



Town of Simsbury

933 HOPMEADOW STREET

SIMSBURY, CONNECTICUT 06070

Office of Community Planning and Development

To: Simsbury Zoning Commission

From: George K. McGregor, AICP, Planning Director

Date: December 5, 2022

RE: Application ZC #22-40 of Larry Atherton, Owner/Applicant, for a Site Plan pursuant to Section 3 of the Simsbury Zoning Regulations to allow a \pm 540 sq. ft. attached accessory dwelling unit at 20 Harvest Hill Road (Assessor's Map D10 Block 133 Lot 073). Zone R-40.

Summary of Request

Larry Atherton, the Owner of 20 Harvest Hill Road, is requesting a Site Plan approval to convert the existing garage into a \pm 540 square foot accessory dwelling unit. The proposed accessory dwelling unit is located on the far right of the home below.



Telephone (860) 658-3245
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8:30 - 7:00 Monday
8:30 - 4:30 Tuesday through Thursday
8:30 - 1:00 Friday

An aerial view provides a good perspective; the arrow points to the existing garage:



Per Section 3.5.2 (A) – Accessory Dwelling Units – Attached Accessory Dwelling Units, one (1) accessory attached dwelling unit in a structure may be permitted by Site Plan.

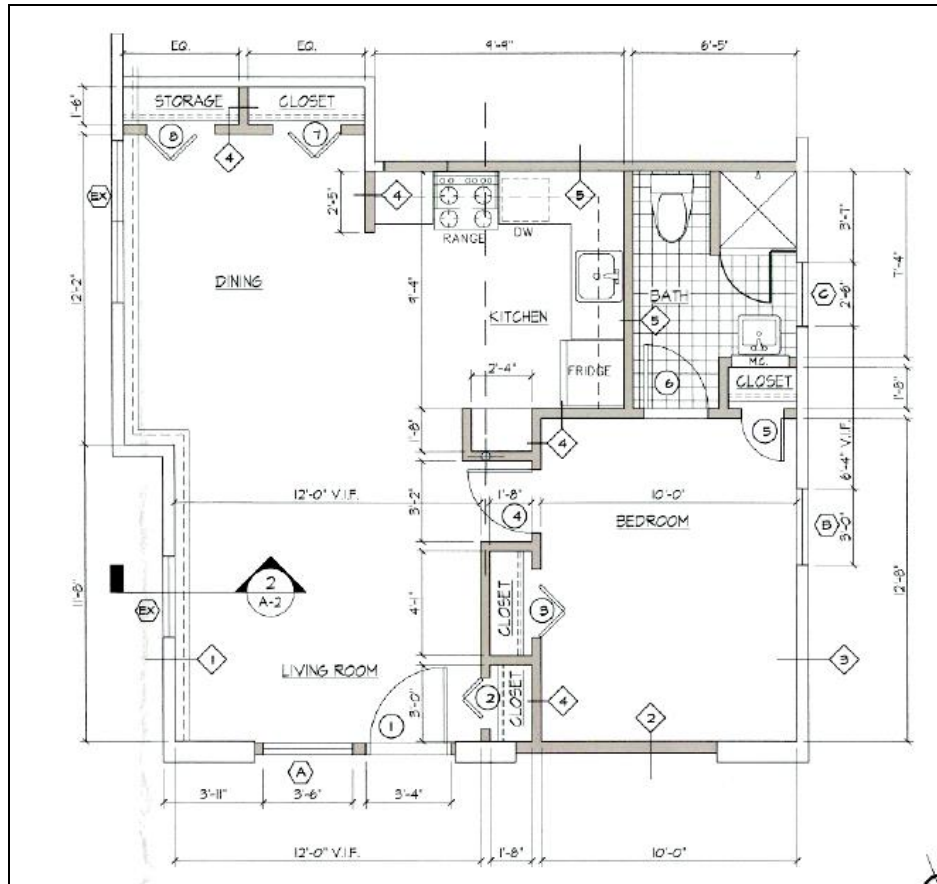
Staff Analysis

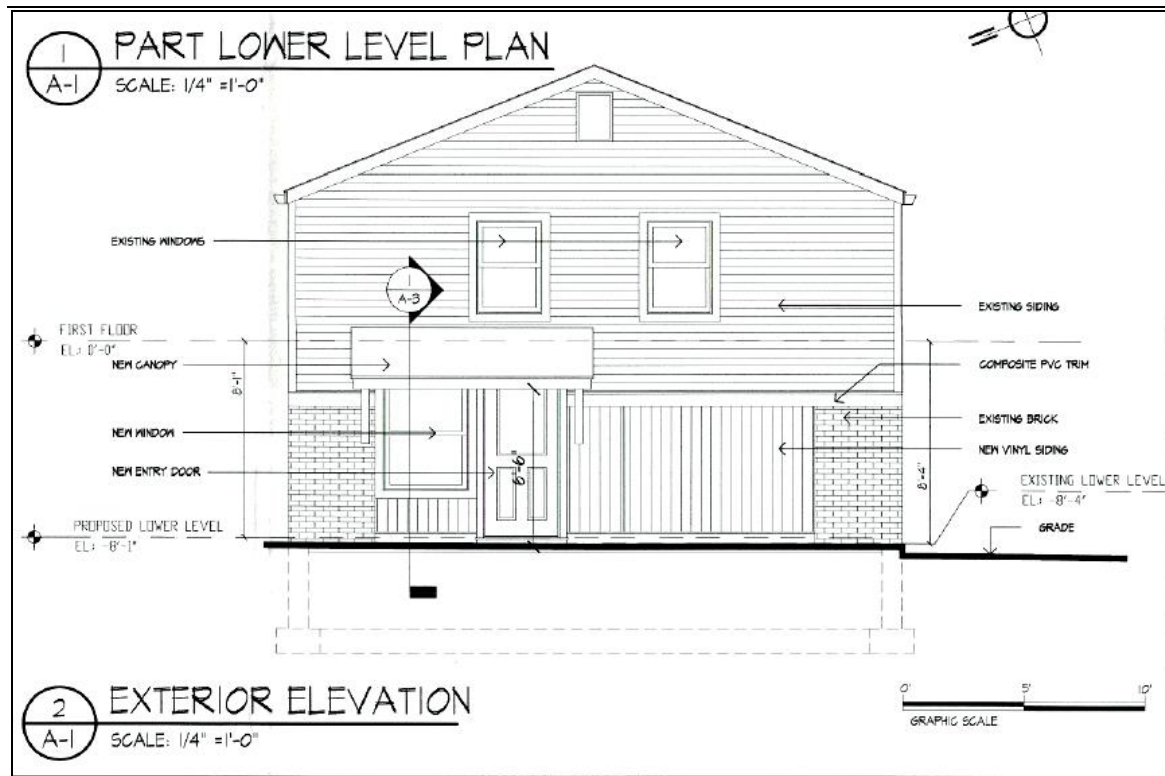
An attached accessory dwelling unit is permitted at a maximum size of 30% of the structure or 600 square feet, whatever is greater. At 540 sq.ft., the ADU meets the requirements. The house has 1,764 sq.ft. of living area along with 578 sq.ft. of basement finished area. The property is one (1) acre in size.

There is no expansion of impervious surface. The driveway in front of the garage provides two parking spaces and there is an additional space cut out along the driveway. Adequate parking is provided.

The Applicant has provided architectural information and two optional elevation designs. Staff has no preference and since the application is an improvement to a single residential property, it did not undergo Design Review. Both designs are compatible with the home.

The Health Department has APPROVED the septic permit for the additional bedroom (from 3 to 4 bedrooms).





Note that the Applicant previously submitted a request for a detached unit, ZC 22-25, which went to public hearing in September then subsequently withdrawn.

The plan provided by the owner conforms to the requirements of the Town of Simsbury Zoning Regulations. Planning Staff recommends approval.

Draft Motion

A draft motion in the affirmative has been prepared for the commission for discussion purposes. Please refer to attachment “A” for the draft language.

**Attachment “A”
Monday, December 5, 2022
Simsbury Zoning Commission**

MOVED, The Zoning Commission Approves **Application ZC #22-40** of Larry Atherton, Owner/Applicant, for a Site Plan pursuant to Section 3 of the Simsbury Zoning Regulations to allow a 540 sq.ft +- accessory dwelling unit at 20 Harvest Hill Road (Assessor’s Map D10 Block 133 Lot 073) Zone R-40. The Commission finds that the application for a Site Plan has met the standards set in Section 3.5.2 (Accessory Buildings and Uses) and is subject to the following conditions:

1. The property shall be developed in substantial conformance with the plan dated 11-2-22, prepared by Valerio Giddone Architect, Sheets A-1 to A-3.
2. An administrative zoning permit is required for construction.

