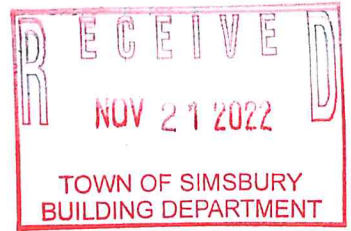




Town of Simsbury



Office of Community Planning and Development - Zoning Commission Application

DATE: 11-21-2022 FEE: \$ 310.00 CK #: 650 APP #: 22-40

PROPERTY ADDRESS: CO HARVEST HILL RD

NAME OF OWNER: LARRY A FATHERTON

MAILING ADDRESS: 20 HARVEST HILL RD, W. SIMSBURY, CT

EMAIL ADDRESS: ANDYATWERTON@COMCAST.NET TELEPHONE # 859 230 3799

NAME OF AGENT: _____

MAILING ADDRESS: _____

EMAIL ADDRESS: _____ TELEPHONE # _____

ZONING DISTRICT: _____ LOT AREA: _____ SQ FT/ACRES

Does this site have wetlands? YES NO Have you applied for a wetlands permit? YES NO

REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):

- ZONE CHANGE:** The applicant hereby requests that said premises be changed from zone _____ to zone _____.
- TEXT AMENDMENT:** Please attach proposed changes, including Sections and purposes.
- SPECIAL EXCEPTION:** The applicant hereby requests a public hearing pursuant to Section _____.
- SITE PLAN APPROVAL:** The applicant hereby requests
 - PRELIMINARY
 - FINAL
 - SITE PLAN AMENDMENT** pursuant to Section 11
- SIGN PERMIT**
- OTHER (PLEASE EXPLAIN):** CONVERSION OF ATTACHED GARAGE TO APARTMENT OF 540 SQ. FT WITH KITCHEN AND ENCLOSED BATHROOM.

NOTE: Each application must fully comply with the requirements of the Zoning Regulations prior to receipt by the Commission. Each application for zone change and/or special exception shall include a list of names and addresses of abutting property owners and all property owners within 100 feet of the subject site.

A check payable to the Town of Simsbury must accompany this **original signed and dated** application. **Five (5) complete (folded) sets of plans, one (1) paper copy, and a digital copy of the completed application and correspondence** must also be included. If you have a PDF of your plans, we would appreciate a copy of that sent to jhollis@simsbury-ct.gov, as well.

Larry A Atherton 11-21-2022
Signature of Owner Date

Signature of Agent Date

EXHIBIT 1

www.simsbury-ct.gov

933 Hopmeadow Street
Simsbury, CT 06070

ZONING AMENDMENT NUMBER
Approved at Public Hearing on August 3, 1988

Purpose: The purpose of the amendment is to require that a sign be posted to give public notice prior to a public hearing on an application to develop a site.

Amend Article Eleven "Administration"

Add New: Letter E

E. Public Information Notice Sign

Whenever an application filed with the Zoning Commission requires a public hearing, the Applicant shall display a Public Information sign on the site giving notice that an application is pending before the Zoning Commission. The sign shall be in a manner and form as prescribed by the Commission and be provided by the Commission to the Applicant. It shall be displayed in a highly visible place at each location in the site where the property line abuts a public or private street or at a visible location nearest the site. It shall be the responsibility of the Applicant to insure that the signs remain on the display for a period of fifteen (15) days prior to the public hearing and are to be removed within seven (7) days following the close of the public hearing. The Applicant, at the public hearing, shall supply the Commission with an affidavit certifying that the Public Information Notice sign has been placed for the period specified.

Amend Article Twelve "Board of Appeals"

Letter C – Add Number 3

Add New: Article Twelve "C Procedure"
New Number 3

3. Public Information Notice Sign

Whenever an application filed with the Zoning Board of Appeals requires a public hearing, the Applicant shall display a Public Information sign on the site giving notice that an application is pending before the Zoning Board of Appeals. The sign shall be in a manner and form as prescribed by the Commission and be provided by the Commission to the Applicant. It shall be displayed in a highly visible place at each location in the site where the property line abuts a public or private street or at a visible location nearest the site. It shall be the responsibility of the Applicant to insure that the signs remain on display for a period of fifteen (15) days prior to the public hearing and are to be removed within seven (7) days following the close of the public hearing. The Applicant, at the public hearing, shall supply the Commission with an affidavit certifying that the Public Information Notice sign has been placed for the period specified.



NOV 14 2022

NOV 10 2022

FEE: \$50.00

FVHD

FVHD

CH#

Farmington Valley Health District

95 River Road, Suite C • Canton, CT 06019 • Phone (860) 352-2333 • Fax (860) 352-2542

Avon • Barkhamsted • Canton • Colebrook • East Granby • Farmington • Granby • Hartland • New Hartford • Simsbury

APPLICATION FOR ADDITION

PROPERTY OWNER: LARRY AHERTON PHONE # (H): 860 575 3267

ADDRESS 20 HARVEST HILL RD TOWN SIMSBURY Email ANDY.AHERTON@COMCAST.NET
PHONE # (Work/Cell) _____

*CONTRACTOR: _____ PHONE #: _____
Email _____

* Contractors that conduct renovation, remodeling or paint removal activities on residential houses, apartments and child-occupied facilities built before 1978 **MUST** be EPA certified.

TYPE OF PROPOSAL

Building Addition &/or Interior Renovation (describe) CONVERTING TWO-CAR GARAGE TO APARTMENT WITH KITCHEN AND ENCLOSED BATHROOM

Number of bedrooms in existing house 3 Number of bedrooms after addition 4

Detached Structure Shed Barn Garage Propane Generator Pad Other(describe) _____

Swimming Pool In-ground Above ground (filter type _____) heated y/n Deck provided Yes No

Building Conversion - Change in use (describe) _____

House Teardown, Replacement: Using existing foundation _____ New foundation _____
Bedrooms in existing house _____ # Bedrooms in proposed house _____

PLEASE COMPLETE

Will the addition have: Heat yes no Plumbing yes no Exterior sewer pipe/pump needed? yes no

Full foundation Frost Wall Slab Piers Other _____ Interior sewage pump needed? yes no

Footing Drains yes (show on plan) no Cuts in grade <50' downhill of septic system? yes no

Distance of proposed addition from: Septic tank 30.5 ft Leaching system 42.2 ft Well N/A ft

Any sewage backups, overflows or other problems noted with the existing septic system? Yes No

** PROVIDE A SKETCH SHOWING THE LOCATION OF THE ADDITION RELATIVE TO THE WELL & SEPTIC **

FVHD ASSUMES NO RESPONSIBILITY FOR PRESENT/FUTURE OPERATION OF SEPTIC SYSTEM OR FOR ANY DAMAGE TO THE SEPTIC SYSTEM CAUSED BY THE NEW CONSTRUCTION OR ANY NECESSARY TESTING.

I certify that I'm the owner or owner's contractual representative & that the information above is accurate to the best of my knowledge. I also acknowledge that I'm responsible for securing any required approvals from other town/state agencies (Bldg, Wetlands, Zoning, etc.)

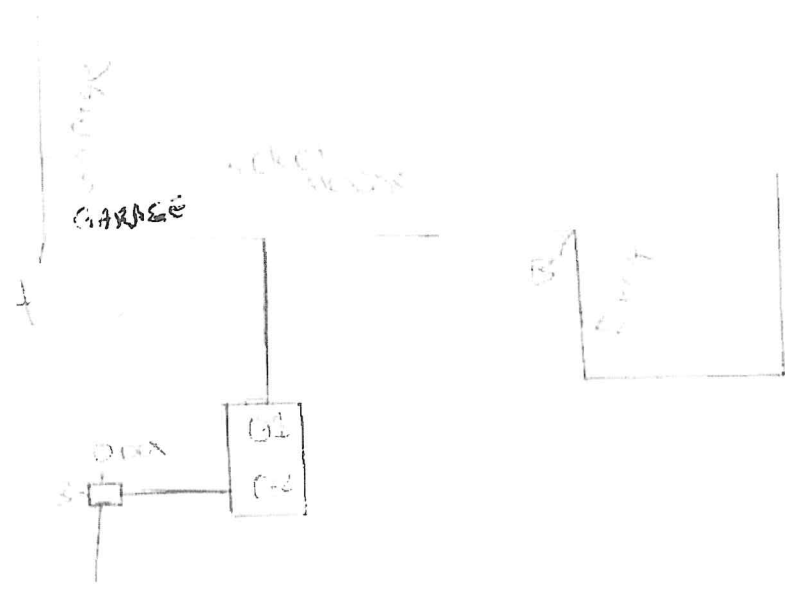
Signature Larry Aherton DATE 11-14-2022

THE APPROVAL WILL BE FAXED TO TOWN BLDG DEPT. FVHD WILL CALL ONLY IF QUESTIONS ARISE.

(OFFICE USE ONLY)
FVHD APPROVED [Signature] DENIED _____ Date: 11/15/22
COMMENTS: _____

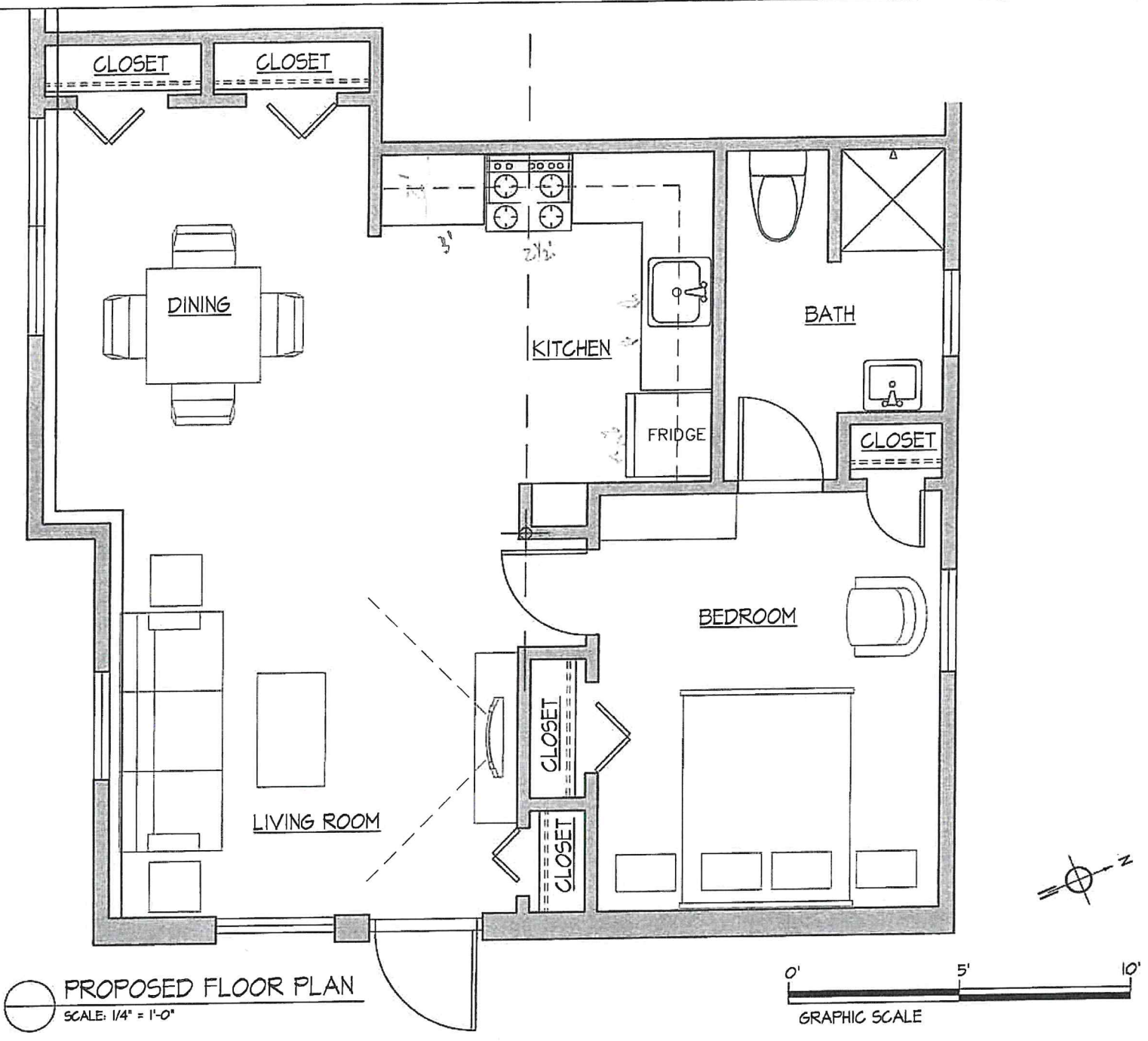
LOCATION: 20 Harvey Hill TOWN: W Omsbury

LOCATE ALL PARTS OF SEWAGE DISPOSAL SYSTEM, CURTAIN DRAIN OR FILL. Indicate front or back of house, garage, driveway and any other prominent landmark

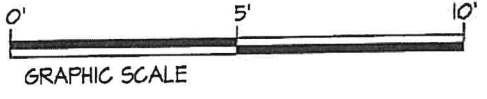


POINT	#1	#2	#3	#4	#5	#6	#7	#8	#9	#10
Distance from corner A	4' 0"	4' 2"								
Distance from corner B	3' 0"	4' 0"								
Distance from corner C	3' 0"	4' 0"								
Distance from corner D										

AS-BUILT DIMENSIONS PROVIDED BY: WALL TOWN SEPTIC Date: 12/10/20



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



Valerio Giadone Architect
100 Sachem Drive
Middletown CT 06457
TEL (860) 372- email: giadone@home.com

ALTERATIONS TO:
20 Harvest Hill Rd.
W Simsbury CT 06092

Project:
Initials: VG
Date: 02-28-22
Revisions:

SK-1

KITCHEN & BATHROOM NOTES

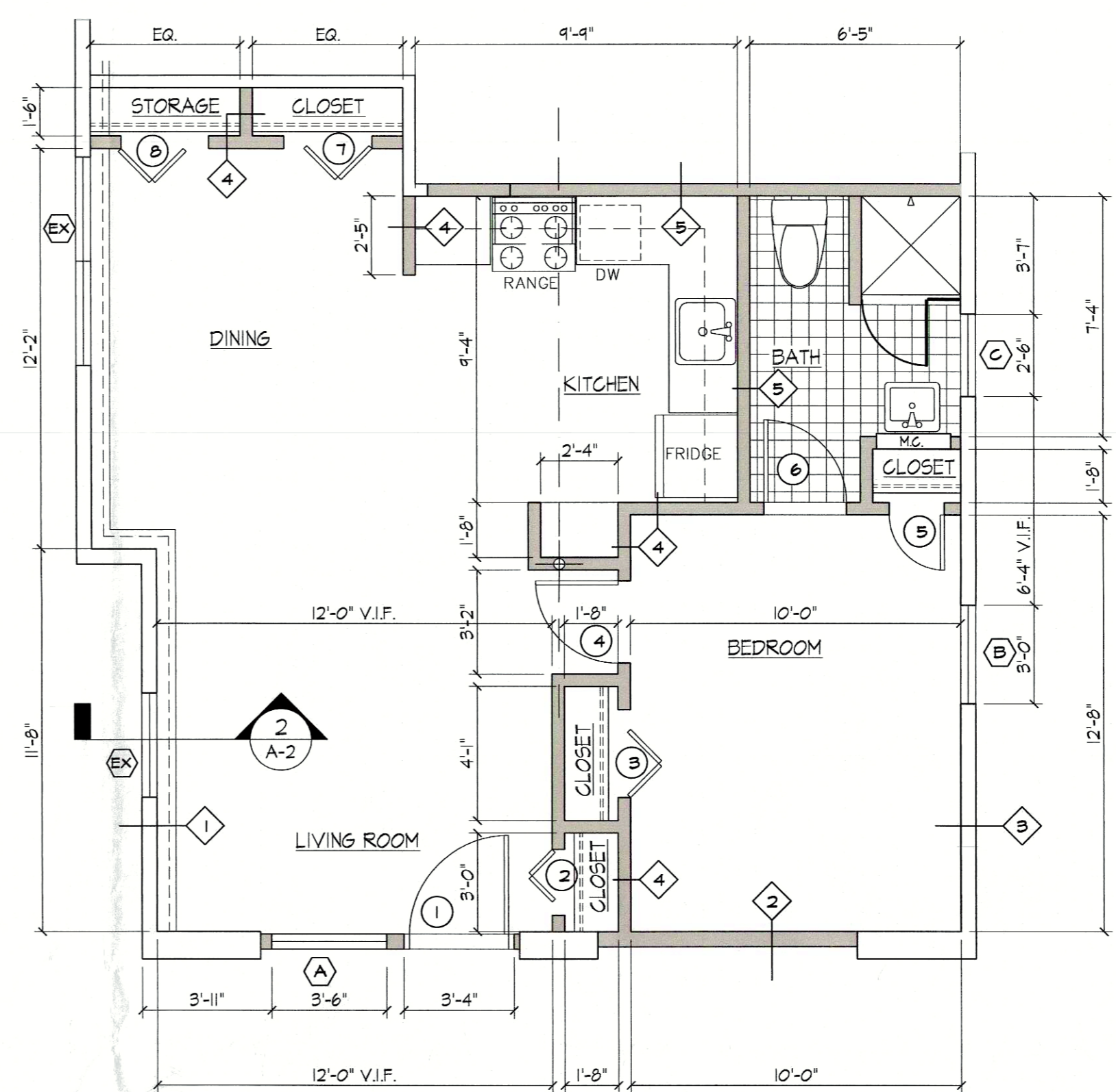
1. PROVIDE 1/2" WATER RESISTANT GMB AT ALL KITCHEN AND BATHROOM WALLS AND CEILING.
2. PROVIDE CERAMIC FLOOR AND WALL TILES AT BATHROOM, AS SELECTED BY OWNER.
3. PROVIDE 1/2" CEMENT FIBER BOARD BEHIND CERAMIC TILE FINISH AT WALLS AND FLOORS.
4. PROVIDE AND INSTALL ALL PLUMBING FIXTURES AS INDICATED. ALL PLUMBING FIXTURES TO BE SELECTED BY OWNER.
5. ALL NEW PLUMBING SHALL BE INSTALLED BEHIND FINISHED WALLS AND CEILINGS. WHERE REQUIRED INCREASE SIZE OF NET WALL TO ACCOMMODATE AND SECURE ALL PLUMBING.
6. PROVIDE ALL BATHROOM ACCESSORIES AS REQUIRED AND SELECTED BY OWNER. PROVIDE SOLID WOOD BLOCKING BEHIND WALLS TO SECURE ALL ACCESSORIES.
7. PROVIDE EXHAUST FAN AT ALL BATHROOM AND KITCHEN LOCATIONS.
8. G.C. TO PROVIDE SHOP DRAWINGS FOR OWNER'S REVIEW FOR ALL KITCHEN, BATHROOM AND MISCELLANEOUS MILLWORK AS REQUIRED BY OWNER.
9. ALL FINISH FLOORING AND WALL BASE SHALL EXTEND UNDER ALL AREAS NOT COVERED BY BASE CABINETRY.

GENERAL NOTES

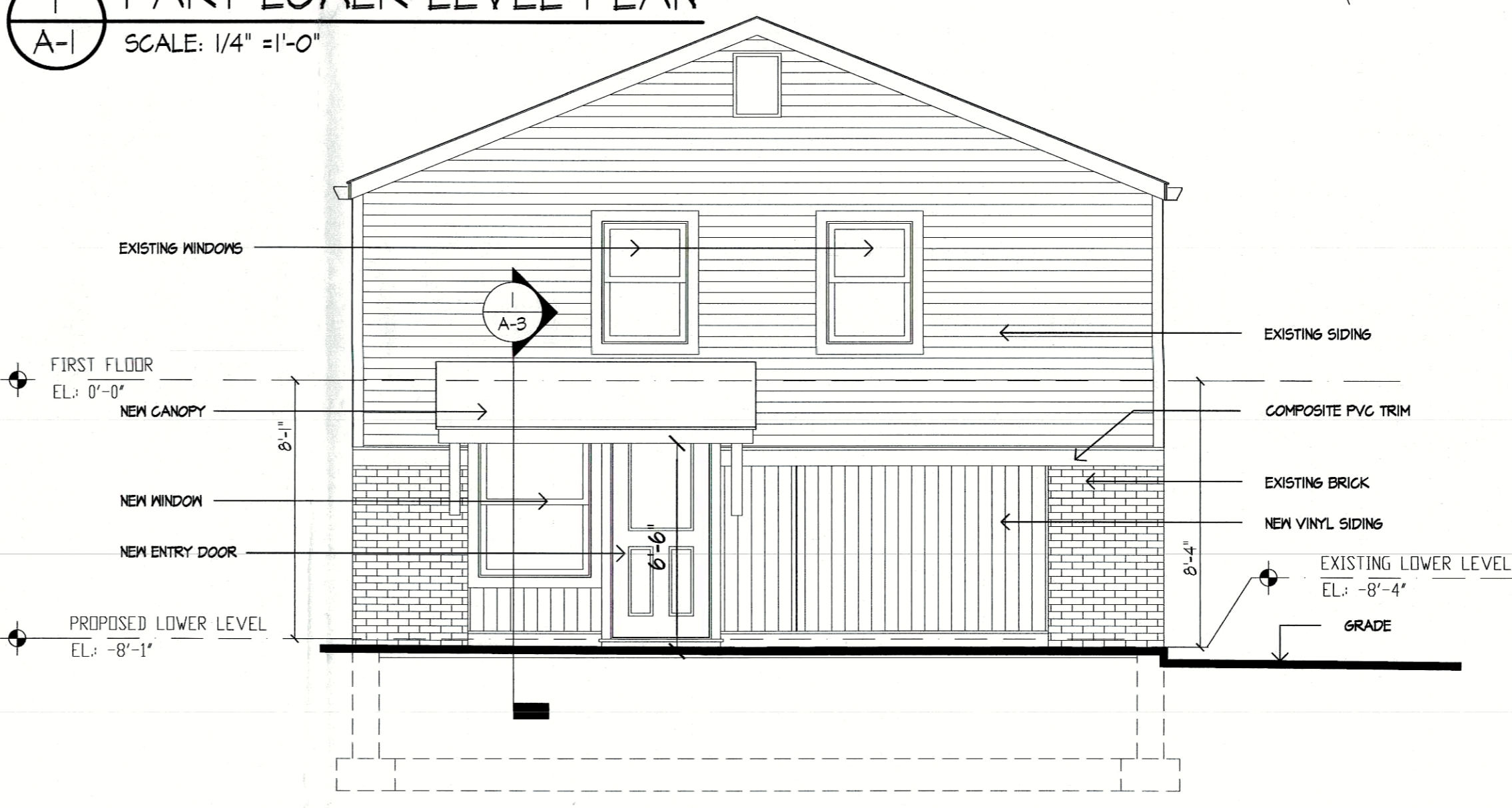
1. General Contractor shall field verify all dimensions and conditions prior to start of construction.
2. G.C. to provide all demolition and dumping as is necessary to complete the work.
3. All materials are to be new unless noted otherwise.
4. If plans and specifications provide conflicting information, then the strictest, most expensive interpretation shall apply.
5. All lumber in contact with concrete or masonry shall be pressure treated.
6. Floor construction shall remain continuous across all mechanical chases throughout the entire building. All floor penetrations shall be firestopped as required.
7. Provide firestopping at all duct pipe and other penetrations through rated firewalls and partitions. Use UL rated sealants and caulking as manufactured by Dow, 3M or approved equal. Follow manufacturer's installation instructions.
8. All plumbing and heating piping to be concealed in walls and floors, unless noted otherwise.
9. Provide all necessary chases and "box outs" for plumbing and heating piping as required to complete the work.
10. Any glazing within 18" of finish flooring shall be tempered glass.
11. "Patch, repair and restore to like new" condition.
12. All hollow vertical spaces in walls shall be firestopped at each floor level.
13. G.C. to minimize notching of floor joist for the installation of new plumbing piping. Where notching is unavoidable, joist hole or notch shall be less than 1/4 joist depth. Provide 1/16"x1" sheet metal strips at the bottom of all notched floor joist. Straps shall extend 8" along bottom of joist each side of pipe.

LEGEND:

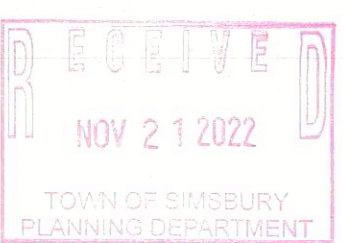
	NEW WALLS		WINDOW TYPE
	EXISTING WALLS		DOOR NUMBER
	NEW DOORS		WALL TYPE
	NEW WINDOWS		ELEVATION MARK
			SECTION MARK
			DETAIL MARK
			MEDICINE CABINET



1 PART LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



Valerio Giadone Architect
100 Sachem Drive
Middletown CT 06457
email: giadone@comcast.net Tel. (860) 372-0134

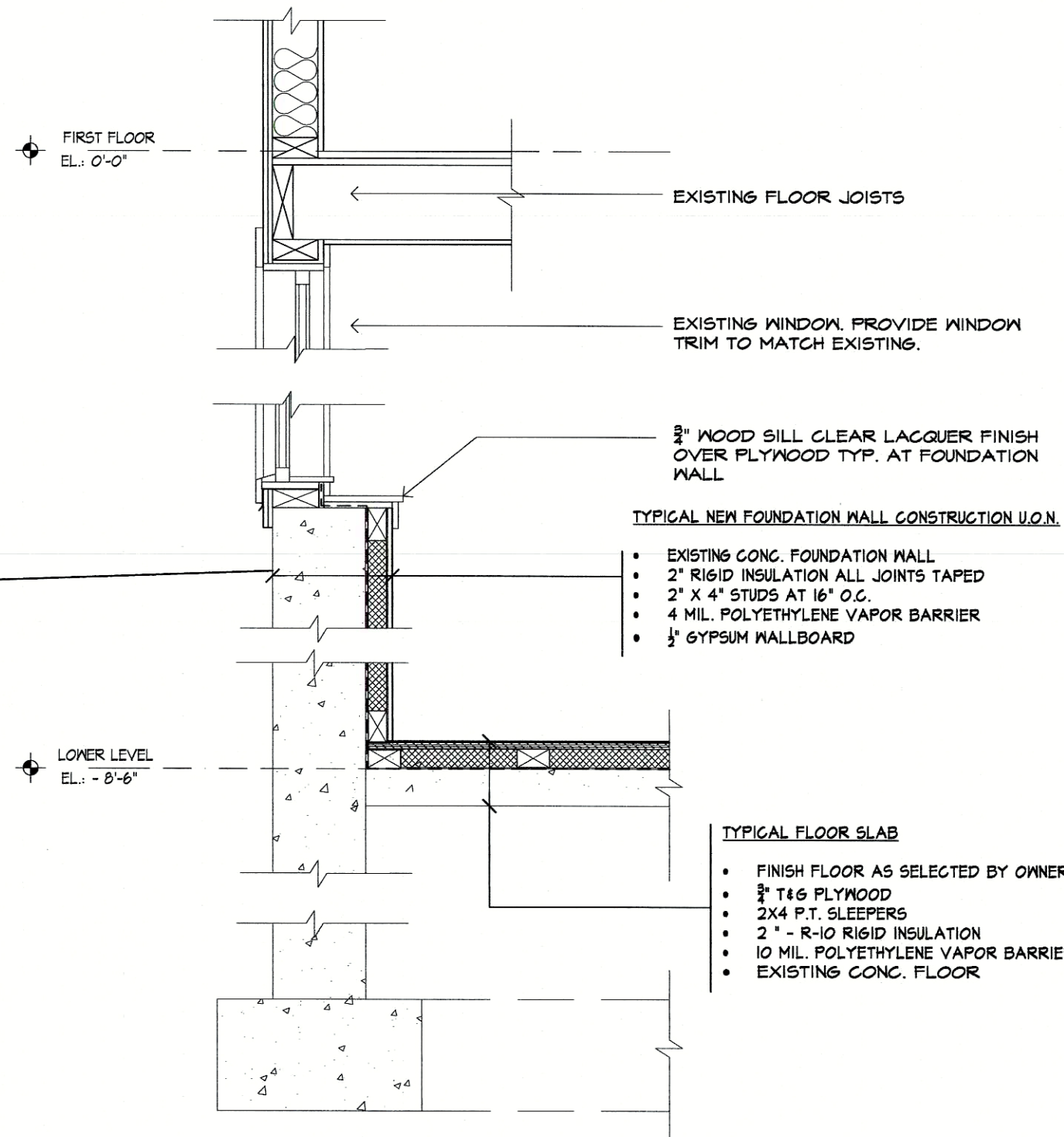
General Notes
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ALTERATIONS to:
20 Harvest Hill Rd.
West Simsbury CT 06092

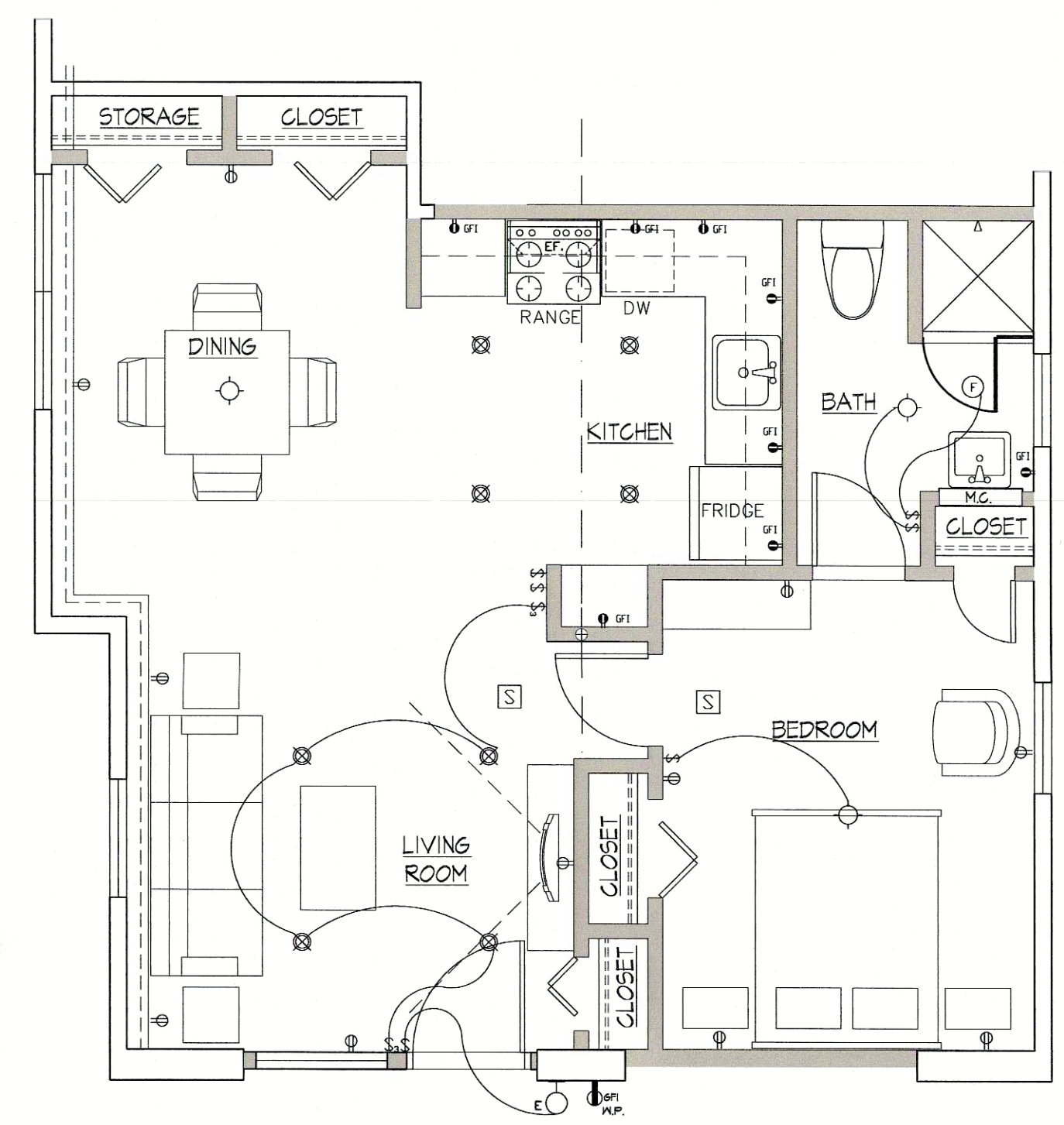
LOWER LEVEL FLOOR PLAN
EXTERIOR ELEVATION

Project:
Initials: VG
Date: 11-02-22
Revisions:

A=1



2 WALL SECTION
A-2 SCALE: 3/4" = 1'-0"



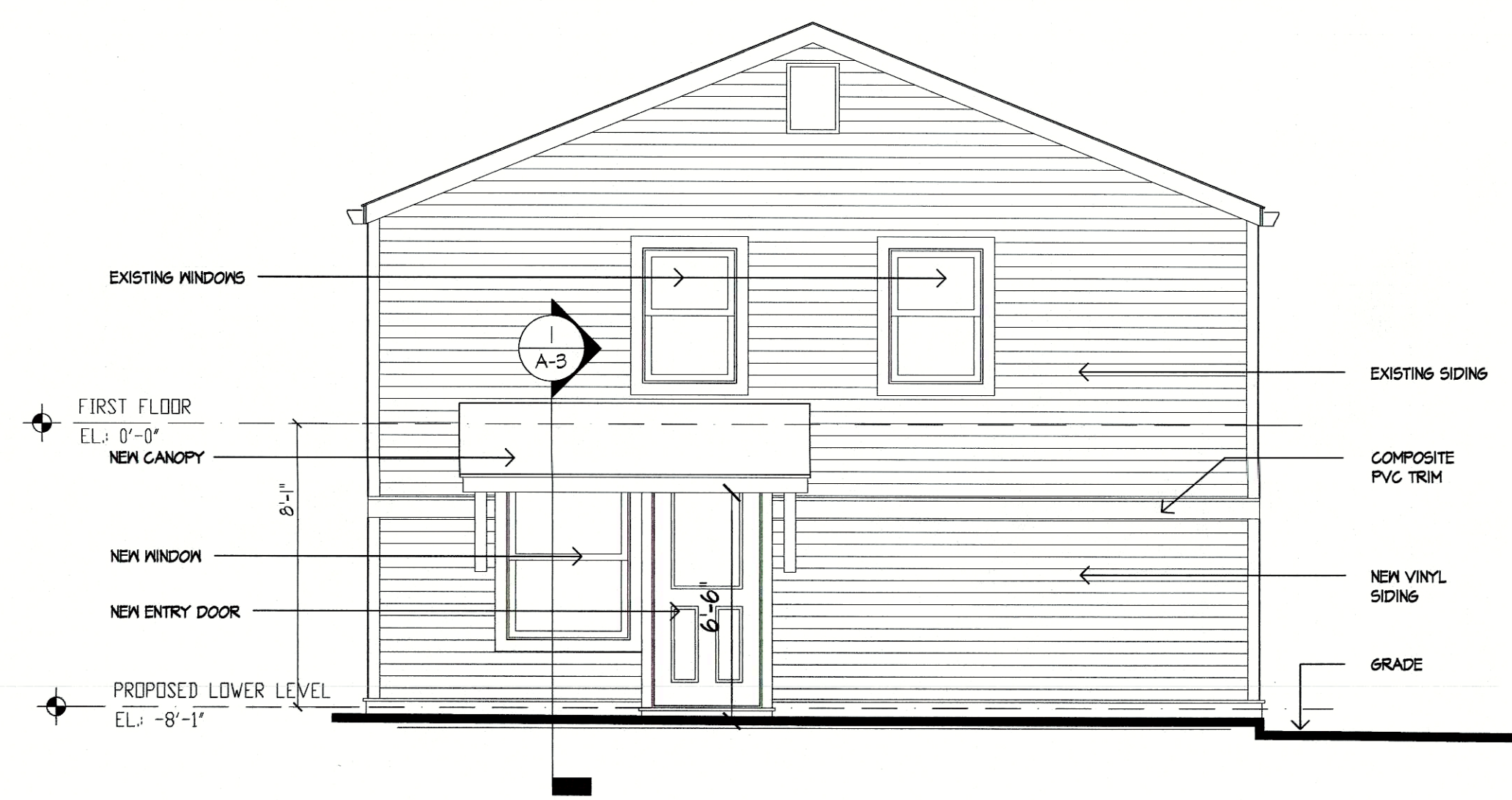
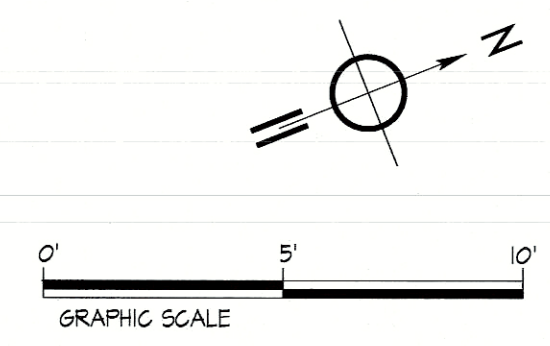
1 PART LOWER LEVEL ELECTRICAL PLAN
A-2 SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

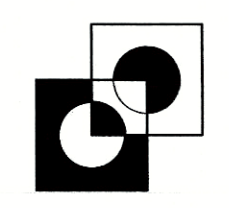
⊕	DUPLEX OUTLET	⊕	CEILING MOUNTED LIGHT FIXTURE
⊕GFI	20 AMP. OUTLET GFCI	⊕	CEILING MOUNTED CHANDELIER
⊕	220V. OUTLET GFCI	⊗	RECESSED LIGHT FIXTURE
⊕GFI	ISLAND COUNTER MOUNTED GROUND FAULT CIRCUIT INTERRUPTER 20 A. 120 V. DUPLEX RECEPTACLE	⊕	WALL MOUNTED LIGHT FIXTURE
⊕GFI	EXTERIOR WATER RESISTANT TYPE GROUND FAULT CIRCUIT INTERRUPTER 20 A. 120 V. DUPLEX RECEPTACLE	⊕ ^E	EXTERIOR WALL MOUNTED LIGHT FIXTURE
S	ELECTRICAL SWITCH	⊕ ^{EX}	EXISTING LIGHT FIXTURE
S ₃	3-WAY ELECTRICAL SWITCH	S	SMOKE DETECTOR / C/O COMBINATION
S ₄	4-WAY ELECTRICAL SWITCH	⊕	EXHAUST FAN
S ₆	ELECTRICAL SWITCH W/ DIMMER	D.B.	DOOR BELL BUTTON
EF	EXHAUST FAN	D.C.	DOOR CHIME

ELECTRICAL NOTES:

- ALL ELECTRICAL OUTLETS AT BATHROOM, TOILET, KITCHEN, BASEMENT, AND EXTERIOR TO BE GFI TYPE
- ALL ABOVE COUNTER OUTLETS TO BE MOUNTED AT 42" A.F.F.
- ALL EXTERIOR OUTLETS AND LIGHT FIXTURES TO BE EXTERIOR TYPE
- ALL LIGHT FIXTURES, DEVICES AND COVER PLATES TO BE SELECTED BY OWNER.
- COORDINATE EXACT LOCATION OF FIXTURES, FIXTURE TYPE, AND SWITCHES WITH OWNER.
- PROVIDE ELECTRICAL OUTLETS AS INDICATED ON PLAN AND AS REQUIRED BY CODE.
- ALL SMOKE/CO2 DETECTORS TO BE HARD WIRED AND HAVE BATTERY BACK UP.
- ALL RECESSED FIXTURES SHALL BE I-C RATED FOR INSTALLATION IN INSULATED CEILING.



3 ALTERNATE EXTERIOR ELEVATION
A-2 SCALE: 1/4" = 1'-0"



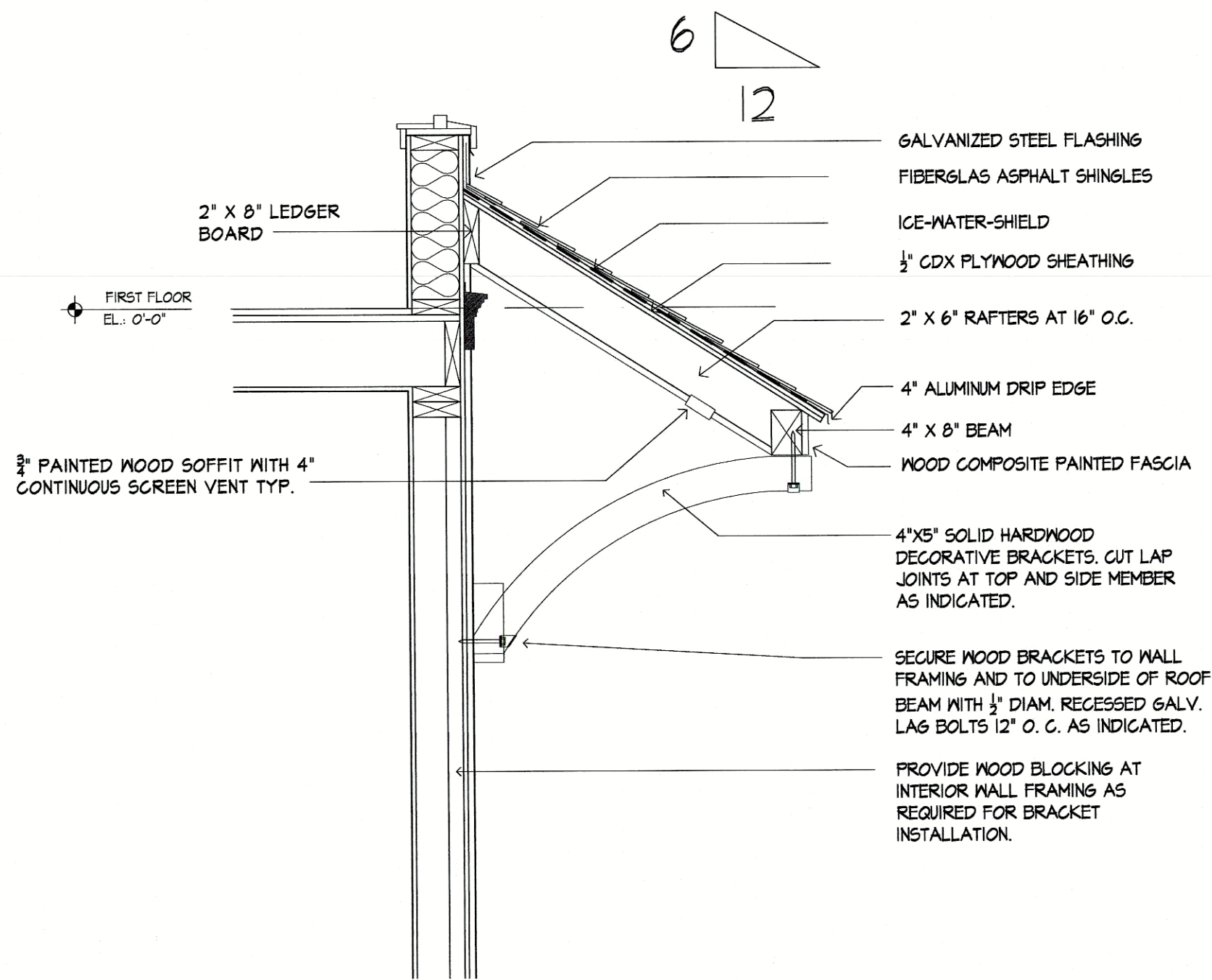
Valerio Giadone Architect
100 Sachem Drive
Middletown CT 06457
email: giadone@comcast.net Tel. (860) 372-0134

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ALTERATIONS to:
20 Harvest Hill Rd.
West Simsbury CT 06092
ELECTRICAL PLAN
WALL SECTION, ELEVATION

Project:
Initials: VG
Date: 11-02-22
Revisions:

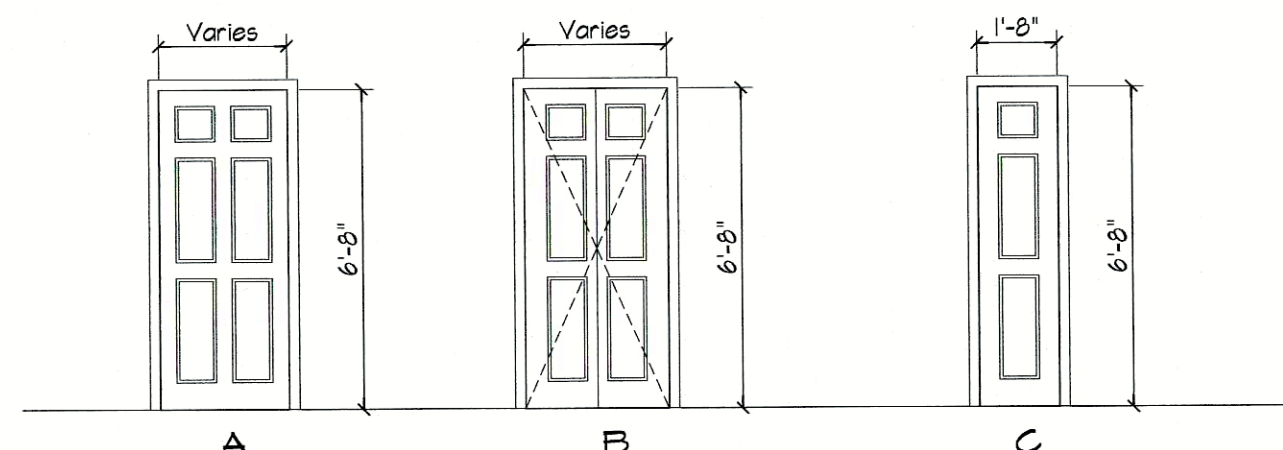
A-2



SECTION DETAIL
 A-3 SCALE: 3/4" = 1'-0"

DOOR SCHEDULE							
No.	Size	Type	Elev.	Frame Mat.	Hardware Function	Rating	Notes
1	3'-0" x 6'-8"	Swing	A	WD	Entry Lock	-	Note-1
2	2'-0" x 6'-8"	Bifold	B	WD	Latch	-	Note-2
3	2'-8" x 6'-8"	Bifold	B	WD	Latch	-	Note-2
4	2'-6" x 6'-8"	Swing	A	WD	Privacy	-	Note-1
5	1'-8" x 6'-8"	Swing	C	WD	Latch	-	Note-1
6	2'-6" x 6'-8"	Swing	A	WD	Privacy	-	Note-1
7	2'-8" x 6'-8"	Bifold	B	WD	Latch	-	Note-2
8	2'-8" x 6'-8"	Bifold	B	WD	Latch	-	Note-2

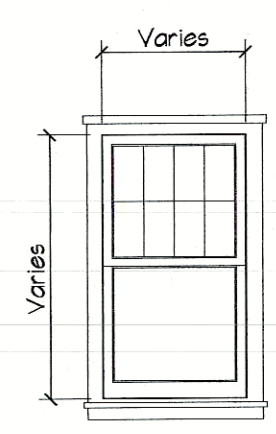
- Doors General Notes:**
- New doors, door frame, hardware, and trim to match existing or as selected by owner.
 - Provide folding doors, door frame and all associated hardware as required and to match existing folding doors.
 - Provide marble threshold at bathroom door and aluminum threshold at exterior door.



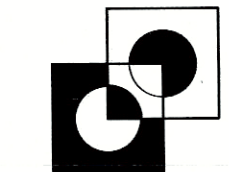
TYPICAL DOOR ELEVATIONS
 SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE				
Window	Size	Unit #	Function	Notes
(A)	3'-6" W. x 4'-6" H.	3646	S/H	
(B)	3'-0" W. x 5'-0" H.	3050	S/H	EMERGENCY EGRESS WINDOW
(C)	2'-6" W. x 4'-6" H.	2650	S/H	
(EX)	EXISTING WINDOWS TO REMAIN			

- Windows General Notes:**
- All new windows shall be SINGLE HUNG, WINDOW, as manufactured by "ANDERSEN WINDOWS" "100-Series", Fibrex, or as selected by owner.
 - Glass to be double pane insulated glass "SunStable" with a U-FACTOR of 0.32 Maximum.
 - Caulk all sides of all exterior windows. Caulk color to match window color.
 - Provide laminated safety glass at all windows located 24" from doors and where glass is 18" or less from finish floor.
 - Each bedroom shall have at least one window meeting or exceed clear openable area of 5.7 square feet, clear opening width of 20" and clear opening height of 24"
 - Provide jamb extension where required.
 - Provide Insect Screens at all windows.
 - Provide standard hardware as selected by owner at all new windows.
 - All finishes to be selected by owner
 - New and existing windows to have interior and exterior trim to match existing.



TYPICAL WINDOW ELEVATION
 SCALE: 1/4" = 1'-0"



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 100 Sachem Drive
 Middletown CT 06457
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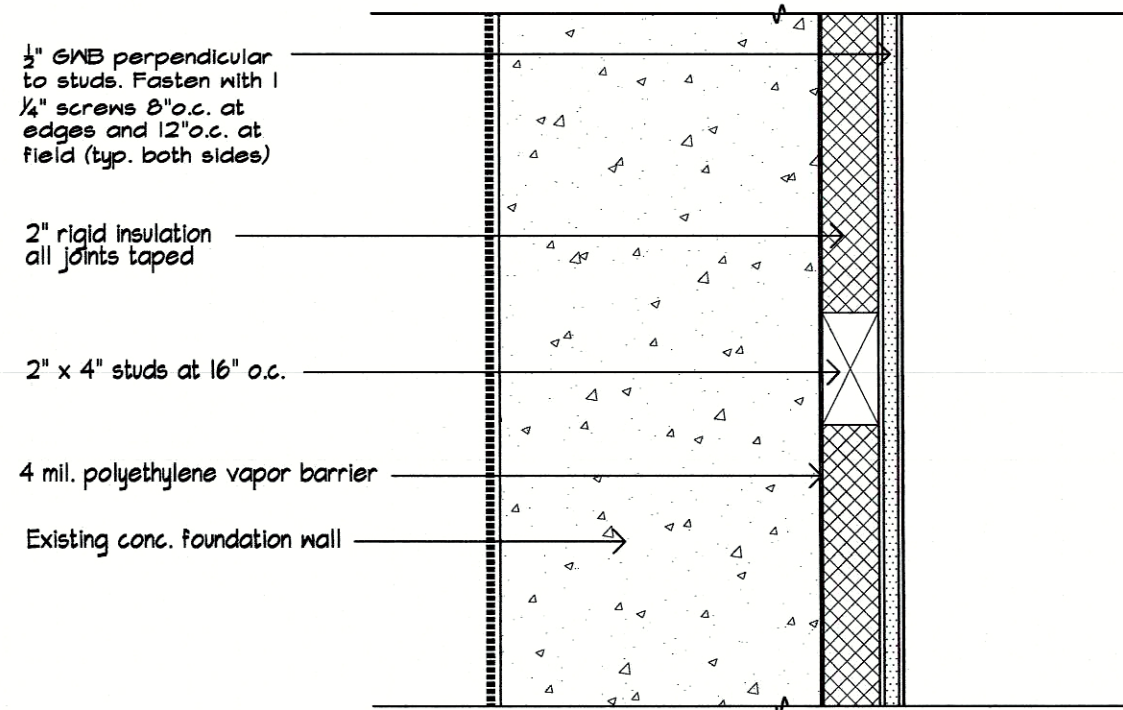
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ALTERATIONS to:
 20 Harvest Hill Rd.
 West Simsbury CT 06092

DOORS AND WINDOW SCHEDULE SECTION DETAIL

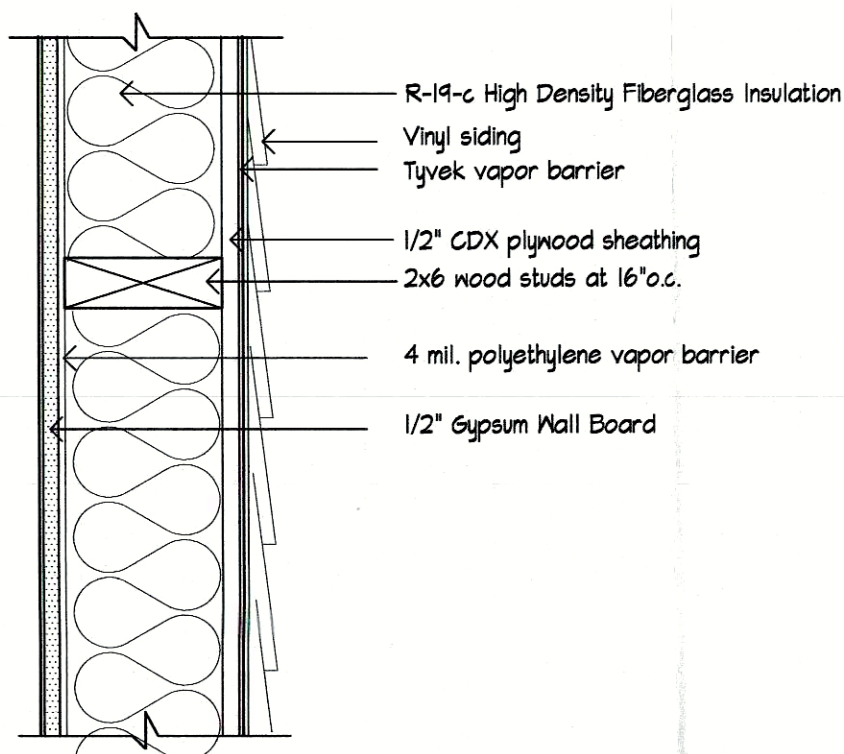
Project:
Initials: VG
Date: 11-02-22
Revisions:

A-3



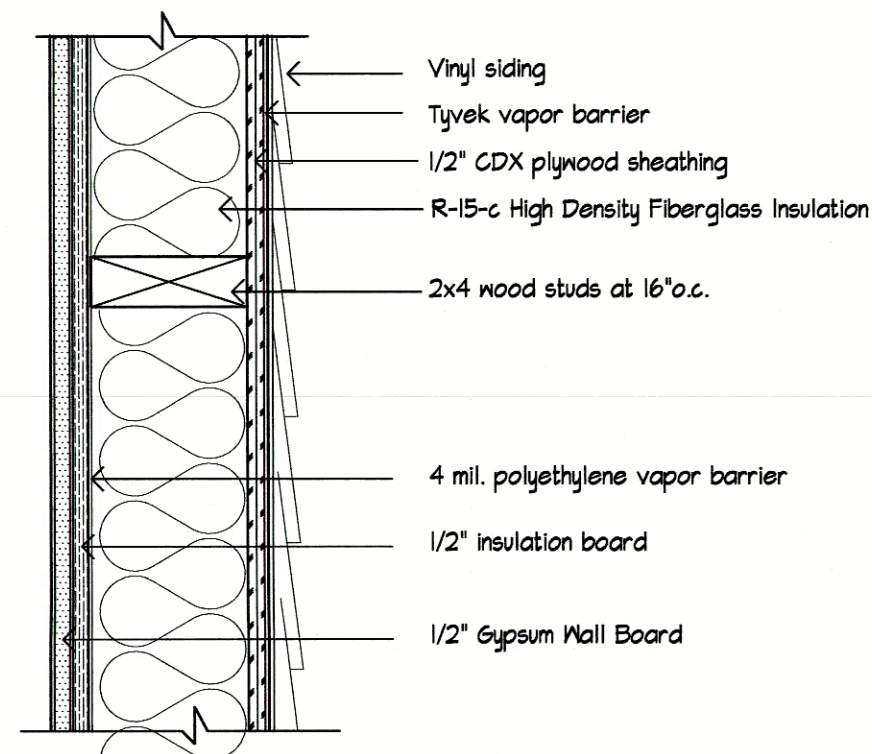
Provide 1/2" Moisture Resistant Gypsum Board at all Bathroom walls & ceilings, Kitchen and Laundry Rm. walls at sinks, and any other areas subject to exposure or potential moisture.

WALL TYPE 1
SCALE: 1-1/2"=1'-0"



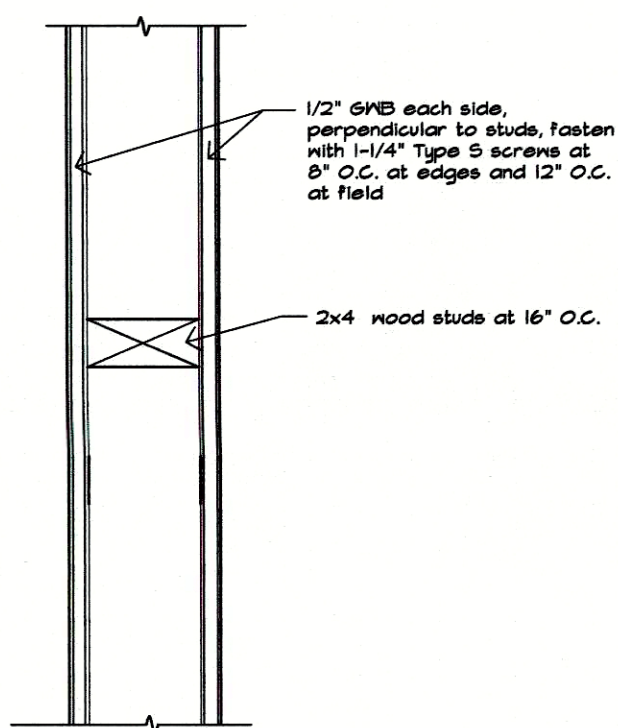
Provide 1/2" Moisture Resistant Gypsum Board at all Bathroom walls & ceilings, Kitchen and Laundry Rm. walls at sinks, and any other areas subject to exposure or potential moisture.

WALL TYPE 2
SCALE: 1-1/2"=1'-0"



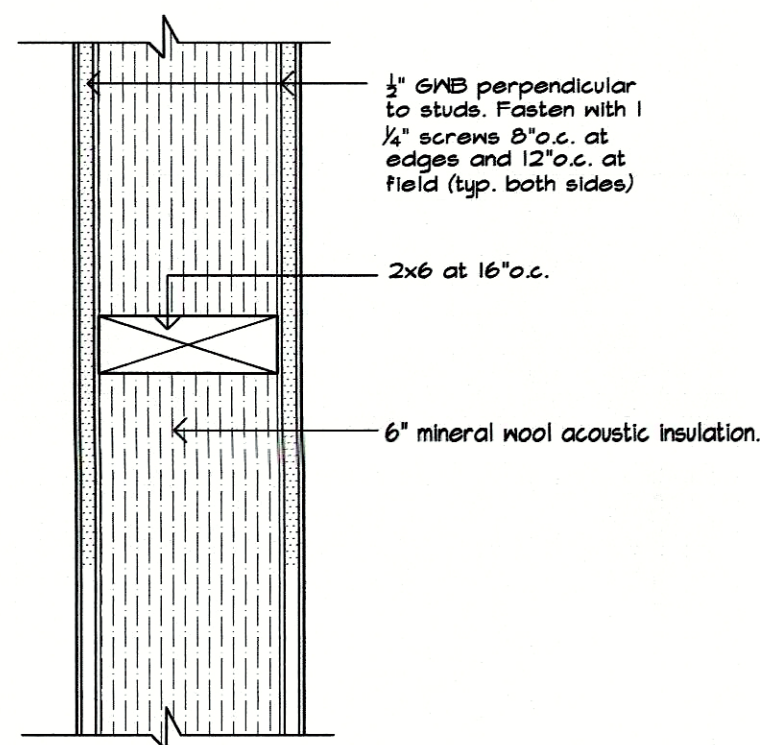
Provide 1/2" Moisture Resistant Gypsum Board at all Bathroom walls & ceilings, Kitchen and Laundry Rm. walls at sinks, and any other areas subject to exposure or potential moisture.

WALL TYPE 3
SCALE: 1-1/2"=1'-0"



Provide 1/2" Moisture Resistant Gypsum Board at all Bathroom walls & ceilings, Kitchen and Laundry Rm. walls at sinks, and any other areas subject to exposure or potential moisture.

NON-RATED PARTITION
WALL TYPE 4
SCALE: 1-1/2"=1'-0"

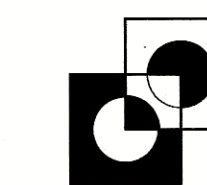


Provide 1/2" Moisture Resistant Gypsum Board at all Bathroom walls & ceilings, Kitchen and Laundry Rm. walls at sinks, and any other areas subject to exposure or potential moisture.

WALL TYPE 5
SCALE: 1-1/2"=1'-0"

NOTE:

ALL DEMOLITION AND CONSTRUCTION WORK IS TO BE ACCOMPLISHED WHILE BUILDING IS BEING OCCUPIED. MAINTAIN REQUIRED SAFETY BARRIERS AND EGRESS AT ALL TIME. PROVIDE SAFETY PROTECTION TO OCCUPANTS. MAINTAIN BUILDING SEALED FROM WEATHER CONDITIONS AT ALL TIMES. COORDINATE WORK AND SAFETY PROCEDURES WITH OWNER.



Valerio Giadone Architect

100 Sachem Drive
Middletown CT 06457

email: giadone@comcast.net Tel. (860) 372-0134

General Notes

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ALTERATIONS to:
20 Harvest Hill Rd.
West Simsbury CT 06092

WALL TYPES

Project:
Initials: VG
Date: 11-02-22
Revisions:

A=4