



Town of Simsbury



Office of Community Planning and Development - Zoning Commission Application

DATE: October 19, 2022 FEE: \$ 290.00 CK #: _____ APP #: _____

PROPERTY ADDRESS: 4 Hartford Road (Abigail's Restaurant)

NAME OF OWNER: Wolf Restaurant, LLC / HELMAR WOLF

MAILING ADDRESS: 4 Hartford Road, Simsbury, CT 06070

EMAIL ADDRESS: _____ TELEPHONE # _____

NAME OF AGENT: Barton and Loguidice, LLC (Kevin Grindle)

MAILING ADDRESS: 41 Sequin Drive, Glastonbury, CT 06033

EMAIL ADDRESS: kgrindle@bartonandloguidice.com TELEPHONE # 860-633-8770

ZONING DISTRICT: B-1 LOT AREA: +/-2.6 Acres SQ FT/ACRES

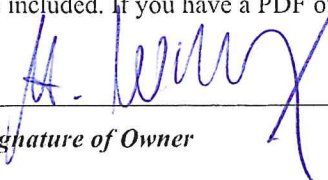
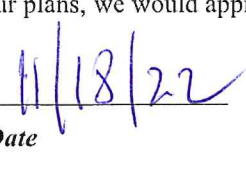
Does this site have wetlands? YES NO Have you applied for a wetlands permit? YES NO

REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):

- ZONE CHANGE:** The applicant hereby requests that said premises be changed from zone _____ to zone _____.
- TEXT AMENDMENT:** Please attach proposed changes, including Sections and purposes.
- SPECIAL EXCEPTION:** The applicant hereby requests a public hearing pursuant to Section 6.
- SITE PLAN APPROVAL:** The applicant hereby requests
 - PRELIMINARY
 - FINAL
 - SITE PLAN AMENDMENT pursuant to Section 11
- SIGN PERMIT**
- OTHER (PLEASE EXPLAIN):** _____

NOTE: Each application must fully comply with the requirements of the Zoning Regulations prior to receipt by the Commission. Each application for zone change and/or special exception shall include a list of names and addresses of abutting property owners and all property owners within 100 feet of the subject site.

A check payable to the Town of Simsbury must accompany this **original signed and dated** application. **Five (5) complete (folded) sets of plans, one (1) paper copy, and a digital copy of the completed application and correspondence** must also be included. If you have a PDF of your plans, we would appreciate a copy of that sent to jhollis@simsbury-ct.gov, as well.

Signature of Owner _____ Date 11/18/22 Signature of Agent _____ Date _____

G15 116 011

WHITE ELIZABETH W TRUSTEES OF
800 HOPMEADOW STREET
SIMSBURY CT 06070

G15 145 001

WOLF RESTAURANT LLC
4 HARTFORD ROAD
SIMSBURY CT 06070

G15 145 002

EAY PROPERTIES LLC
540 HOPMEADOW STREET #6
SIMSBURY CT 06070

G15 116 012

MACKAY DUNCAN R AND JULIE GREY
327 HOPMEADOW STREET
WEATOGUE CT 06089

G15 145 001

L & M ENDEAVORS LLC
6 HARTFORD ROAD
WEATOGUE CT 06089

FLOODPLAIN “NO-IMPACT” CERTIFICATION

This document is to certify that I, Mark M. Zessin, P.E., am a duly qualified registered professional engineer licensed to practice in the State of Connecticut.

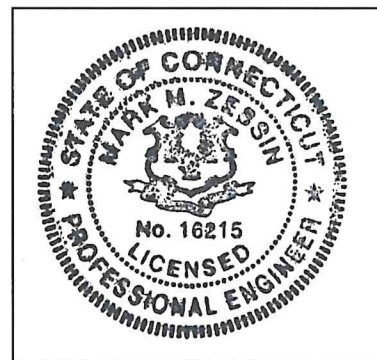
It is to further certify that the proposed improvements located at #4 Hartford Road in Simsbury, Connecticut, as shown on the plan, “Site Plan for Walk-In Cooler” dated November 17, 2022 by Barton and Loguidice, LLC., will not impact the Base Flood Elevation (BFE; 100-year flood). The proposed work within the FEMA mapped Zone AE floodplain is minor and does not involve the addition of any fill material below the BFE that could alter the available flood storage volume on the site.

The BFE on the site in the area of the proposed improvements is elevation 159.7 and the bottom of the proposed relocated generator and replacement HVAC units will be installed at a minimum elevation of 161.7, which is two (2) feet above BFE in accordance with Section 6.6 of the Simsbury Zoning Regulations. The proposed walk-in cooler will be installed at the finished floor elevation (164.70) of the existing adjacent building which is five (5) feet above the Base Flood Elevation.

Dated: November 17, 2022



Mark M. Zessin, P.E.
CT License No. 16215
Senior Vice President



NOTICE TO APPLICANTS

This **AFFIDAVIT** is required for all applications requiring a **PUBLIC HEARING**.

NOTE: PUBLIC HEARING SIGNS MUST BE POSTED ON THE SUBJECT PROPERTY AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING DATE.

THIS FORM (SIGNED AND NOTARIZED) MUST BE PRESENTED AT THE PUBLIC HEARING.

AFFIDAVIT

(STATE OF CONNECTICUT)

Ss: South Windsor

(COUNTY OF HARTFORD)

I, Helmar Wolf of South Windsor, Ct
(Applicant) (City, State)

Being duly sworn, make oath and say that I have maintained sign(s) as required by the Simsbury Zoning Regulations, stating that a Land Use Application is pending for the following property:

4 Hartford Road Simsbury, Ct 06070

(Location of Property)

DATE:

11/18/22

[Signature]
(Signature of Applicant)

Helmar Wolf
(Type or Print Name of Applicant)

Subscribed and sworn to before me this 18 day of November, 20 22

[Signature]
(Notary Public)

My Commission Expires on _____

LISA DAMIANO
NOTARY PUBLIC
MY COMMISSION EXPIRES JUN. 30, 2025 **4**



Town of Simsbury

933 HOPMEADOW STREET

SIMSBURY, CONNECTICUT 06070

Office of Community Planning and Development

PUBLIC HEARING SIGN RECIPIENT FORM

RECIPIENT INFORMATION

Name: HELMAR WOLF

Number of Signs: TWO

Phone: 860 9164473

Email: HELMARHUGO@AOL.COM

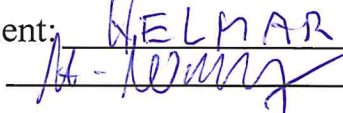
Property on Application: 4 HARTFORD Ad

PUBLIC HEARING SIGN RULES

- The sign(s) will be posted perpendicular to the property in clear view from both sides of the roadway
- The affidavit will be signed and returned **after** the fifteen (15) day window has elapsed

I am aware that the public hearing sign(s) must be posted on the property above in clear view of the road for the required **fifteen (15) days** prior to the meeting date, not including the meeting date.

Printed Name of Recipient: HELMAR WOLF

Signature of Recipient: 

Date: 11/18/22

Abigail's Grille and Wine Bar
C/o Helmar Wolf
22 Schweir Road, Suite 2
South Windsor, CT 06074
(860) 207 8389

November 18, 2022

Town of Simsbury – Zoning Commission
933 Hopmeadow Street
Simsbury, CT 06070

Re: Abigail's Grille & Wine Bar 4 Hartford Road, Simsbury CT 06070
Application for Zoning Special Exemption

Dear Zoning Commission,

Enclosed please find a complete application for a Zoning Special Exemption. This application is for the relocation of our current generator and the installation of a new outside self-contained Walk-In Freezer/Refrigerator in the current location of our exiting generator at our restaurant Abigail's Grille & Wine Bar located at 4 Hartford Road, Simsbury, CT 06070.

To give you a brief history, Abigail's Grille & Wine Bar has been in operation since 2008. We provide fine dining and superior service to the community, but we are always striving to improve those core services.

In order to achieve more efficiency and better service to our clients, we are proposing to relocate our generator to the opposite side of the building, and in the now empty location where the generator resided, install a new outside self-contained Walk-In Freezer/Refrigerator to better serve our kitchen.

This will involve pouring a new concrete slab to align to the elevation of the inside of the restaurant. The new outside Walk-In Freezer/Refrigerator is totally self-contained and thus can be removed from the property at any time. This does not affect the aesthetics, nor does it encroach on the surrounding properties.

The current Walk-In Freezer/Refrigerator, located within the building, is in disrepair and will be removed from the property upon the installation of the new outside self-contained Walk-In Freezer/Refrigerator.

The relocation of the generator to the other side of the building involves pouring a new slab and installing a 36-inch steel frame to support the generator and the existing air conditioning units. This does not affect the aesthetics, nor does it encroach on the surrounding properties.

Attached for your review is the Floodplain "No Impact" Certification from our engineer along with a detailed map showing the site plan for the new outside Self-contained Walk-In Cooler and relocation of generator.

We will be in attendance at the December 5, 2022 meeting in case you have any questions.

In the meantime, you can always reach me on my cell phone 860-916-4473.

Sincerely,



Helmar Wolf

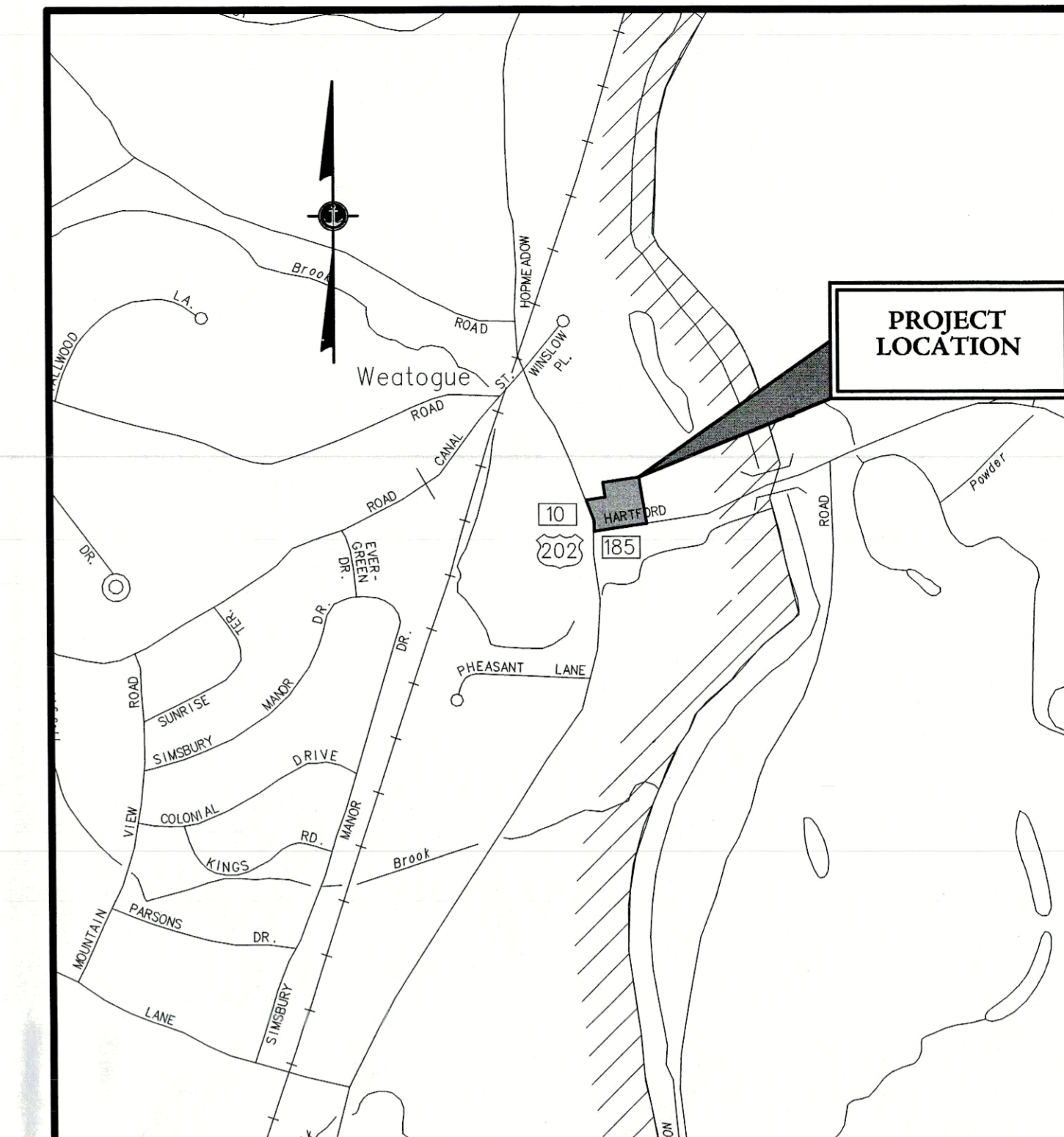
Owner

MAP REFERENCES

1. PLAN PREPARED FOR WOLF RESTAURANT, LLC. #4-6 HARTFORD ROAD ROUTE 185 SIMSBURY, CONN. SCALE: 1" = 30'. DATE OCTOBER 6, 2010. BY SANDERSON & WASHBURN.
2. FLOOD INSURANCE RATE MAP (FIRM) OF HARTFORD COUNTY CONNECTICUT PANEL 331 OF 675, MAP NUMBER 09003G0331F, EFFECTIVE DATE: SEPTEMBER 26, 2008.
3. SITE PLAN FOR ADDITION PREPARED FOR WOLF RESTAURANT, LLC. 4 HARTFORD ROAD, SCALE 1" = 30', DATED DECEMBER 7, 2016, PREPARED BY ANCHOR ENGINEERING SERVICES, INC.

NOTES

1. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENT AGENCIES, FROM PAROL, TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO ANCHOR ENGINEERING SERVICES, INC.. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG: 1-(800) 922-4455.
2. THE RELOCATION AND REPLACEMENT OF EXISTING HVAC UNITS SHALL BE COORDINATED BY THE OWNER AND THE PLACEMENT OF THESE UNITS SHALL BE COMPLETED TO ALLOW THE RELOCATION OF THE BACKUP GENERATOR TO COMPLY WITH ALL APPLICABLE BUILDING CODES.
3. THE BASE FLOOD ELEVATION (BFE) WAS TAKEN FROM MAP REFERENCE #2 & #3.
4. MINIMUM ELEVATION OF RELOCATED GENERATOR SHALL BE TWO FEET ABOVE BFE (MINIMUM ELEVATION SHALL BE 161.7)
5. THE PROPOSED WORK TO INSTALL THE WALK-IN COOLER, RELOCATE THE EXISTING GENERATOR, REPLACE THE EXISTING FENCE AND REPLACE THE EXISTING HVAC UNITS SHALL:
 - NOT REDUCE THE EXISTING BUILDING SETBACKS CURRENTLY PERMITTED ON THIS PROPERTY
 - NOT ADD APPRECIABLE IMPERVIOUS SURFACES TO THE PROPERTY
 - BE INSTALLED TO COMPLIMENT THE BUILDING'S EXTERIOR FINISHES
 - USE THE NEW SCREENING FENCE TO SHIELD THE RELOCATED GENERATOR FROM PUBLIC VIEW
 - MODERNIZE THE FACILITY'S HVAC UNITS TO BE MORE ENERGY EFFICIENT
 - MAINTAIN ALL REQUIRED BUILDING EGRESS AND CONTRIBUTE NO NEGATIVE IMPACT TO THE OVERALL SITE AND RESTAURANT USE.



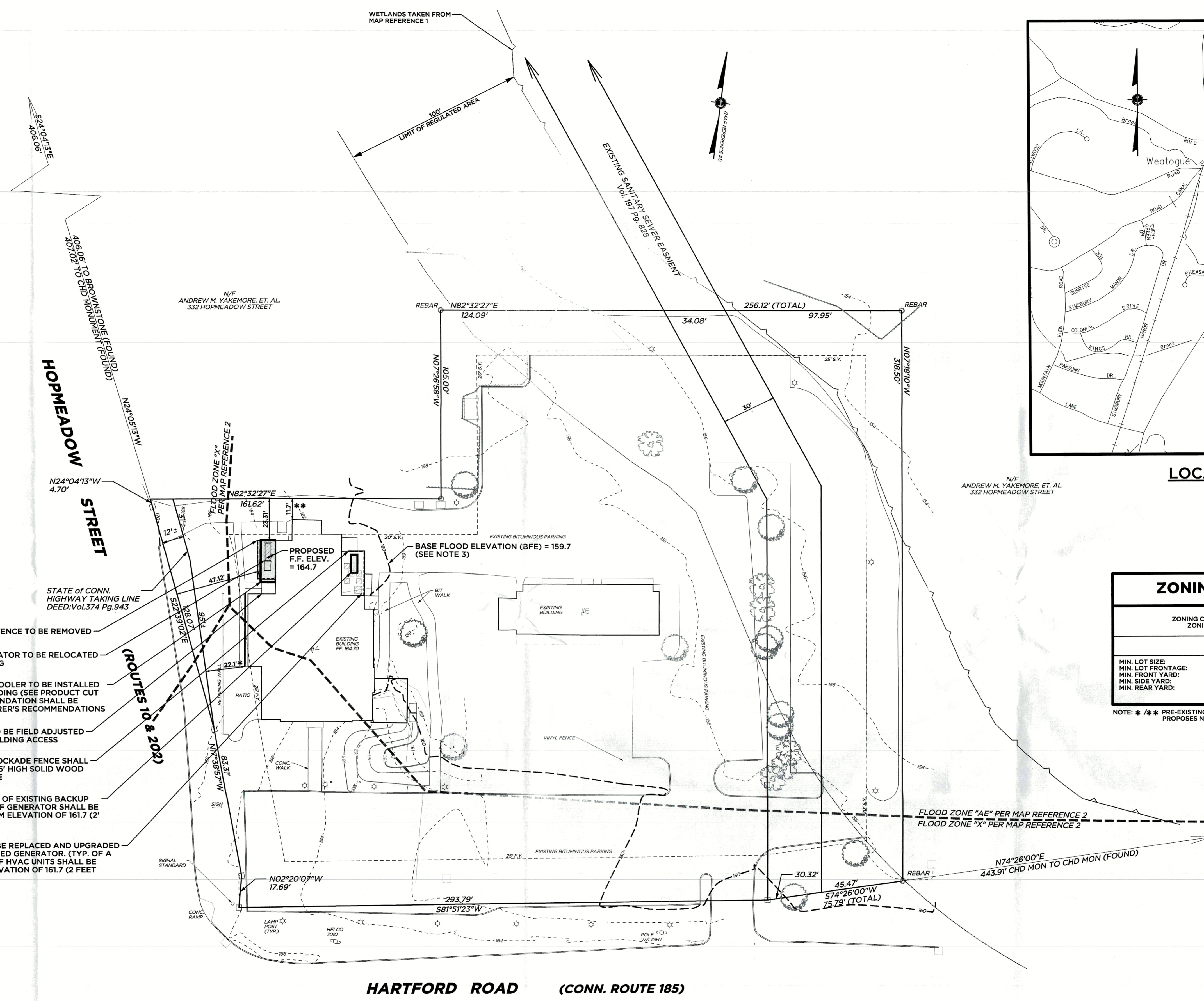
LOCATION MAP
SCALE: 1" = 800'

ZONING COMPLIANCE TABLE

ZONING COMPLIANCE BASED UPON THE ZONING REGULATION ZONING DISTRICT: B-1 (RESTRICTED BUSINESS ZONE)

ZONING REQUIREMENTS	EXISTING:	PROPOSED:
MIN. LOT SIZE:	N/A	114,118 SF
MIN. LOT FRONTAGE:	N/A	233.77 FT
MIN. FRONT YARD:	25 FT	22.1 FT **
MIN. SIDE YARD:	20 FT	11.7 FT **
MIN. REAR YARD:	25 FT	N/A

NOTE: ** PRE-EXISTING NON-COMPLYING, THIS APPLICATION PROPOSES NO CHANGES TO THESE SETBACKS



- EXISTING 6' VINYL FENCE TO BE REMOVED
- EXISTING BACKUP GENERATOR TO BE RELOCATED TO EAST SIDE OF BUILDING
- PROPOSED 8'x 22' WALK-IN COOLER TO BE INSTALLED ADJACENT TO EXISTING BUILDING (SEE PRODUCT CUT SHEETS) CONCRETE PAD FOUNDATION SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- EXISTING CONCRETE PAD TO BE FIELD ADJUSTED TO MAINTAIN EXISTING BUILDING ACCESS
- EXISTING 6' HIGH WOOD STOCKADE FENCE SHALL BE REPLACED WITH A NEW 6' HIGH SOLID WOOD OR VINYL SCREENING FENCE
- PROPOSED RELOCATION OF EXISTING BACKUP GENERATOR (BOTTOM OF GENERATOR SHALL BE INSTALLED AT A MINIMUM ELEVATION OF 161.7 (2' ABOVE BFE OF 159.7))
- EXISTING HVAC UNITS SHALL BE REPLACED AND UPGRADED TO MAKE ROOM FOR RELOCATED GENERATOR. (TYP. OF A MINIMUM 6 UNITS) (BOTTOM OF HVAC UNITS SHALL BE INSTALLED AT A MINIMUM ELEVATION OF 161.7 (2 FEET ABOVE BFE OF 159.7))

HARTFORD ROAD (CONN. ROUTE 185)

LEGEND



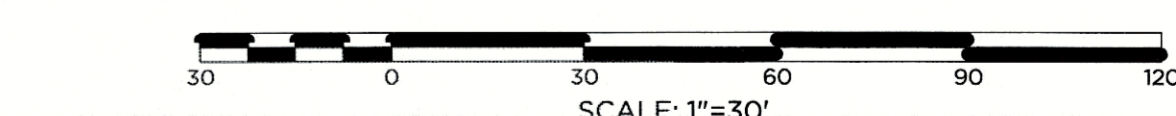
BY: _____
APPROVED: _____

BY: **TOWN OF SIMSBURY ZONING COMMISSION**

CHAIRMAN

SECRETARY

THIS APPROVAL EXPIRES: _____



Barton & Guidice
Civil Engineering • Environmental Consulting • Land Surveying • Construction Management

41 Sequin Drive
Glastonbury, CT 06033
Phone: (860) 633-9770
Fax: (860) 633-5971
www.anchorengr.com

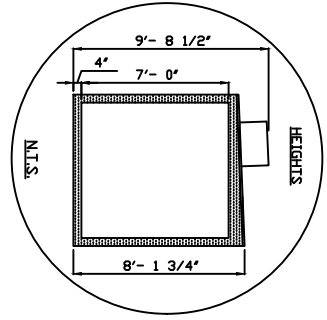
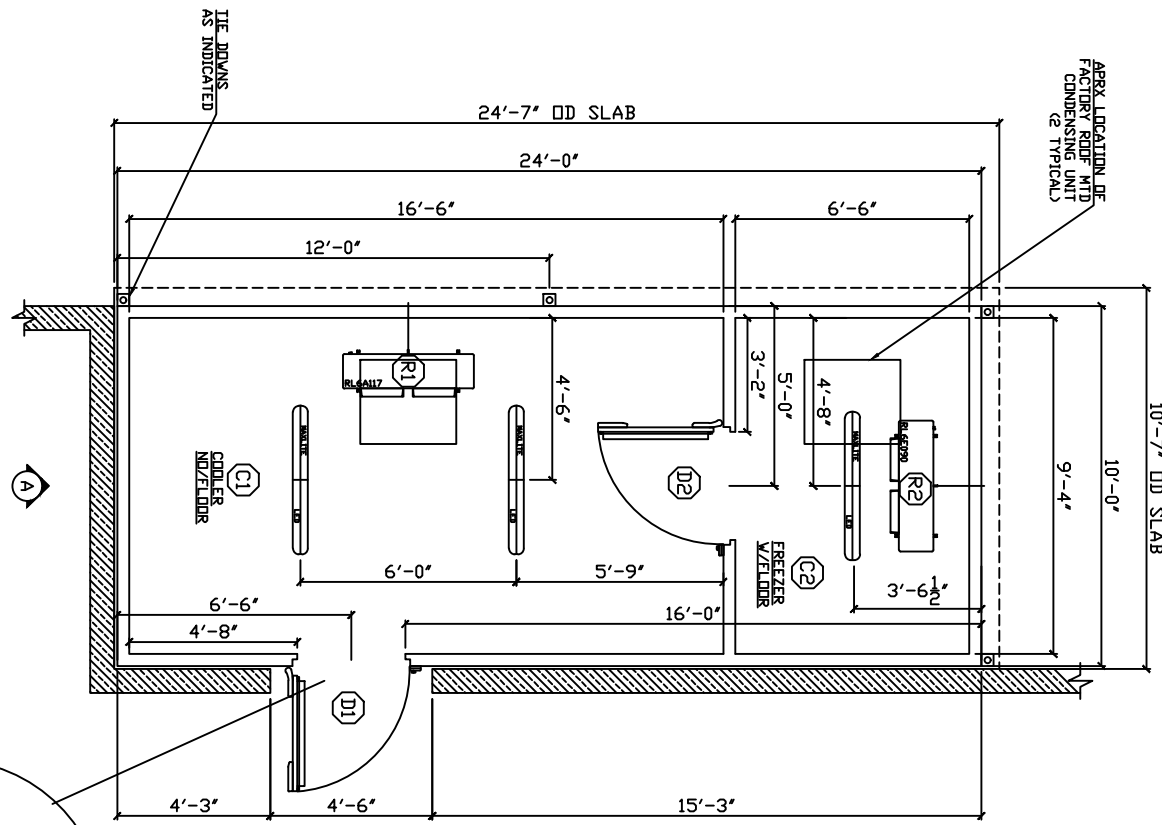
PROJ. ENGINEER: MJP
PROJ. MANAGER: KRG
OFFICE REVIEW: KRG

SITE PLAN FOR WALK-IN COOLER
PREPARED FOR
WOLF RESTAURANT LLC
ABIGAIL'S RESTAURANT

4 HARTFORD ROAD SIMSBURY, CT

PROJECT: 1354-01 DATE: 11/17/22 SHEET NO. 1 OF 1

SCALE: 1" = 30'



ROOF SLOPE

CONCRETE SLAB/PAD NOTICE

- * SLAB/PAD MUST BE LEVEL WITHIN 1/4" OVER 10'-0" IN ANY DIRECTION
- * SLAB/PAD MUST BE FLAT, SMOOTH AND UNIFORM WITH MAXIMUM 1/4" TOTAL DEVIATION OVER 10'-0" STRAIGHTEDGE IN ANY DIRECTION

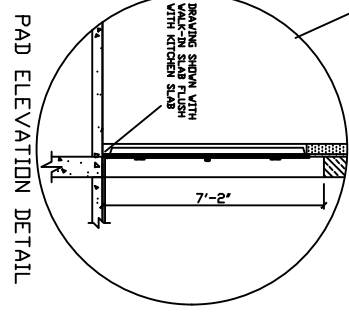
I HEREBY ACKNOWLEDGE THAT I HAVE BEEN INFORMED OF THE ABOVE SLAB/PAD REQUIREMENTS AND FAILURE TO COMPLY WILL RESULT IN REFUSAL TO INSTALL AND/OR WILL VOID ANY WARRANTY COVERAGE FOR ISSUES ON THIS WALK-IN RESULTING FROM SUCH INSTALLATION.

APPROVED _____

DRAWING IS:

- APPROVED _____
- APPROVED AS NOTED _____

CHANGES AFTER APPROVAL MAY RESULT IN ADDITIONAL COST

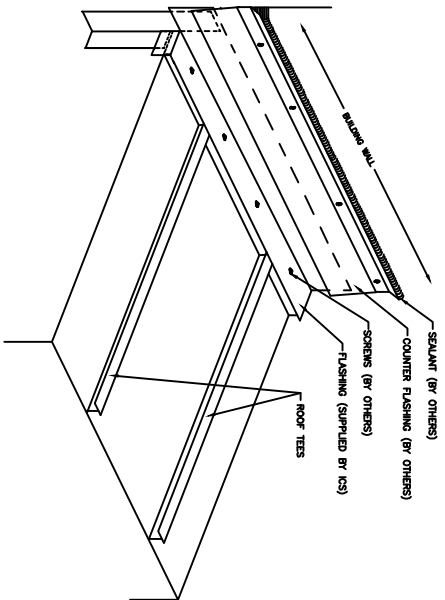


215 E. 13TH STREET
ANDOVER, KS 67002
800-835-0001

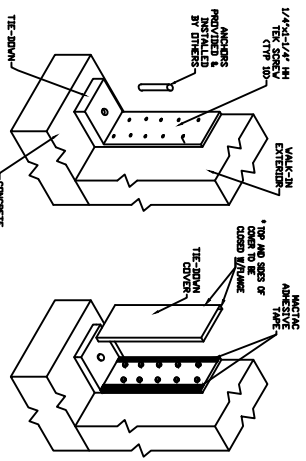
NAME ABAGAIL'S
LOCATION SIMSBURY, CT

DRAWING 128772
SERIAL 128772
MODEL IDT1020

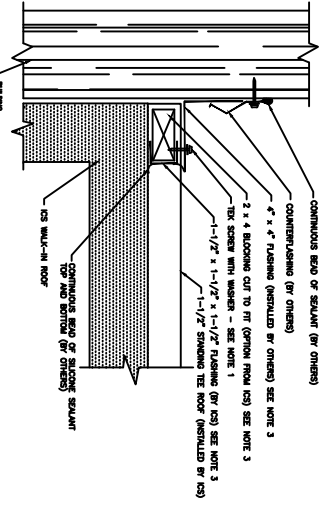
SCALE 3/16"=1'-0"
DATE 08/29/2022
REVISED 11/14/2022



ROOF FLASHING/CORNER TRIM ISOMETRIC DETAIL

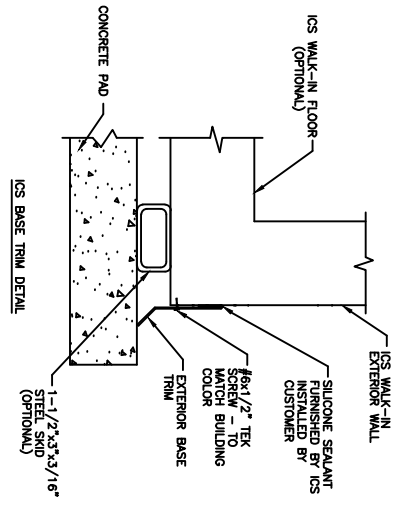


L-12 TIE-DOWN HAS AN OPTION OF 1\"/>

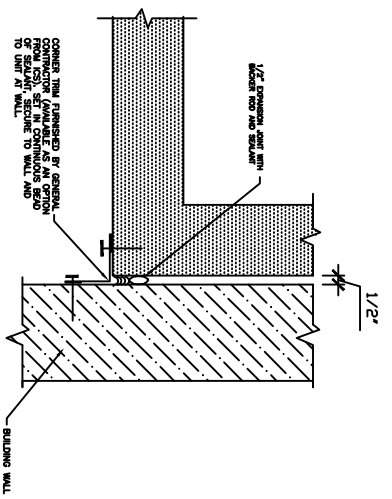


- NOTES:
1. THE SCREW WITH ENLARGED WASHER AT 12" O.C. (BY OTHERS) THE SCREW SHALL NOT PENETRATE THROUGH THE ROOF FLASHING OR ROOF CAP.
 2. BUILDING REPORT WARES WITH BUILDING WITH, SEE DRAWING
 3. FLASHING TO BE INSTALLED FROM THE BUILDING SIDE.
- BY 2" x 4" FLASHING FROM INSTALLED FROM THE BUILDING SIDE. (SUPPLIED ONLY)
- BY 2" x 4" FLASHING FROM INSTALLED FROM THE BUILDING SIDE. (SUPPLIED ONLY)
- BY 2" x 4" FLASHING FROM INSTALLED FROM THE BUILDING SIDE. (SUPPLIED ONLY)

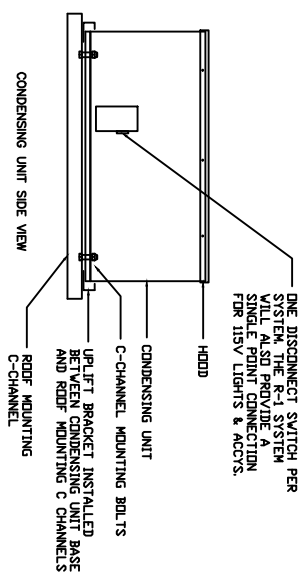
ROOF FLASHING DETAIL



ICS BASE TRIM DETAIL



TOP VIEW CORNER TRIM DETAIL



ONE DISCONNECT SWITCH PER SYSTEM THE SYSTEM SHALL BE PROVIDED WITH SINGLE POINT CONNECTION FOR ISSV LIGHTS & ACCYS.

CONCRETE SLAB/PAD NOTICE

* SLAB/PAD MUST BE LEVEL WITHIN 1/4" OVER 10'-0" IN ANY DIRECTION
 * SLAB/PAD MUST BE FLAT, SMOOTH AND UNIFORM WITH MAXIMUM 1/4" TOTAL DEVIATION OVER 10'-0" STRAIGHTEDGE IN ANY DIRECTION

I HEREBY ACKNOWLEDGE THAT I HAVE BEEN INFORMED OF THE ABOVE SLAB/PAD REQUIREMENTS AND FAILURE TO COMPLY WILL RESULT IN REFUSAL TO INSTALL AND/OR WILL VOID ANY WARRANTY COVERAGE FOR ISSUES ON THIS WALK-IN RESULTING FROM SUCH INSTALLATION.

APPROVED _____

DRAWING IS:

APPROVED _____

APPROVED AS NOTED _____

CHANGES AFTER APPROVAL MAY RESULT IN ADDITIONAL COST



215 E. 13TH STREET
 ANDOVER, KS 67002
 800-835-0001

NAME _____

LOCATION _____

DRAWING _____

SERIAL _____

MODEL _____

SCALE 1/4"=1'-0"

DATE 11/12/20

REVISED _____

Hollis Joseph

From: Lisa Damiano <lisa@millrg.com>
Sent: Tuesday, November 29, 2022 2:15 PM
To: Hollis Joseph; Lisa Damiano
Subject: RE: Abigail's Grille and Wine Bar Town of Simsbury Special Exemption Application and Paperwork

Joe,

We are planning on using the color Sand located on page 6 of the brochure – the first row of colors at the top – the 3 color in - Sand – we feel matches the existing color of Abigail's the closest.

Thanks!

Lisa Damiano
Controller

MRG Restaurant Group
22 Schweir Road Suite 2
South Windsor, CT 06074
(860) 207-8389

From: Lisa Damiano <lisa@millrg.com>
Sent: Tuesday, November 29, 2022 2:11 PM
To: jhollis@simsbury-ct.gov; Lisa Damiano <lisa@millrg.com>
Subject: Abigail's Grille and Wine Bar Town of Simsbury Special Exemption Application and Paperwork

Joe,

Attached please find a brochure and detailed Drawings for the Walk In Cooler at Abigail's Grille and Wine Bar for your review and approval.

The zoning meeting is scheduled for Monday December 5, 2022.

If you have any questions, please do not hesitate to contact me at 860-207-8389 or lisa@millrg.com.

Thanks!

Lisa Damiano
Controller

MRG Restaurant Group
22 Schweir Road Suite 2
South Windsor, CT 06074
(860) 207-8389



BY EVERIDGE®

One-Piece Walk-Ins

www.everidge.com/ics



ICS® One-Piece Walk-Ins



Explore Everidge's ICS stand-alone cold storage walk-ins; space-saving outdoor units which easily expand your refrigeration and freezer options. With flexible designs to suit your business space, each one-piece temperature controlled solution can stand alone as a satellite unit and free up indoor space. These free-standing walk-ins arrive ready-for-use, pre-assembled and fully operational, with customizable finishes to match the existing building exterior.

Let Everidge Handle All of The Work

Our ICS one-piece walk-ins arrive pre-assembled and fully constructed. Once installed, our walk-ins are ready to begin cooling in just a few hours.



CLASSIFICATIONS & APPROVALS

All Everidge ICS walk-in units are approved under numerous classifications, providing our customers with total peace of mind over perishable inventories:

- EISA-compliant
- NSF-certified
- U.L./Class 1-listed urethane foam insulation
- USDA-approved materials
- UL/ULC electric
- Hurricane and seismic loading
- Meets the certification standards of multiple U.S. state and Canadian licensure and compliance codes, including Dade County, Florida



ICS® One-Piece Walk-Ins – Product Features

Simplicity

- Full factory pre-assembly
- On-site 3 to 5-hour installation
- Ready-to-run refrigeration system
- Everidge team start-up support
- Easy to relocate

Efficiency

- Cost-effective: no brick-and-mortar construction needed
- Energy-efficient: EC motors on all evaporator fan blower coils
- Built-in smart defrost energy controls
- Engineered split refrigeration systems ranging from ½ hp to 6 hp, up to 40 hp
- High-efficiency, energy-reducing insulation
- Maintenance-free finish

Safety

- Seamless construction: HFO insulation
- Innovative pre-coated Sanisteel walls and floors: 24/7 NSF-certified anti-bacterial defense

Outdoor-Suitability

- Weather-proofed for snow loads, rated for Seismic category D and 170 mph hurricane winds
- Code-compliant for U.S. and Canadian standards
- 20-year materials and workmanship warranty, 1-year on doors
- Tough, stucco-embossed metal exterior finish with factory baked-on polyester coating

Parts & Accessories

All Everidge walk-ins are available with a comprehensive range of accessories, allowing us to tailor your walk-in to suit the exact needs of your specific application and location.

Add the following to create the precise look and functionality required:

- LED lighting
- Alarm systems
- Digital thermometers
- Strip curtains
- Door view ports
- Storage shelving
- Built-in wall supports
- Heavy duty floor plates
- Refrigeration systems pre-installed with smart defrost and temperature controls
- Roof flashing systems (outdoor applications)
- Foamed-in-place electrical boxes
- Glass and service doors



Flexibility

- Sizes: 6' x 6' to 14' x 50' with the ability to place multiple units within a common wall scenario for increased capacity
- Storage options: cooler, freezer, ambient, combo
- Temperature range: -30°F to +80°F
- Insulation thicknesses: 4", 5" or 6"

Customizability

- Variable mounts, coils and condensing units according to application needs
- Styled-to-order exterior finishes to match community requirements: architectural panel, brick, stone
- Flooring, controls and insulation levels tailored to suit application



Are you losing valuable floor space with indoor cold storage?



In foodservice operations, floor space equals profit dollars. If you are tying up precious indoor operational floor space with walk-in cold storage, you are reducing your seating capacity, which means less sales and reduced profit. You are also limiting the size of your kitchen and service stations, which means reduced foodservice capacity and slower service.

ICS one-piece outdoor walk-ins can offer a cost saving of up to 40%, compared with traditional indoor walk-ins, based on a 180 sq ft footprint.*

ICS one-piece walk-ins are designed for outdoor locations with convenient thru-the-wall access. By locating your cold storage outdoors you free up valuable operational indoor floor space for:

- Additional seating capacity for increased sales and maximum profit
- Larger kitchen for a broader menu and greater foodservice capacity
- More service stations for quicker service

ICS one-piece outdoor walk-ins are a convenient alternative to traditional bricks and mortar construction, reducing your \$/sq ft costs for both new construction and remodel applications.

*Depending on freight and install

Curbside Pickup Cold Storage



Quick ship
program for
standard
models

Increase Curbside Pickup and Drive-Thru Capacity

When you need additional cold storage capacity in a hurry, ICS one-piece walk-ins are the perfect solution. ICS one-piece outdoor walk-ins provide increased storage, freeing up valuable indoor floor space.



- Factory pre-assembled and tested for plug-and-go connection
- Fast track installation
- Cost-effective alternative to brick and mortar construction

ICS one-piece walk-ins are ideal for:

- Click & collect operations
- Food retailers
- Foodservice
- Curbside pickup
- Food-to-go
- Street food

Want to expand your drive-thru capacity? Easily add a second drive-thru window with ICS.



ICS® Walk-In Standard Finishes

ICS walk-in exteriors are, as standard, a tough stucco embossed metal, with a factory baked on polyester coating, that provides years of maintenance free service. We also offer a wide range of color options, making it easy to select a finish that complements your building's color scheme.



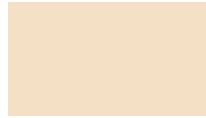
Polar White



Autumn Brown



Sand



Almond



Mist Gray



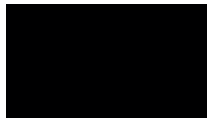
Colonial Red



Bronze

ICS® Optional Walk-In Colors

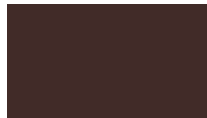
STOCK COLORS | 70% PVDF resin based coatings provide high-performance durability for exterior and interior applications. These coatings are designed to resist fading, chalking, and abrasion. Meets the requirement of AAMA 2605-13 for aluminum substrates.



Black (02)



Forest Green (11)



Chocolate Brown (04)



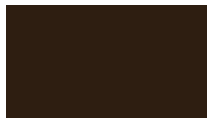
Sierra Tan (09)



Sandstone (06)



Rocky Grey (16)



Classic Bronze (01)



Teal (19)



Boysenberry (25)



Rawhide (15)



Regal Blue (18)



Charcoal Grey (62)



Medium Bronze (03)



Hemlock Green (30)



Redwood (07)



Concord Cream (05)



Slate Blue (21)



Slate Grey (20)



Hartford Green (27)



Patina Green (12)



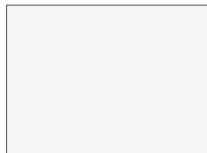
Mission Red (08)



Siam Blue (14)



Dove Grey (13)



Ascot White (10)



Bone White (26)

Stock Materials ALL standard & premium finish colors are available in:

.26 ga. steel
.040 aluminum

Additional Stock Materials Available for select colors and finishes:

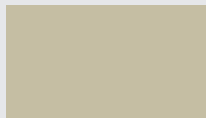
G90 Galvanized - 26 ga, 24 ga, 22 ga, 20 ga, 16 ga
Acrylume - 26 ga
Aluminum smooth - .032, .040, .050, .100, .125
Aluminum ADT - .063, .100, .125
Stainless Steel - 304 22 ga, 20 ga, 18 ga

Please inquire for custom materials and colors.

PREMIUM FINISH | PVDF resin based coatings, as noted above, with premium pigmentation to obtain metallic or deep color for desired aesthetics.



Antique Patina (24)



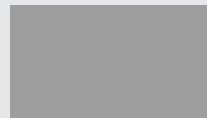
Champagne (31)



Coppertone (23)



Titanium (35)



Silversmith (28)



Brite Red (17)

ICS® Optional Walk-In Finishes

MATTE FINISH | 70% PVDF resin based coatings, as noted above, designed to simulate natural metal hues in a high performance paint system.



Almond (36)

Anchor Grey (37)

Ash Grey (33)

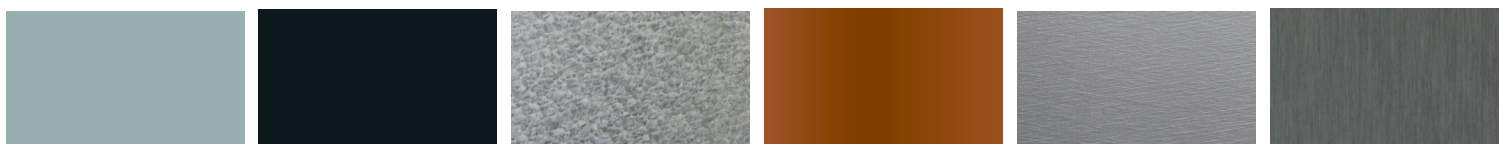
Char Brown (29)

Matte Black (32)

Thunder Grey (34)

NATURAL METALS

Due to their beauty, durability and time-proven performance, natural metals are a preferred material used in architecture. Natural metals will weather and patina naturally over time, adding character and aesthetic appeal to any building design. In addition to natural metals, We offer 55% Al-Zn alloy coated steel with acrylic coating and anodized aluminum as standard available materials.



Clear Satin Anodized (70)

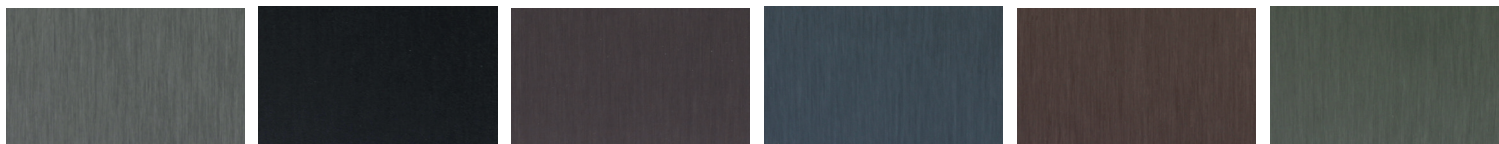
Dark Bronze Anodized (71)

55% Al-Zn Alloy Coated Steel with Acrylic Coating (97)

Copper (49)*

Classic Stainless Steel (40)*

Terne Coated Stainless Steel (41)*



Grey Zinc (50)*

Dark Zinc (51)*

Brown Zinc (89)*

Blue Zinc (94)*

Red Zinc (95)*

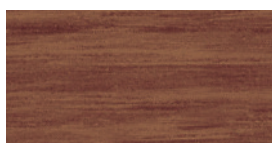
Green Zinc (96)*

WOODLAND SERIES*

Add the warmth of wood with the durability of metal to your next project. We offer four classic woodgrain patterns with a 70% PVDF coating. Available in .032 aluminum.



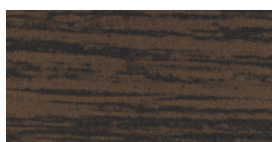
Birch (57)



Cedar (54)



Driftwood (53)



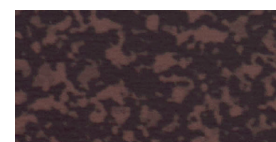
Walnut (55)

OXIDE SERIES*

Made to look like weathered steel, combine the aesthetic appeal of aged metal with the advantages of brand new metal cladding with a 70% PVDF finish.



Copper Brown (42)



Tarnished Red (47)

LAMINATES*

We offer a stacked stone laminate pattern. Our laminate is UV stable for exterior wall applications.



Stacked Stone (85)

* Special material. Pricing and availability dependent upon project specifics. Color chips available upon request.

Stainless steel products provided by ROOFINOX®. Colors are as close to the actual colors as modern printing allows. Metal color chips are available on request (this is a requirement for all premium colors) and should be used for final color selection. If you have requirements or preference for colors or finishes other than shown, please contact us. Color availability varies by material, gauge and profile. We reserve the right to modify, eliminate and/or change our products without prior notification. All colors are produced under stringent guidelines and tolerances that are identified within the coated metal industry. Batch to batch variations may occur within these established industry tolerances. Care should be exercised by customer when mixing lots. Contact us for more information.

SaniSteel® Slip Resistant, Anti-Bacterial Interior Panels & Flooring

For foot and hand cart traffic

All ICS walk-ins are now available with optional Sanisteel® slip resistant, anti-bacterial interior panels and/or floors. Sanisteel® is a pre-coated steel, which is certified as food safe, providing total peace of mind for hygiene in food service and food retailing environments. Independent tests have also demonstrated that Sanisteel® delivers unparalleled slip resistance characteristics, even when wet, for improved workplace safety.

- Better slip resistance than ADT by ASTM F 1679 test standards
- Anti-bacterial pre-coated steel
- Eliminates many harmful and potentially dangerous bacteria strains
- NSF certified
- High resistance to corrosion and scratches
- Available only from ICS and the Everidge brands



Technical Details & Specifications

Film coating thickness: from 100 µ to 200 µ

Standard metal supports

- Hot dip galvanized steel
- 19 GA (1.2mm)

Dimensions

- Thickness of metal support: from 0.3 to 2 mm .0118 to .078 inches
- Sheet:

Max width	1400 mm	55.118 inches
Max length	5000 mm	196.85 inches
- Strip:

Max width	1400 mm	55.118 inches
Minimum width	19 mm	.748 inches
- Coil:

I.D.	500 mm	> 20"
O.D.	1550 mm	61.02 inches

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Protective film

Sanisteel® film

Adhesive

Surface treatment

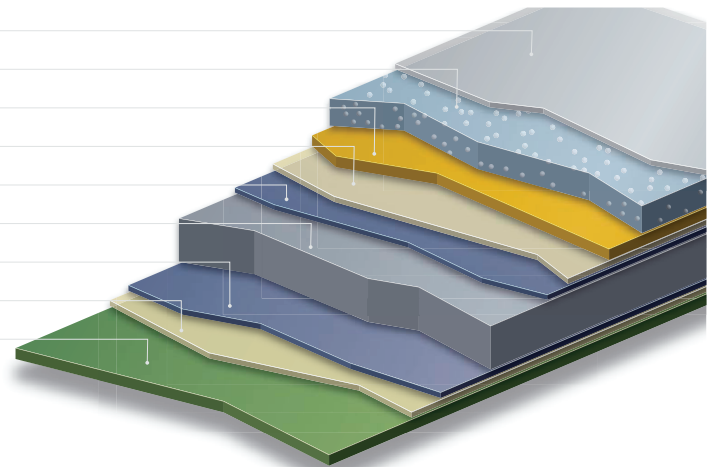
Zinc

Metallic support

Zinc

Surface treatment

Back coat Primer



 CROWNTONKA®
  ICS®
  LOTEMP DOORS™
  PREPRITE™
  THERMALRITE®

Proud to be family-owned.

Walk-In Coolers/Freezers • Restoration & Replacement Doors • Cook-Chill Specialty Solutions • Parts, Service & Warranty • Construction Services

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