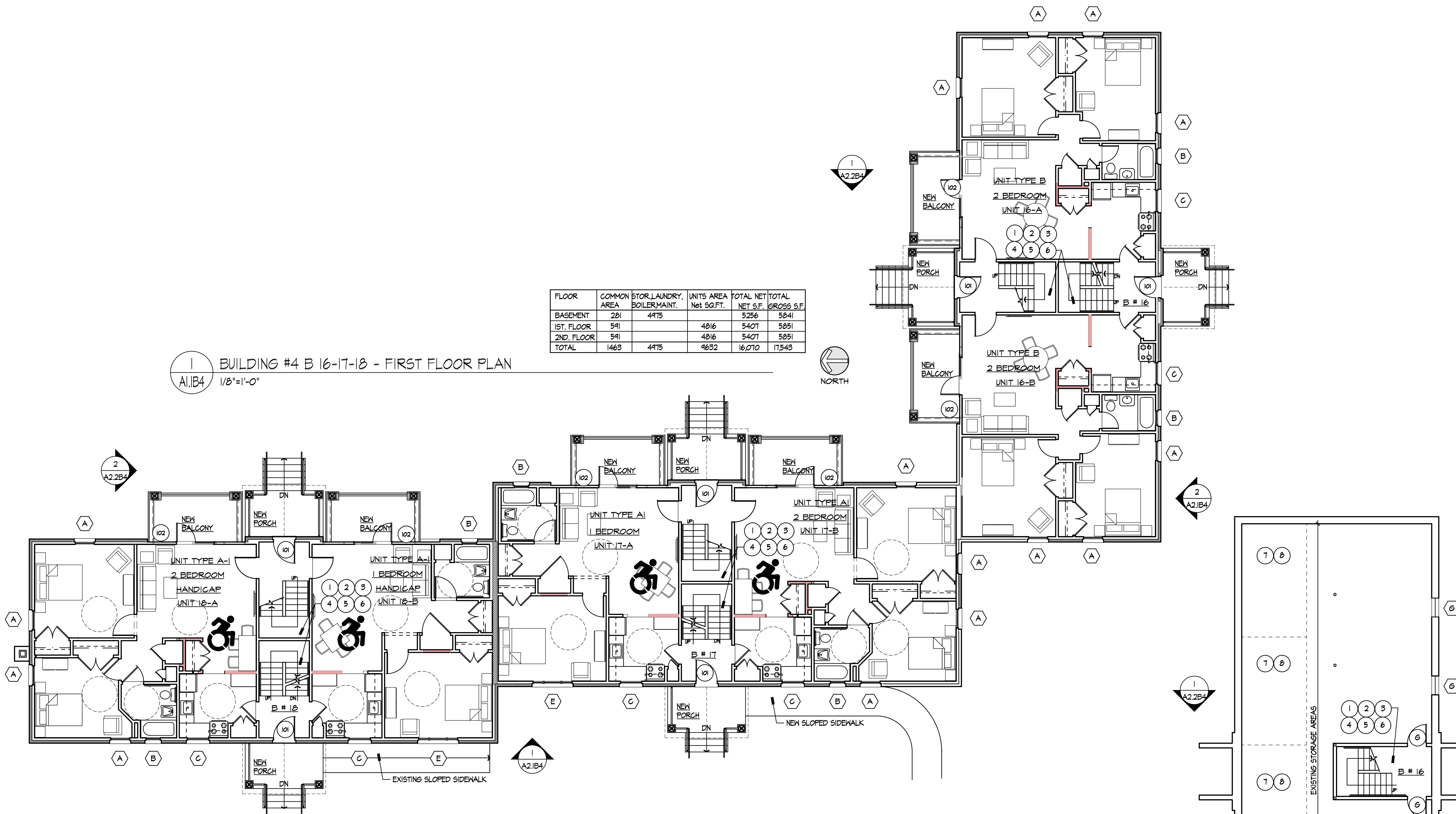
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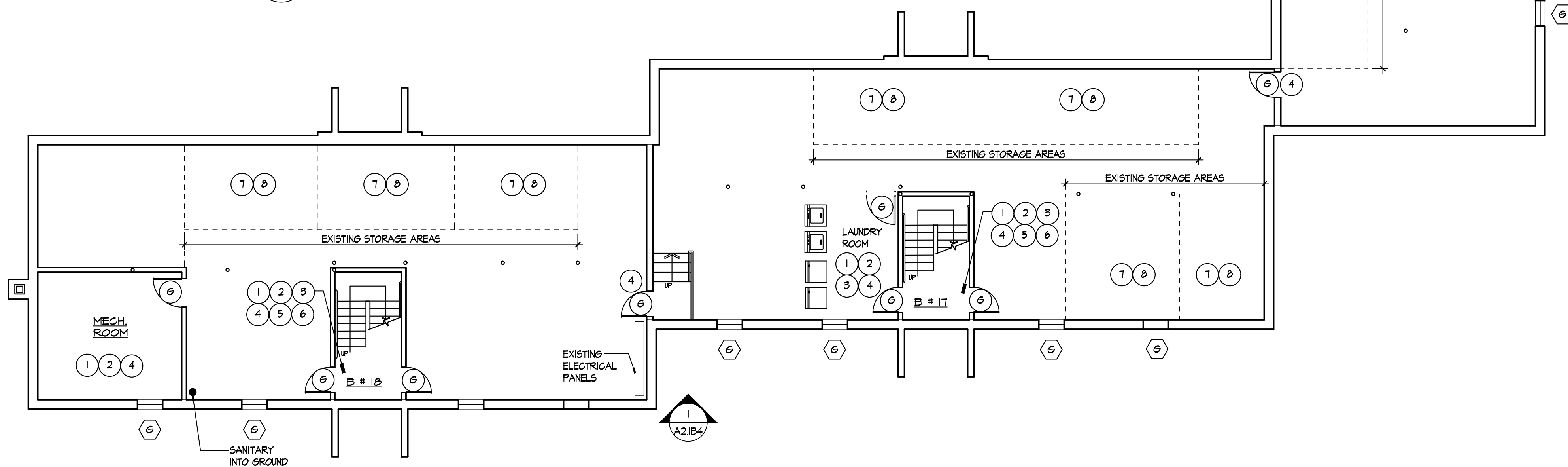
FLOOR	COMMON AREA	STOR. LAUNDRY, BOILERMAINT.	UNITS AREA Net SQ.FT.	TOTAL NET TOTAL NET S.F.	TOTAL GROSS S.F.
BASEMENT	281	4475		5256	5841
1ST. FLOOR	541		4816	5407	5851
2ND. FLOOR	541		4816	5407	5851
TOTAL	1463	4475	9632	16,070	17,543

1 A1.0B4 BUILDING #4 B 16-17-18 - FIRST FLOOR PLAN  
 1/8"=1'-0"



FLOOR	COMMON AREA	STOR. LAUNDRY, BOILERMAINT.	UNITS AREA Net SQ.FT.	TOTAL NET TOTAL NET S.F.	TOTAL GROSS S.F.
BASEMENT	281	4475		5256	5841
1ST. FLOOR	541		4816	5407	5851
2ND. FLOOR	541		4816	5407	5851
TOTAL	1463	4475	9632	16,070	17,543

1 A1.0B4 BUILDING #4 B 16-17-18 - BASEMENT PLAN  
 1/8"=1'-0"



TYPICAL PLAN NOTES	
1	NEW PAINTED G&B AT ALL NEW AND EXISTING WALLS.
2	NEW PAINTED G&B AT ALL EXISTING CEILING.
3	NEW FINISH FLOORING PER FINISH SCHEDULE.
4	NEW DOOR AND HARDWARE IN EXISTING LOCATION.
5	NEW RAILING IN EXISTING LOCATION.
6	NEW STAIR TREADS AND RISERS IN EXISTING LOCATION.
7	NEW RAISED FLOOR.
8	NEW FRP PANELS AT WALLS AND DOOR.

PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/20/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
 110 AUDUBON STREET  
 NEW HAVEN, CONNECTICUT 06510  
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DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

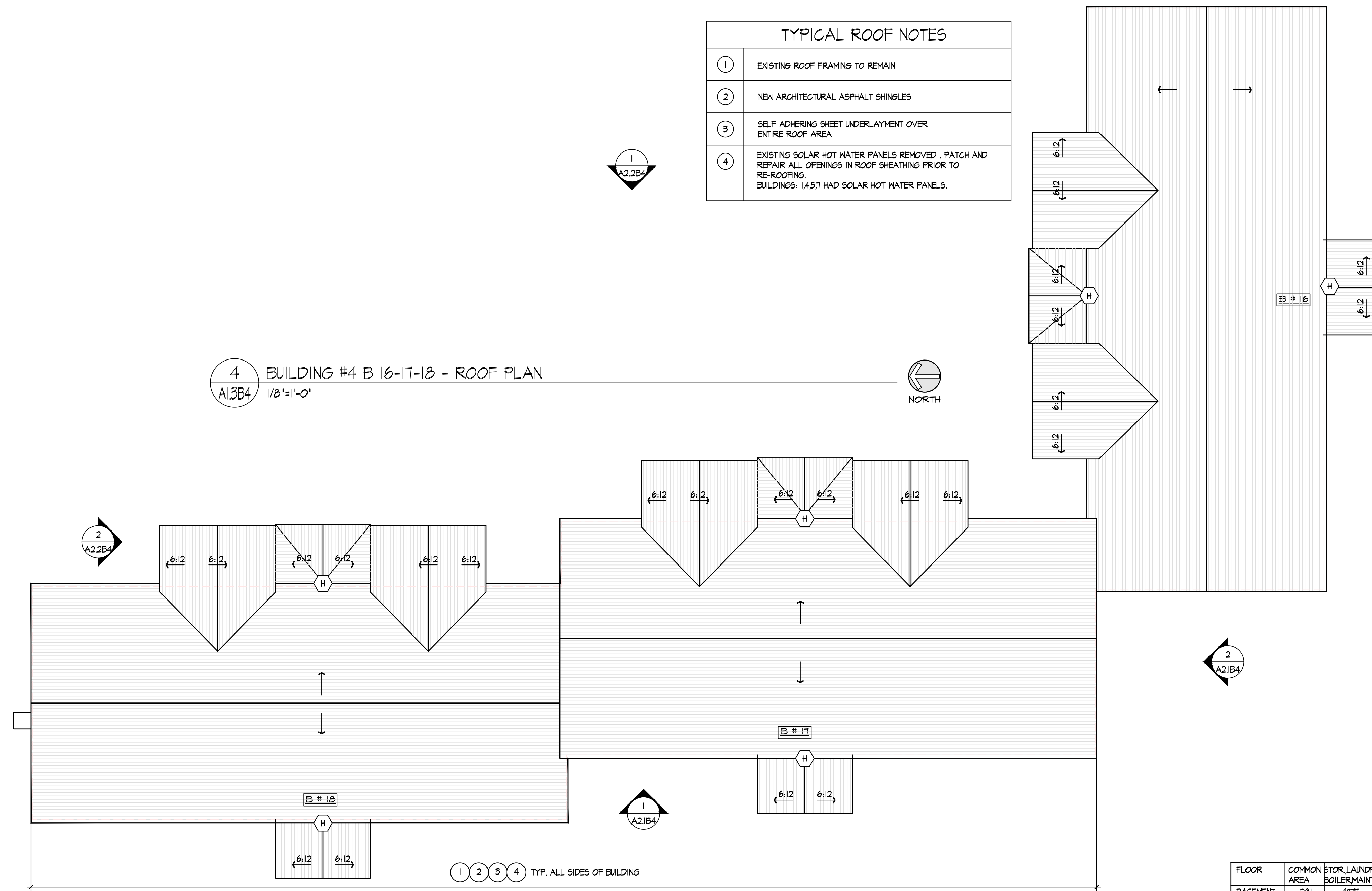
DRAWING NAME:  
**BASEMENT PLAN BUILDING 4**

**A1.0B4**

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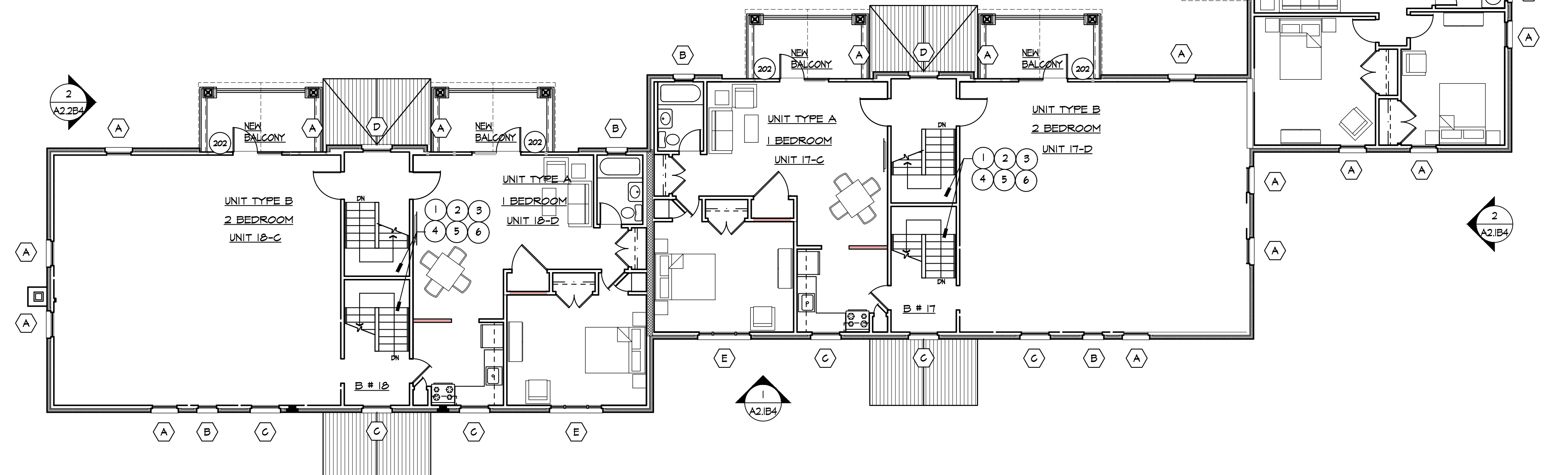
TYPICAL ROOF NOTES	
①	EXISTING ROOF FRAMING TO REMAIN
②	NEW ARCHITECTURAL ASPHALT SHINGLES
③	SELF ADHERING SHEET UNDERLAYMENT OVER ENTIRE ROOF AREA
④	EXISTING SOLAR HOT WATER PANELS REMOVED. PATCH AND REPAIR ALL OPENINGS IN ROOF SHEATHING PRIOR TO RE-ROOFING. BUILDINGS 1,4,5,7 HAD SOLAR HOT WATER PANELS.

4 BUILDING #4 B 16-17-18 - ROOF PLAN  
A1.3B4 1/8"=1'-0"



FLOOR	COMMON AREA	STOR. LAUNDRY BOILER/MAINT.	UNITS AREA NET SQ.FT.	TOTAL NET TOTAL NET SQ.FT.	GROSS S.F.
BASEMENT	281	4475	5256	5841	
1ST. FLOOR	541		4816	5407	5851
2ND. FLOOR	541		4816	5407	5851
TOTAL	1463	4475	9632	16,010	11,543

1 BUILDING #4 B 16-17-18 - SECOND FLOOR PLAN  
A1.2B4 1/8"=1'-0"



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Mt. Laurel, NJ 08054

PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
110 AUDUBON STREET  
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DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-084

DRAWING NAME:  
**FIRST FLOOR PLAN BUILDING 4**

A1.1B4

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1 WEST ELEVATION BUILDING # 4  
A2.1B4 1/8" = 1'-0"



2 SOUTH ELEVATION BUILDING # 4  
A2.1B4 1/8" = 1'-0"

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**ME** McCleery  
Engineering  
701 East Gate Dr., #100  
Mt. Laurel, NJ 08054

PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P4Z SET

PHASE:  
**SCHEMATIC DESIGN**

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• ARCHITECT •  
110 AUDUBON STREET  
NEW HAVEN, CONNECTICUT 06510  
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DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-084

DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 4**

**A2.1B4**

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1 EAST ELEVATION BUILDING # 4  
A2.2B4 1/8"=1'-0"



2 NORTH ELEVATION BUILDING # 4  
A2.2B4 1/8"=1'-0"

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**ME** McCleery  
Engineering  
701 East Gate Dr., #100  
Mt. Laurel, NJ 08054

PROJECT:  
**WILLOW ARMS**  
**55 ELM STREET**  
**TARIFFVILLE, CONNECTICUT**

ISSUE	DATE	DESCRIPTION
	04/24/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P42 SET

PHASE:  
**SCHEMATIC DESIGN**

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**ARCHITECT**  
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DATE: 01-10-2022 DRAWN BY: TG  
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DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 4**

**A2.2B4**

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PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/24/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

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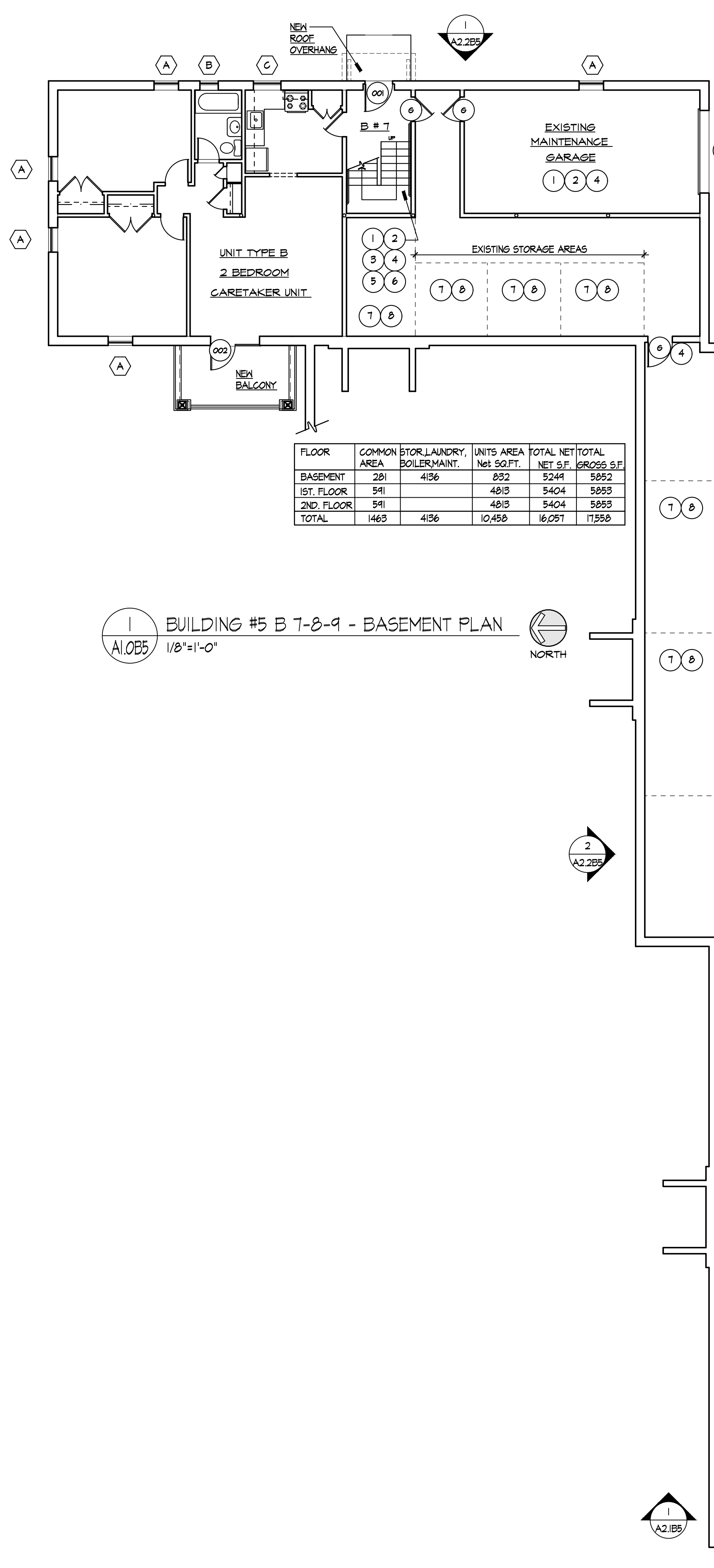
DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**BASEMENT PLAN BUILDING 5**

**A1.0B5**

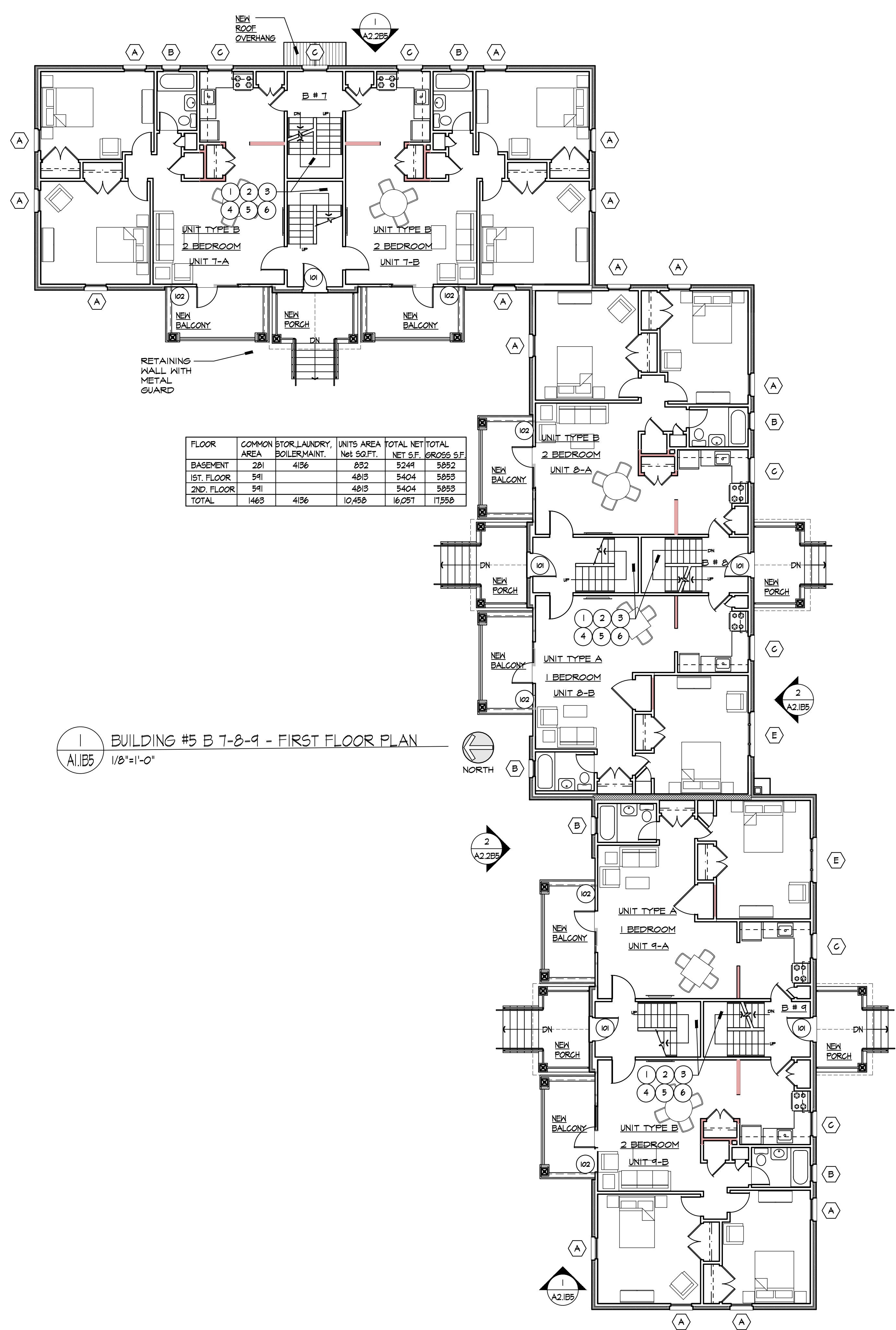
**TYPICAL PLAN NOTES**

- NEW PAINTED GWB AT ALL NEW AND EXISTING WALLS.
- NEW PAINTED GWB AT ALL EXISTING CEILING.
- NEW FINISH FLOORING PER FINISH SCHEDULE.
- NEW DOOR AND HARDWARE IN EXISTING LOCATION.
- NEW RAILING IN EXISTING LOCATION.
- NEW STAIR TREADS AND RISERS IN EXISTING LOCATION.
- NEW RAISED FLOOR.
- NEW FRP PANELS AT WALLS AND DOOR.



FLOOR	COMMON AREA	STOR. LAUNDRY, BOILER/MANT.	UNITS AREA Net SQ.FT.	TOTAL NET SQ.FT.	TOTAL GROSS SQ.FT.
BASEMENT	281	4156	832	5244	5852
1ST. FLOOR	541		4813	5404	5853
2ND. FLOOR	541		4813	5404	5853
TOTAL	1463	4156	10,458	16,051	17,558

1 BUILDING #5 B 7-B-9 - BASEMENT PLAN  
 1/8"=1'-0"



FLOOR	COMMON AREA	STOR. LAUNDRY, BOILER/MANT.	UNITS AREA Net SQ.FT.	TOTAL NET SQ.FT.	TOTAL GROSS SQ.FT.
BASEMENT	281	4156	832	5244	5852
1ST. FLOOR	541		4813	5404	5853
2ND. FLOOR	541		4813	5404	5853
TOTAL	1463	4156	10,458	16,051	17,558

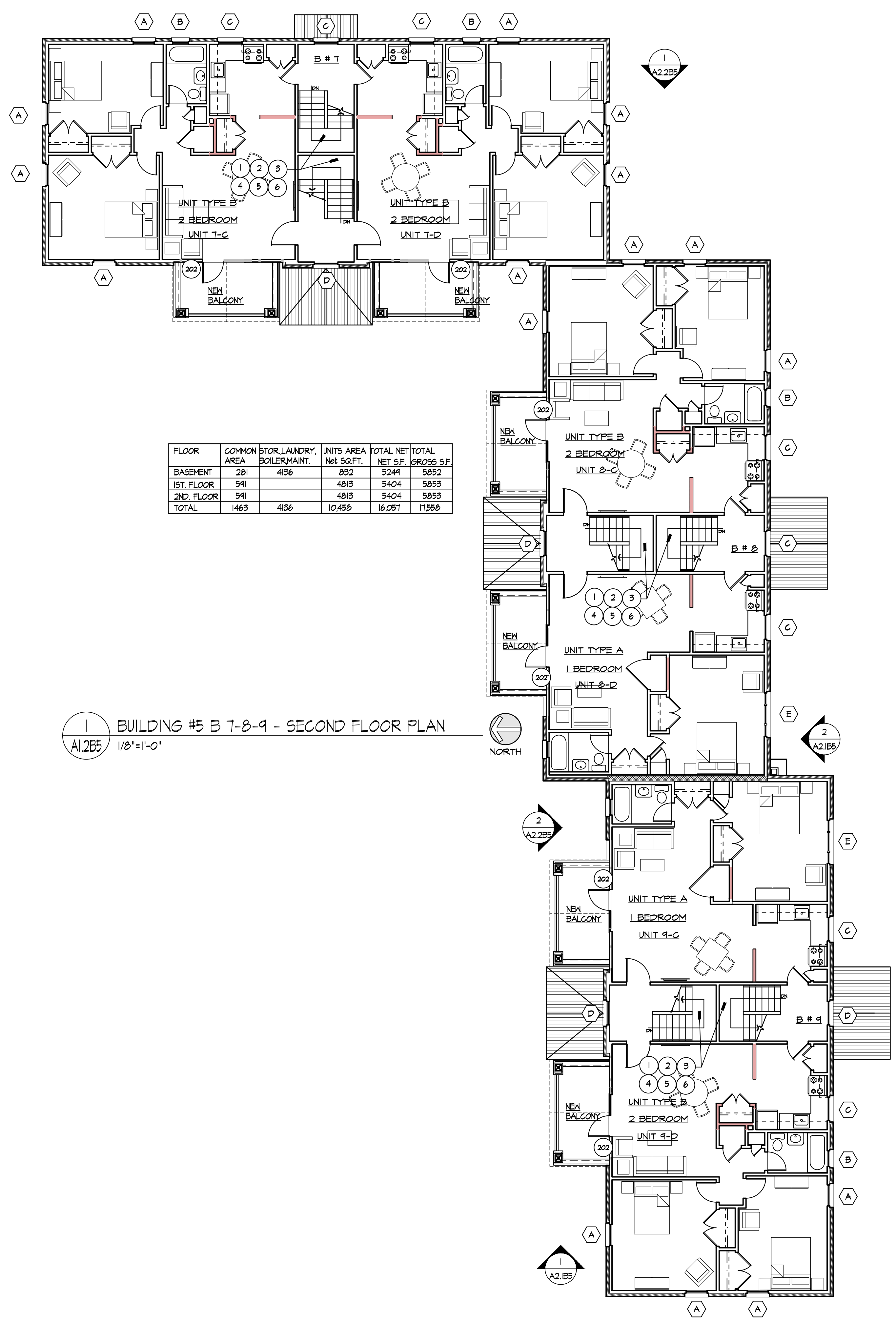
1 BUILDING #5 B 7-B-9 - FIRST FLOOR PLAN  
 1/8"=1'-0"



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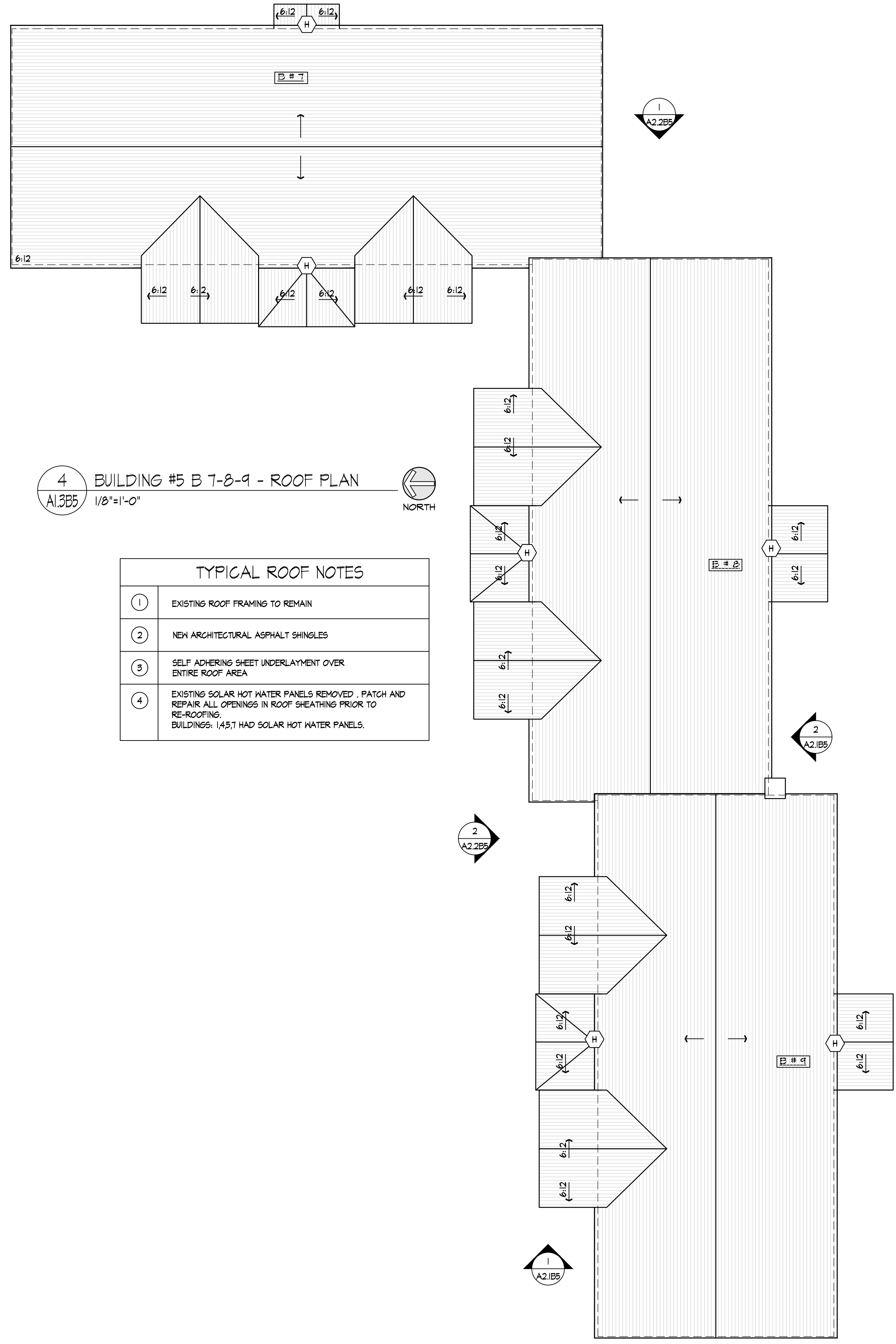
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**McCleery Engineering**  
 701 East Gate Dr., #100  
 Mt. Laurel, NJ 08054



FLOOR	COMMON AREA	STOR./LAUNDRY/BOILER/MAINT.	UNITS AREA NET SQFT.	TOTAL NET S.F.	TOTAL GROSS S.F.
BASEMENT	281	4136	852	5244	5882
1ST. FLOOR	541		4813	5404	5883
2ND. FLOOR	541		4813	5404	5883
TOTAL	1463	4136	10,458	16,052	17,558

1 BUILDING #5 B 7-8-9 - SECOND FLOOR PLAN  
 A1.2B5 1/8"=1'-0"



4 BUILDING #5 B 7-8-9 - ROOF PLAN  
 A1.3B5 1/8"=1'-0"

TYPICAL ROOF NOTES	
1	EXISTING ROOF FRAMING TO REMAIN
2	NEW ARCHITECTURAL ASPHALT SHINGLES
3	SELF ADHERING SHEET UNDERLAYMENT OVER ENTIRE ROOF AREA
4	EXISTING SOLAR HOT WATER PANELS REMOVED. PATCH AND REPAIR ALL OPENINGS IN ROOF SHEATHING PRIOR TO RE-ROOFING. BUILDINGS 1,4,5,7 HAD SOLAR HOT WATER PANELS.

PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
 110 AUBURN STREET  
 NEW HAVEN, CONNECTICUT 06510  
 203 · 776 · 8888 F 203 · 772 · 1365

DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**FIRST FLOOR PLAN BUILDING 5**

A1.1B5

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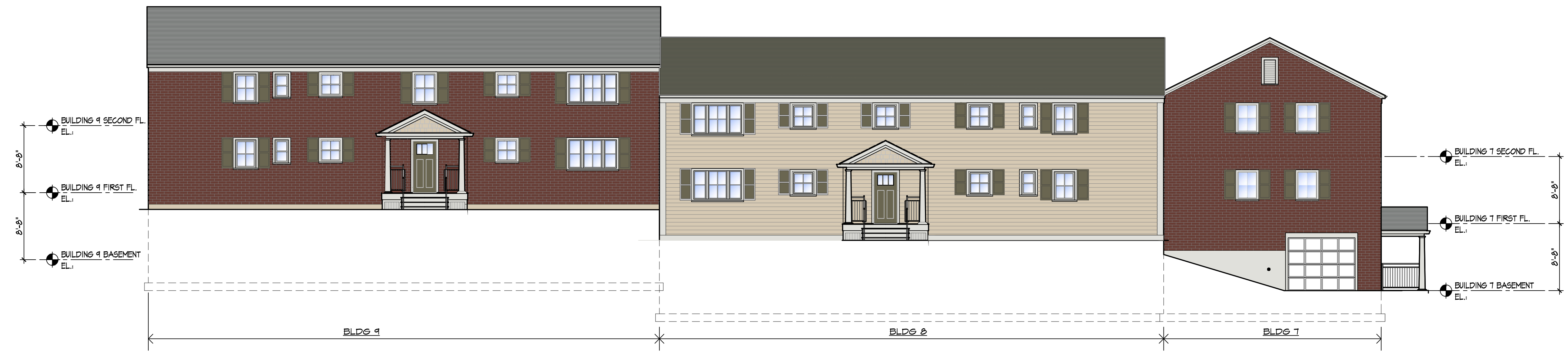
**A2**  
CONSULTING  
LANDSCAPE ARCHITECTURE  
LAND USE CONSULTING

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**ME** McCleery  
Engineering  
701 East Gate Dr., #100  
Mt. Laurel, NJ 08054



1 WEST ELEVATION BUILDING # 5  
A2.1B5 1/8"=1'-0"



2 SOUTH ELEVATION BUILDING # 5  
A2.1B5 1/8"=1'-0"

PROJECT:

**WILLOW ARMS**

55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/29/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P4Z SET

PHASE:

**SCHEMATIC DESIGN**

**PAUL B. BAILEY**  
ARCHITECT

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SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-084

DRAWING NAME:

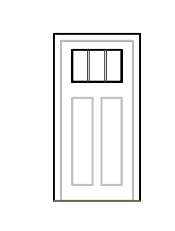
**EXT. ELEVATIONS  
BUILDING 5**

**A2.1B5**

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1 EAST ELEVATION BUILDING # 5  
A2.2B5 1/8"=1'-0"



1 NORTH ELEVATION BUILDING # 5  
A2.2B5 1/8"=1'-0"

A2 Land Consulting, LLC  
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McCleery Engineering  
701 East Gate Dr., #100  
Mt. Laurel, NJ 08054

PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/24/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P42 SET

PHASE:  
**SCHEMATIC DESIGN**

PAUL B. BAILEY  
ARCHITECT  
110 AUDUBON STREET  
NEW HAVEN, CONNECTICUT 06510  
203 • 776 • 8888 F 203 • 772 • 1365

DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-024

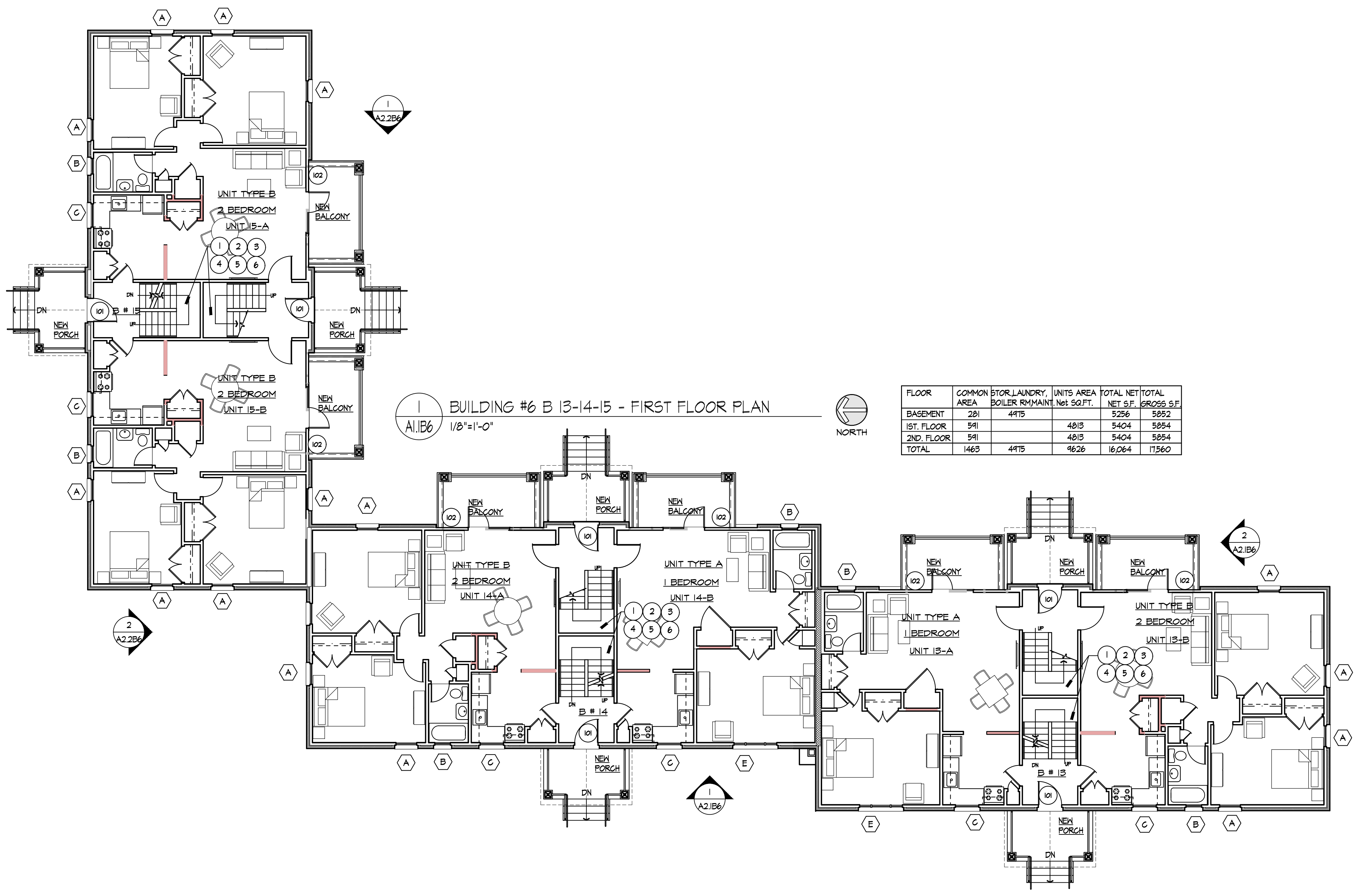
DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 5**

A2.2B5

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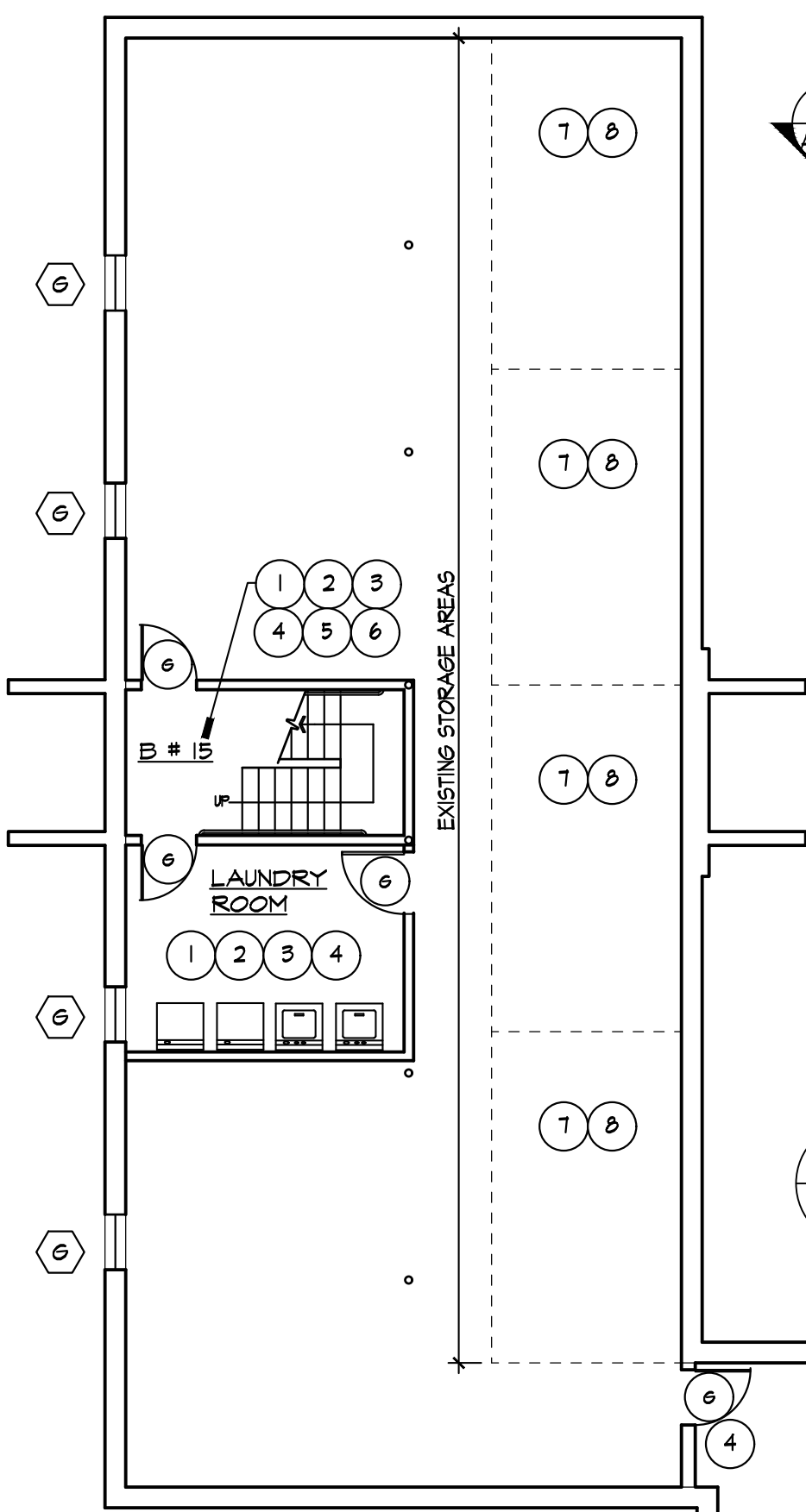
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1 BUILDING #6 B 13-14-15 - FIRST FLOOR PLAN  
 1/8"=1'-0"

FLOOR	COMMON AREA	STOR. LAUNDRY, BOILER RM/MAINT.	UNITS AREA NET SQ.FT.	TOTAL NET TOTAL NET S.F.	GROSS S.F.
BASEMENT	281	4475		5256	5852
1ST. FLOOR	591		4813	5404	5854
2ND. FLOOR	591		4813	5404	5854
TOTAL	1463	4475	9626	16064	17560



1 BUILDING #6 B 13-14-15 - BASEMENT PLAN  
 1/8"=1'-0"

FLOOR	COMMON AREA	STOR. LAUNDRY, BOILER RM/MAINT.	UNITS AREA NET SQ.FT.	TOTAL NET TOTAL NET S.F.	GROSS S.F.
BASEMENT	281	4475		5256	5852
1ST. FLOOR	591		4813	5404	5854
2ND. FLOOR	591		4813	5404	5854
TOTAL	1463	4475	9626	16064	17560

TYPICAL PLAN NOTES	
1	NEW PAINTED GMB AT ALL NEW AND EXISTING WALLS.
2	NEW PAINTED GMB AT ALL EXISTING CEILING.
3	NEW FINISH FLOORING PER FINISH SCHEDULE.
4	NEW DOOR AND HARDWARE IN EXISTING LOCATION.
5	NEW RAILING IN EXISTING LOCATION.
6	NEW STAIR TREADS AND RISERS IN EXISTING LOCATION.
7	NEW RAISED FLOOR.
8	NEW FRP PANELS AT WALLS AND DOOR.

PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
 110 AUDUBON STREET  
 NEW HAVEN, CONNECTICUT 06510  
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DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**BASEMENT PLAN BUILDING 6**

**A1.0B6**

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PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/20/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

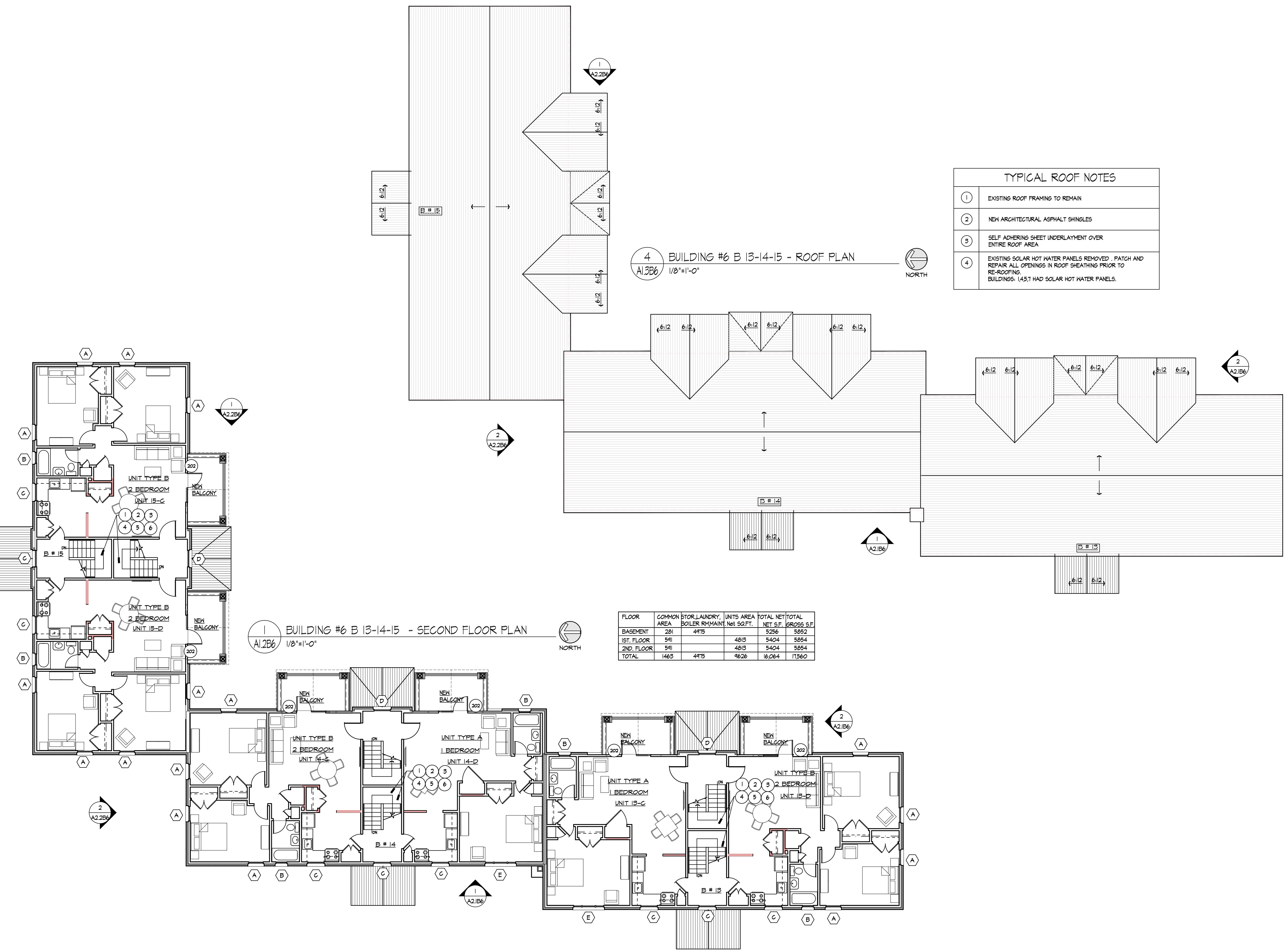
PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT •**  
 110 AUDUBON STREET  
 NEW HAVEN, CONNECTICUT 06510  
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DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**FIRST FLOOR PLAN  
 BUILDING 6**

**A1.1B6**



**TYPICAL ROOF NOTES**

1	EXISTING ROOF FRAMING TO REMAIN
2	NEW ARCHITECTURAL ASPHALT SHINGLES
3	SELF ADHERING SHEET UNDERLAYMENT OVER ENTIRE ROOF AREA
4	EXISTING SOLAR HOT WATER PANELS REMOVED. PATCH AND REPAIR ALL OPENINGS IN ROOF SHEATHING PRIOR TO RE-ROOFING. BUILDINGS 14,15 HAD SOLAR HOT WATER PANELS.

**4 BUILDING #6 B 13-14-15 - ROOF PLAN**  
 A1.3B6 1/8"=1'-0"

**1 BUILDING #6 B 13-14-15 - SECOND FLOOR PLAN**  
 A1.2B6 1/8"=1'-0"

FLOOR	COMMON AREA	STOR. LAUNDRY BOILER RM MAINT. Net SQ.FT.	UNITS AREA	TOTAL NET TOTAL NET S.F.	TOTAL GROSS S.F.
BASEMENT	281	4415		5296	5852
1ST FLOOR	541		4013	5404	5854
2ND FLOOR	541		4013	5404	5854
TOTAL	1463	4415	9626	16,064	17,560

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LAND USE CONSULTING

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**ME** McCleery  
Engineering  
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Mt. Laurel, NJ 08054



1 WEST ELEVATION BUILDING # 6  
A2.1B6 1/8"=1'-0"



2 SOUTH ELEVATION BUILDING # 6  
A2.1B6 1/8"=1'-0"

PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P4Z SET

PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY**  
• ARCHITECT •  
110 AUDUBON STREET  
NEW HAVEN, CONNECTICUT 06510  
203 • 776 • 8888 F 203 • 772 • 1365

DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-024

DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 6**

**A2.1B6**

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Mt. Laurel, NJ 08054



1 EAST ELEVATION BUILDING # 6  
A2.2B6 1/8"=1'-0"



BUILDING 15 SECOND FL.  
EL.:

BUILDING 15 FIRST FL.  
EL.:

BUILDING 15 BASEMENT  
EL.:

2 NORTH ELEVATION BUILDING # 6  
A2.2B6 1/8"=1'-0"

PROJECT:

**WILLOW ARMS**

55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/24/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P42 SET

PHASE:

**SCHEMATIC DESIGN**

**PAUL B. BAILEY**  
• ARCHITECT •

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DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-084

DRAWING NAME:

**EXT. ELEVATIONS  
BUILDING 6**

**A2.2B6**

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PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

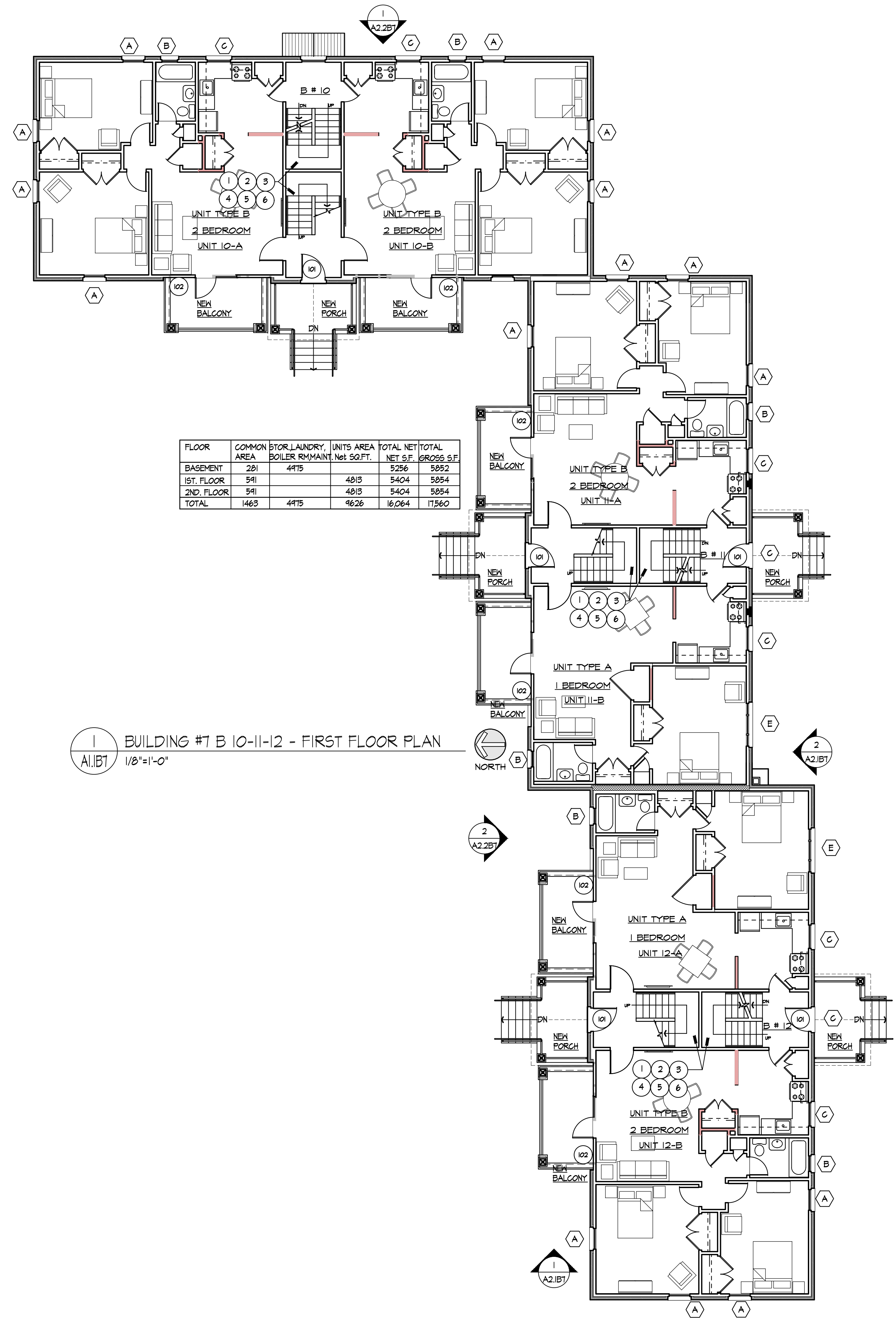
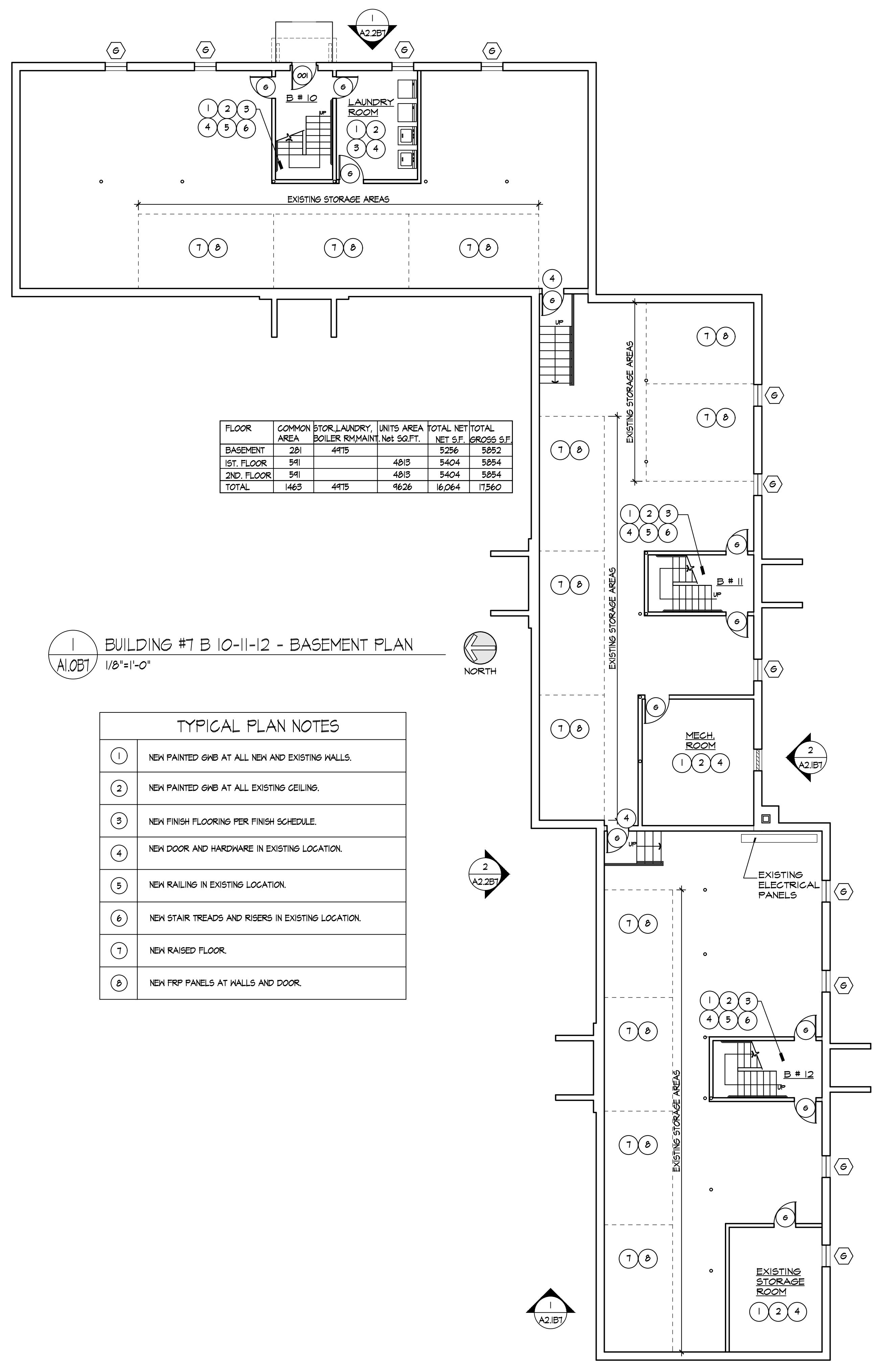
PHASE:  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
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DATE: 01-10-2022 DRAWN BY: TG  
 SCALE: AS NOTED CHECKED BY: SO  
 JOB NO: 21-084

DRAWING NAME:  
**BASEMENT PLAN  
 BUILDING 7**

**A1.0B7**



**BUILDING #7 B 10-II-12 - BASEMENT PLAN**  
 1/8"=1'-0"

**BUILDING #7 B 10-II-12 - FIRST FLOOR PLAN**  
 1/8"=1'-0"

**TYPICAL PLAN NOTES**

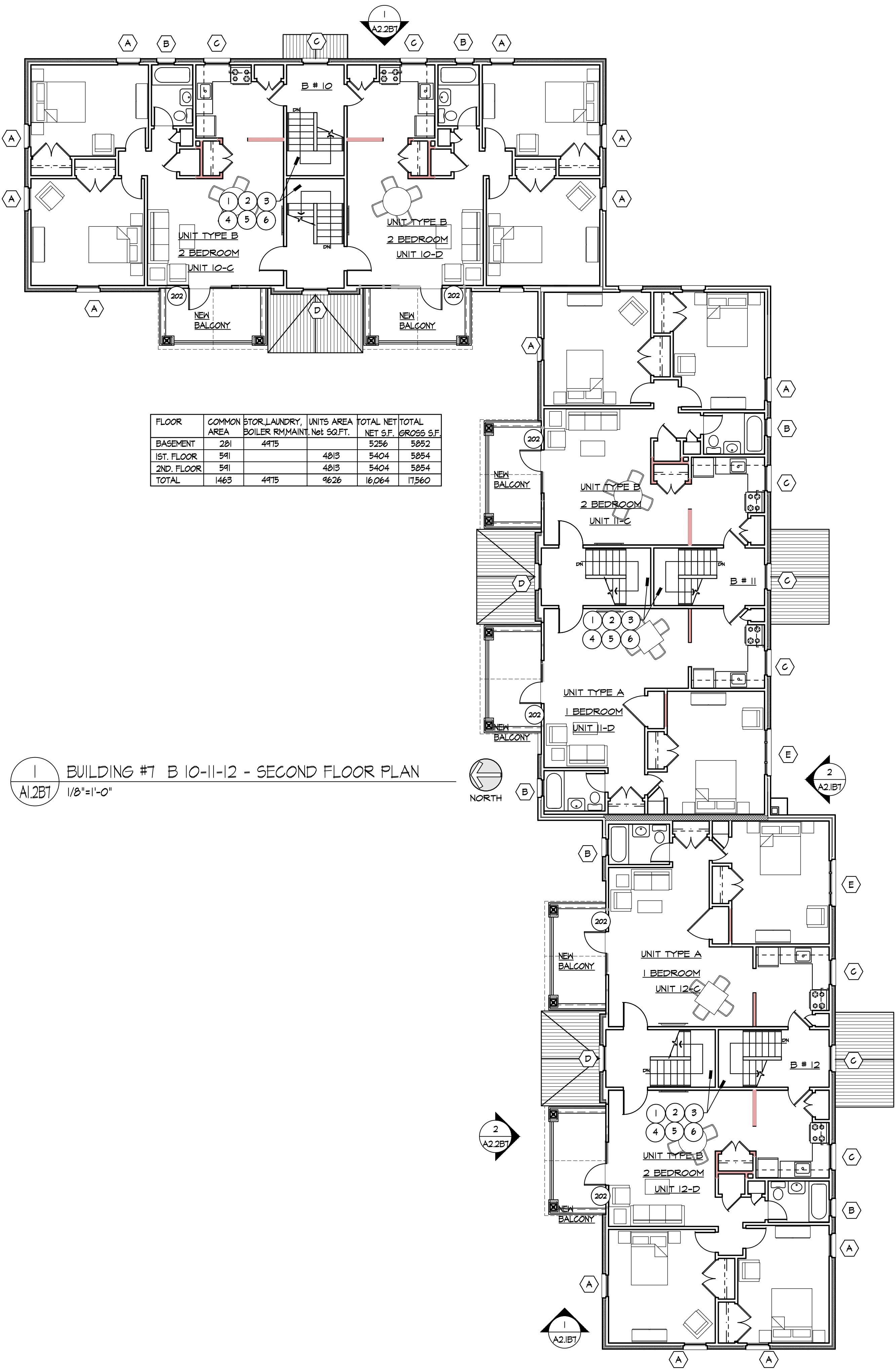
1	NEW PAINTED G&B AT ALL NEW AND EXISTING WALLS.
2	NEW PAINTED G&B AT ALL EXISTING CEILING.
3	NEW FINISH FLOORING PER FINISH SCHEDULE.
4	NEW DOOR AND HARDWARE IN EXISTING LOCATION.
5	NEW RAILING IN EXISTING LOCATION.
6	NEW STAIR TREADS AND RISERS IN EXISTING LOCATION.
7	NEW RAISED FLOOR.
8	NEW FRP PANELS AT WALLS AND DOOR.



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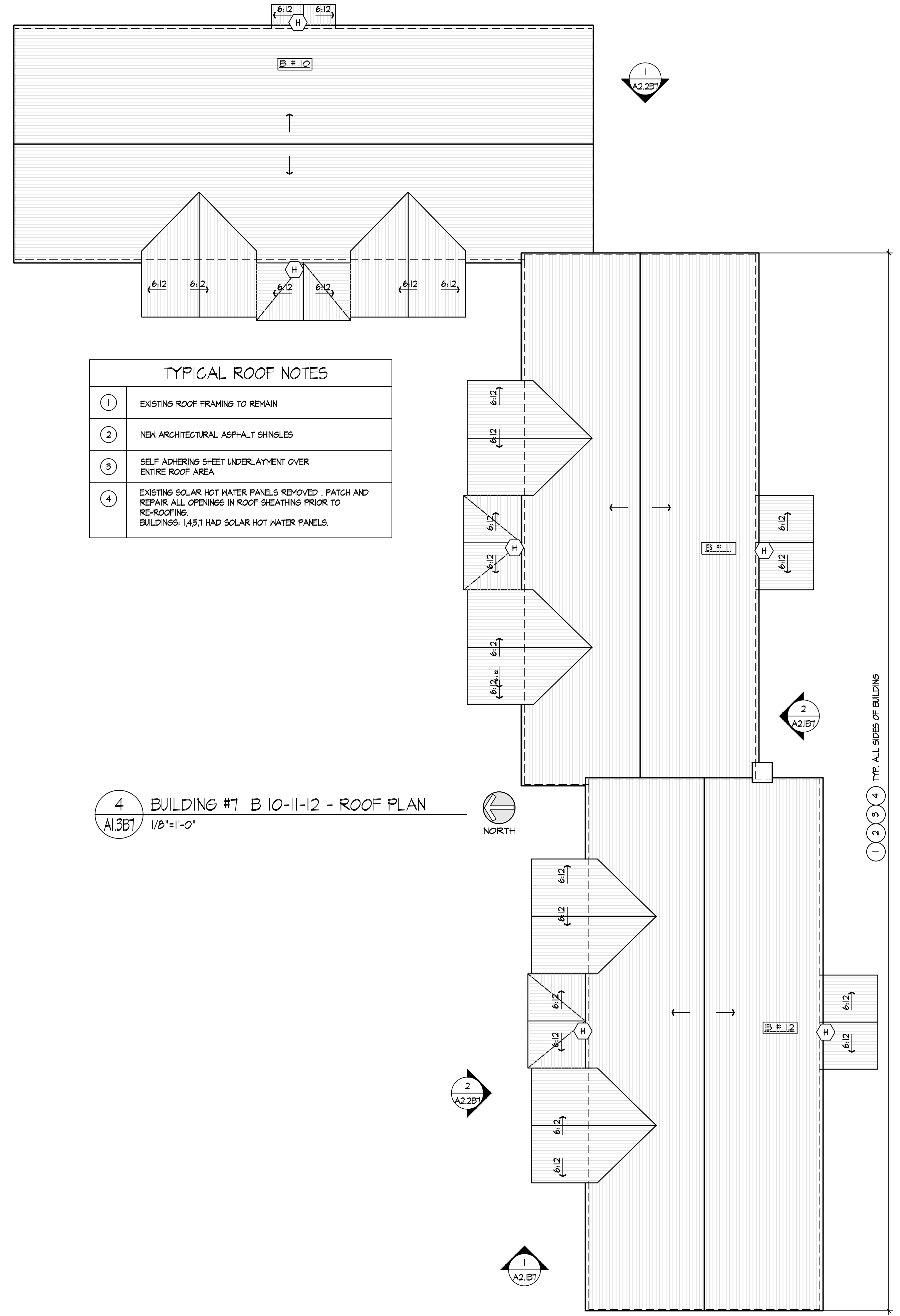
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FLOOR	COMMON AREA	STOR./LAUNDRY/BOILER RM/MAINT. Net SQ.FT.	UNITS AREA NET S.F.	TOTAL NET S.F.	TOTAL GROSS S.F.
BASEMENT	281	4475		5256	5852
1ST. FLOOR	541		4813	5404	5854
2ND. FLOOR	541		4813	5404	5854
TOTAL	1463	4475	9626	16064	17560

1 BUILDING #7 B 10-II-12 - SECOND FLOOR PLAN  
 A1.2B7 1/8"=1'-0"



- TYPICAL ROOF NOTES**
- EXISTING ROOF FRAMING TO REMAIN
  - NEW ARCHITECTURAL ASPHALT SHINGLES
  - SELF ADHERING SHEET UNDERLAYMENT OVER ENTIRE ROOF AREA
  - EXISTING SOLAR HOT WATER PANELS REMOVED. PATCH AND REPAIR ALL OPENINGS IN ROOF SHEATHING PRIOR TO RE-ROOFING. BUILDINGS 1,4,5,7 HAD SOLAR HOT WATER PANELS.

4 BUILDING #7 B 10-II-12 - ROOF PLAN  
 A1.3B7 1/8"=1'-0"

PROJECT:  
**WILLOW ARMS**  
 55 ELM STREET  
 TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

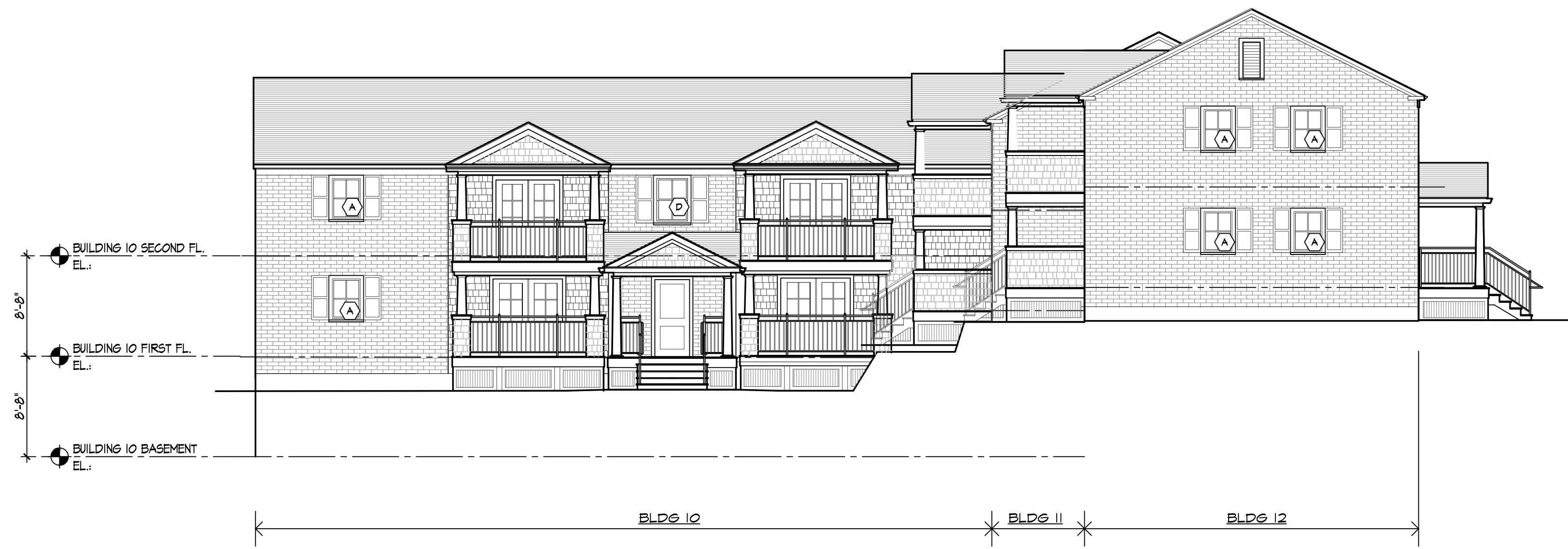
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DRAWING NAME:  
**FIRST FLOOR PLAN BUILDING 7**

A1.1B7

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1 WEST ELEVATION BUILDING #7  
A2.1B7 1/8"=1'-0"



2 SOUTH ELEVATION BUILDING #7  
A2.1B7 1/8"=1'-0"

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PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
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	05/13/22	40% PRICING SET
	07/11/22	DRB/P4Z SET

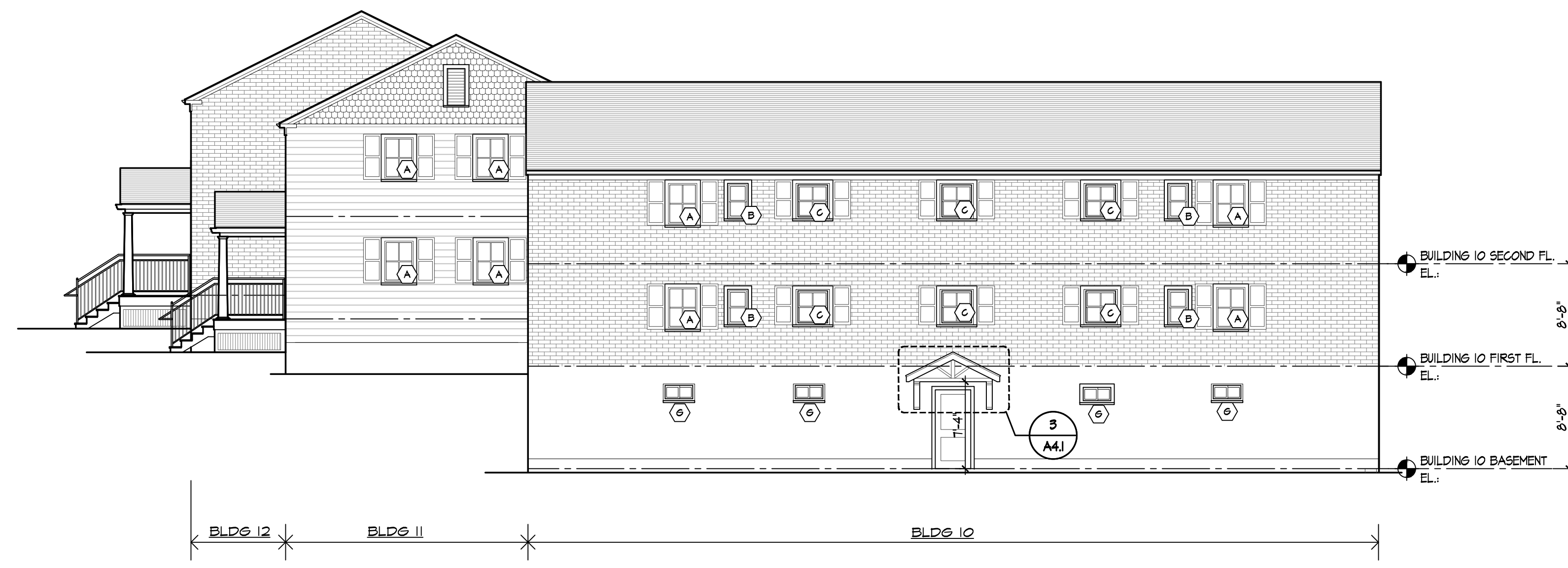
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DATE: 01-10-2022 DRAWN BY: T6  
SCALE: AS NOTED CHECKED BY: 50  
JOB NO: 21-084

DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 7**

**A2.1B7**

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1 EAST ELEVATION BUILDING #7  
A2.2B7 1/8"=1'-0"



2 NORTH ELEVATION BUILDING #7  
A2.2B7 1/8"=1'-0"

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PROJECT:  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/24/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P42 SET

PHASE:  
**SCHEMATIC DESIGN**

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DATE: 01-10-2022 DRAWN BY: TG  
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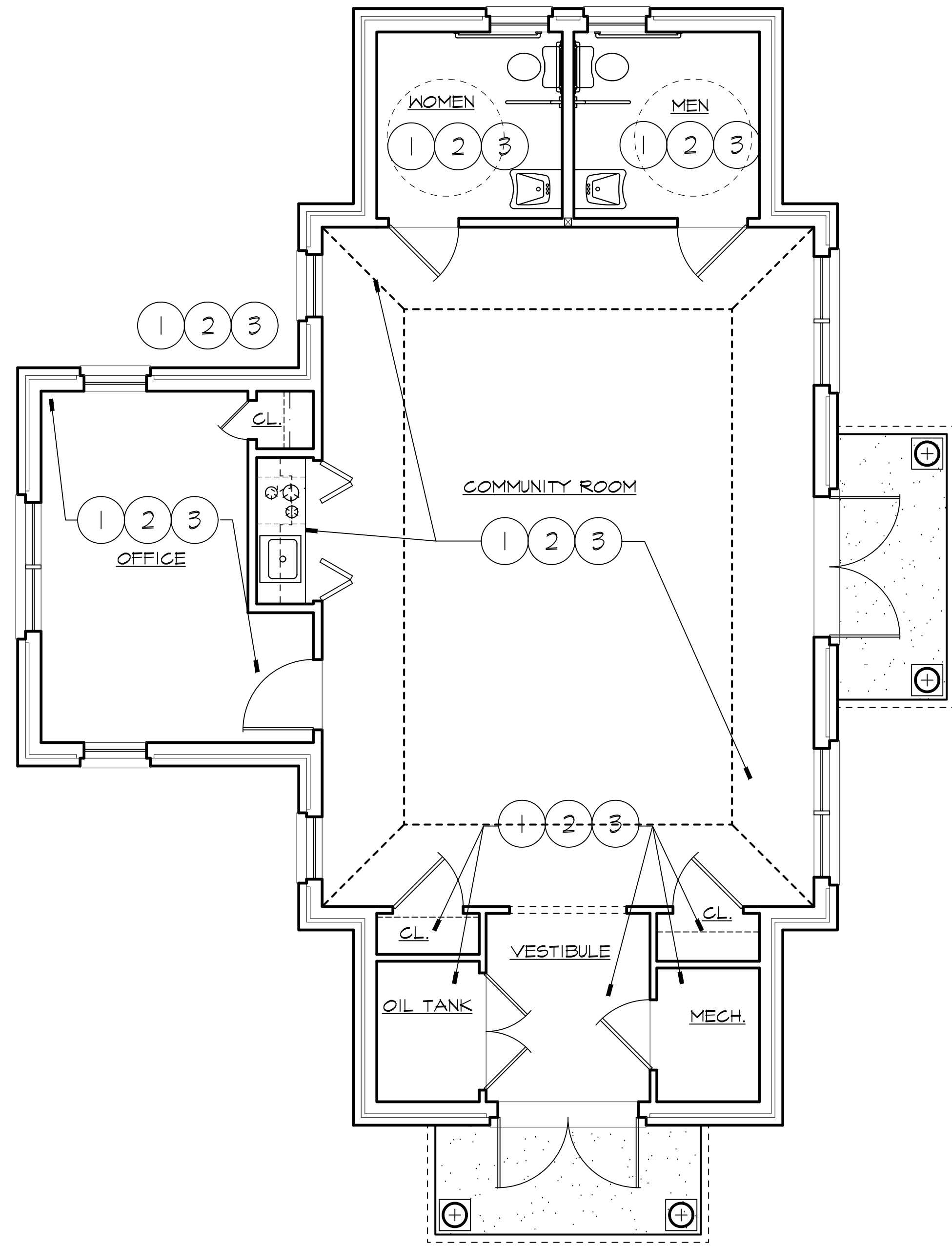
DRAWING NAME:  
**EXT. ELEVATIONS BUILDING 7**

**A2.2B7**

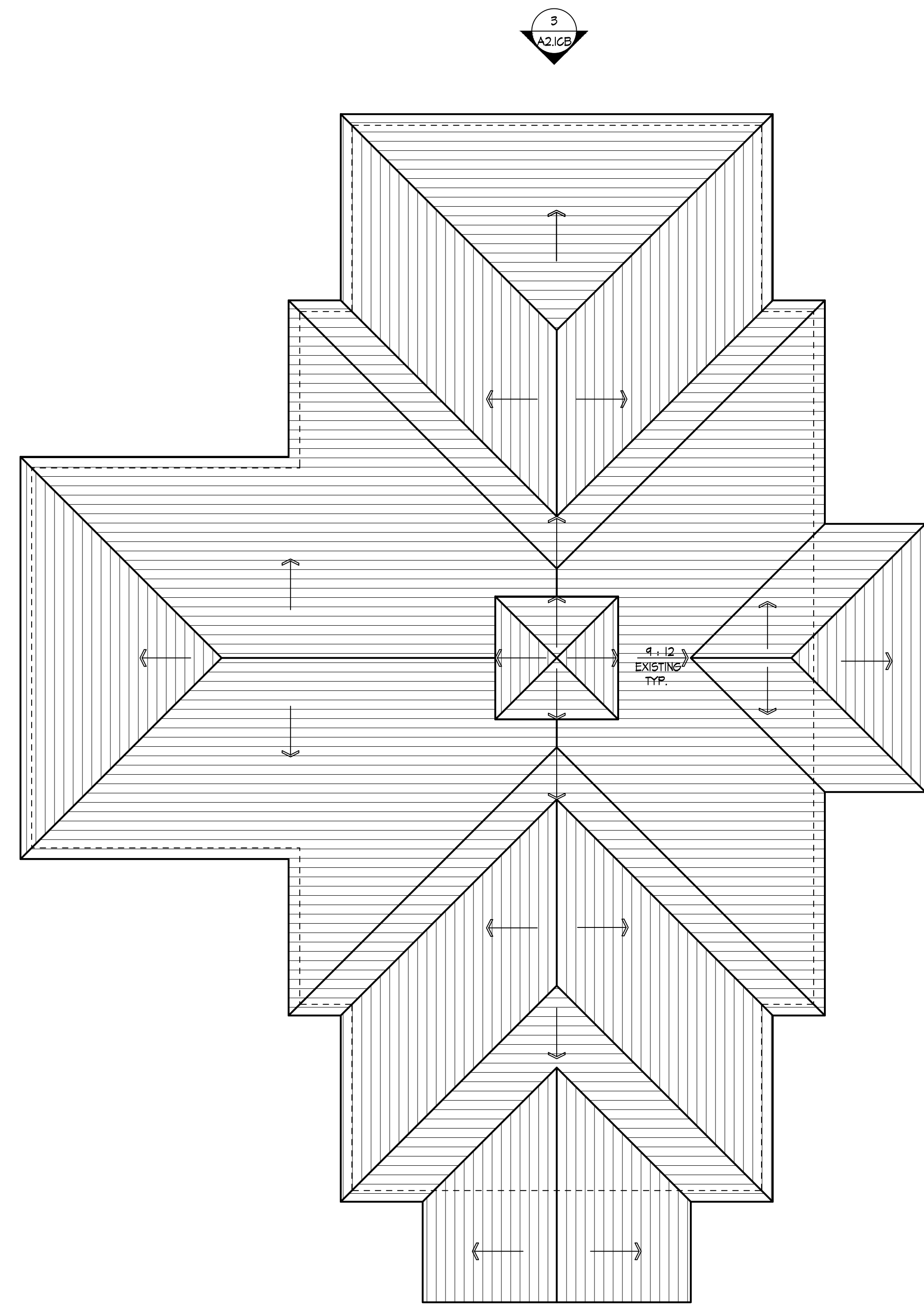
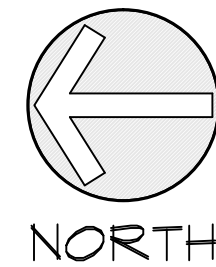
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COMMUNITY BUILDING PLAN NOTES

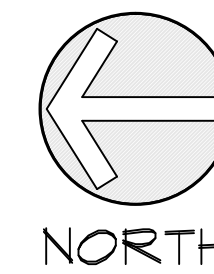
1. NEW FLOOR LEVELING
2. NEW FINISH FLOORING PER FINISH SCHEDULE
3. NEW BASE BOARD PER FINISH SCHEDULE



1  
A1.1CB  
COMMUNITY BUILDING - FIRST FLOOR PLAN  
1/4"=1'-0"



1  
A1.2CB  
COMMUNITY BUILDING - ROOF PLAN  
1/4"=1'-0"



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PROJECT:

**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/21/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

PHASE:

**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
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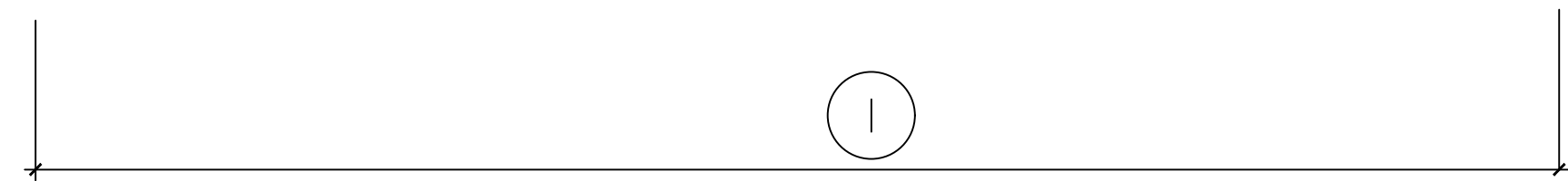
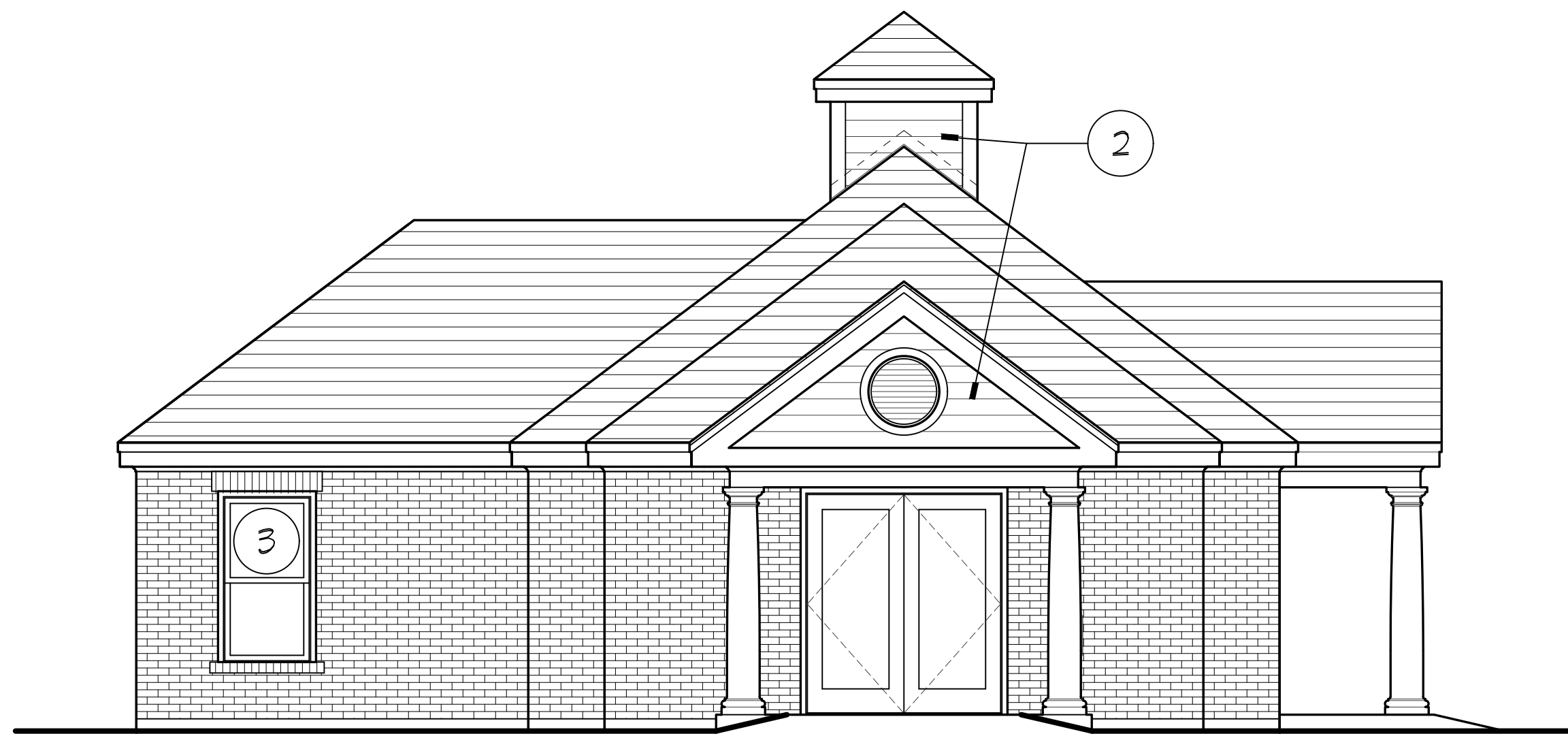
DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: 50  
JOB NO: 21-084

DRAWING NAME:  
**FIRST FLOOR PLAN  
COMMUNITY BUILDING**

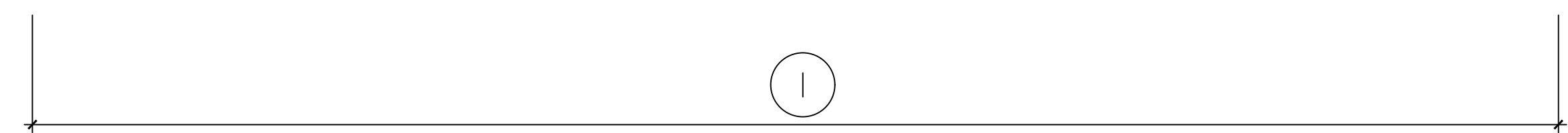
**A1.1CB**

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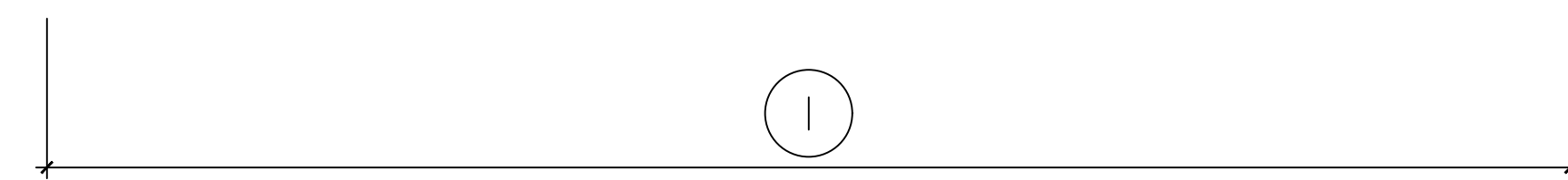
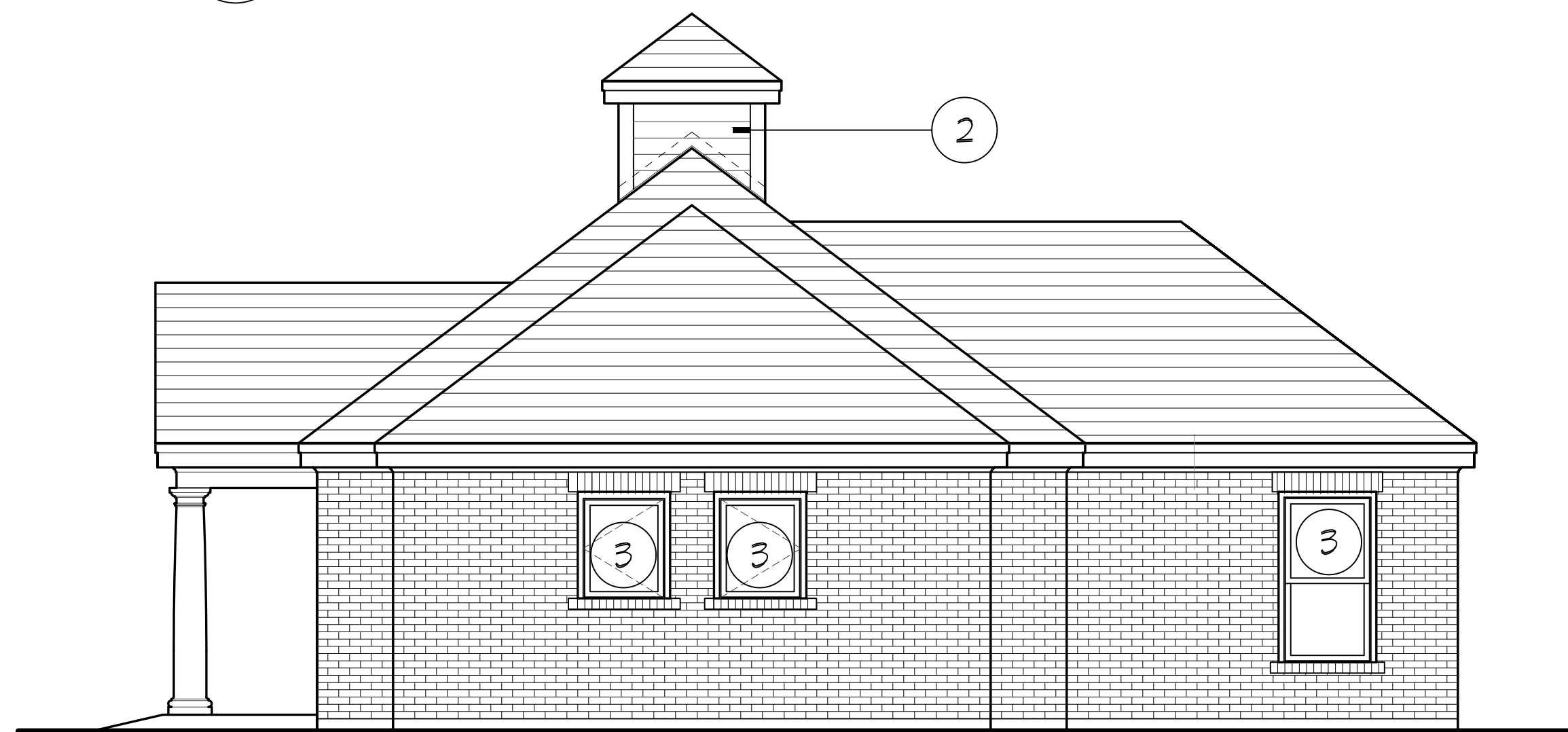
- PLAN NOTES**
1. CLEAN AND REPOINT EXISTING BRICK.
  2. NEW SIDING.
  3. NEW WINDOWS IN EXISTING LOCATION.



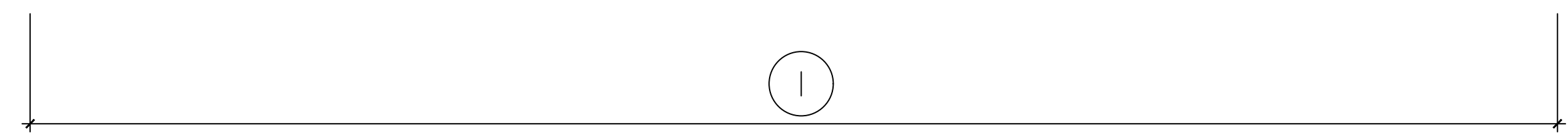
1 COMMUNITY BUILDING - WEST ELEVATION (FRONT ENTRY)  
A2.1CB 1/4"=1'-0"



2 COMMUNITY BUILDING - NORTH ELEVATION  
A2.1CB 1/4"=1'-0"



3 COMMUNITY BUILDING - EAST ELEVATION  
A2.1CB 1/4"=1'-0"



4 COMMUNITY BUILDING - SOUTH ELEVATION ( TERRACE ENTRY)  
A2.1CB 1/4"=1'-0"

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Mt. Laurel, NJ 08054

**PROJECT:**  
**WILLOW ARMS**  
55 ELM STREET  
TARIFFVILLE, CONNECTICUT

ISSUE	DATE	DESCRIPTION
	04/22/22	CEPA SCOPING SET
	05/13/22	40% PRICING SET
	07/11/22	DRB/P12 SET

**PHASE:**  
**SCHEMATIC DESIGN**

**PAUL B. BAILEY ARCHITECT**  
110 AUDUBON STREET  
NEW HAVEN, CONNECTICUT 06510  
203 • 776 • 8888 F 203 • 772 • 1365

DATE: 01-10-2022 DRAWN BY: TG  
SCALE: AS NOTED CHECKED BY: SO  
JOB NO: 21-084

**DRAWING NAME:**  
**EXTERIOR ELEVATIONS  
COMMUNITY BUILDING**

**A2.1CB**