



# Town of Simsbury

Office of Community Planning and Development - Zoning Commission Application

DATE: 1/24/2023 FEE: \$ 240 CK #: 2799 APP #: 23-06

PROPERTY ADDRESS: 740 Hopmeadow Street, Simsbury CT 06070

NAME OF OWNER: Bank of America Corp.

MAILING ADDRESS: 101 N Tryon, Charlotte, NC 28255

EMAIL ADDRESS: c/o august.hayes@cbre.com TELEPHONE # c/o 860-244-4093

NAME OF AGENT: Project Expeditors Consulting Corp.

MAILING ADDRESS: 28 Station Street, Manalapan NJ 07726

EMAIL ADDRESS: c/o kkeene@peconsultingcorp.com TELEPHONE # 732-786-2484

ZONING DISTRICT: SCZ LOT AREA: 2.7 acres SQ FT/ACRES

Does this site have wetlands?  YES  NO Have you applied for a wetlands permit?  YES  NO

**REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):**

- ZONE CHANGE:** The applicant hereby requests that said premises be changed from zone \_\_\_\_\_ to zone \_\_\_\_\_.
- TEXT AMENDMENT:** Please attach proposed changes, including Articles and Sections, and purposes.
- SPECIAL EXCEPTION:** The applicant hereby requests a public hearing pursuant to Article \_\_\_\_\_, Section \_\_\_\_\_.
- SITE PLAN APPROVAL:** The applicant hereby requests
  - PRELIMINARY
  - FINAL
  - SITE PLAN AMENDMENT** pursuant to Article 5, Section J
- SIGN PERMIT**
- OTHER (PLEASE EXPLAIN):** \_\_\_\_\_

Amended site plan approval for trash enclosure, landscape upgrades, fencing and bollard per plans prepared by Approach3.

*NOTE: Each application must fully comply with the requirements of the Zoning Regulations prior to receipt by the Commission. Each application for zone change and/or special exception shall include a list of names and addresses of abutting property owners and all property owners within 100 feet of the subject site.*

A check payable to the Town of Simsbury must accompany this **original signed and dated** application. **Six (6) complete (folded) sets of plans and eleven (11) copies of the completed application and correspondence** must also be included. If you have a PDF of your plans, we would appreciate a copy of that sent to [larkowski@simsbury-ct.gov](mailto:larkowski@simsbury-ct.gov), as well.

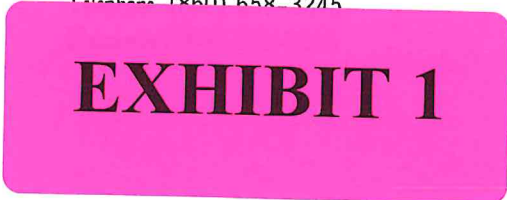
 1/24/23  
 August Hayes, CBRE PJM, Bank of America  
 Signature of Owner Date

 1/24/23  
 Signature of Agent Date

Telephone: (860) 658-3245

www.simsbury-ct.gov

933 Hopmeadow Street  
Simsbury, CT 06070



02-16-2023 0098 CHECK 240.00

**MEMORANDUM**

Date: January 24, 2023

To: Simsbury Planning Board

From: Bryan Poisson

Regarding: Bank of America – 740 Hopmeadow Street – Simsbury, CT 06070

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Summary Description:

This proposed project at 700 Hopmeadow Street is part of Bank of America's Exterior Refurbishment Program. The bank is seeking to refresh the existing façade and to replace the existing signage with their new NexGen standards. (The signage work has been approved and a permit issued, Permit #B-22-0997). The bank is looking to make the following design changes and improvements

- Replace, repair, and paint the existing façade upper trim with the bank standard exterior color, EXPT-15.
- Replace, repair, and paint the existing façade lower trim with the bank standard exterior color EXPT-16.
- Clean the existing exterior masonry walls and columns.
- Clean the existing asphalt shingled roof.
- Clean the existing concrete entry steps, ramp, and railings.
- Provide a new wooden fence dumpster enclosure.
- Re-sleeve the existing yellow bollards with new bank standard bollard covers.
- Conceal exposed conduits.
- Add light fixture to Northwest façade as an external light for the approved sign.
- Add railing to the top of the existing masonry retaining wall.
- Provide new landscaped areas with plants to match the existing vegetation.

Provided documents include:

- Civil and Landscape plans prepared by Stonefield Engineering dated 12.02.2022 which include a cover sheet, existing conditions plan, demolition plan, site plan & landscaping plan, and notes & details.
- Architectural plans prepared by Approach dated 01.24.2023 which include proposed materials, location map, existing and proposed exterior images, demolition plan, exterior elevations with proposed demolition, construction plan, and exterior elevations with proposed improvements.

## Hollis Joseph

---

**From:** Barkowski Laura  
**Sent:** Wednesday, January 25, 2023 3:01 PM  
**To:** Hollis Joseph  
**Subject:** FW: CT, Simsbury, 740 Hopmeadow St., Bank of America Retail Exterior Renovation

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

To be added to file once they officially submit

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**From:** Dianne Harding <DHarding@fvhd.org>  
**Sent:** Wednesday, January 25, 2023 1:45 PM  
**To:** Kimberly Keene <KKeene@peconsultingcorp.com>  
**Cc:** Barkowski Laura <lbarkowski@simsbury-ct.gov>  
**Subject:** RE: CT, Simsbury, 740 Hopmeadow St., Bank of America Retail Exterior Renovation

Kimberly,

Lead based paint is a concern because this building was built before 1978. The plans submitted show some painted surfaces to be renovated.

Unless tested or otherwise documented, the assumption is that some layer of paint is lead based; therefore, all work on painted surfaces should be done using "lead safe" practices.

The links below have useful information if you are not familiar with this type of requirement.

Please contact me if you have any questions and/or concerns.

Dianne

[https://portal.ct.gov/DPH/Environmental-Health/Lead-Poisoning-Prevention-and-Control//-/media/Departments-and-Agencies/DPH/dph/environmental\\_health/lead/Case-Management/Steps-to-lead-safe-renovation.pdf](https://portal.ct.gov/DPH/Environmental-Health/Lead-Poisoning-Prevention-and-Control//-/media/Departments-and-Agencies/DPH/dph/environmental_health/lead/Case-Management/Steps-to-lead-safe-renovation.pdf)

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**Dianne Harding, R.S.**

*Chief Sanitarian*

Farmington Valley Health District

95 River Rd. Suite C

Canton, CT 06019

O-860-352-2333 X309 |C- 860-989-9582 |F- 860-352-2542

Email- [dharding@fvhd.org](mailto:dharding@fvhd.org)

FVHD website- [www.fvhd.org](http://www.fvhd.org)

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**From:** Kimberly Keene <KKeene@peconsultingcorp.com>  
**Sent:** Wednesday, January 25, 2023 1:05 PM  
**To:** Dianne Harding <DHarding@fvhd.org>  
**Subject:** CT, Simsbury, 740 Hopmeadow St., Bank of America Retail Exterior Renovation

Good afternoon,

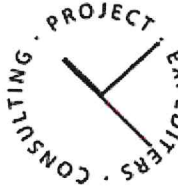
I am working on a submission to the town of Simsbury Zoning Commission. Per their requirements I am providing a copy of the application and project plans. The scope is exterior and aesthetic in nature so I do not anticipate any issues with the Health Department; however, please review and advise if you have any comments if need further information.

Thank you,

Kimberly Keene

M: (609) 664-6001

O: (732) 786-2484 X 224

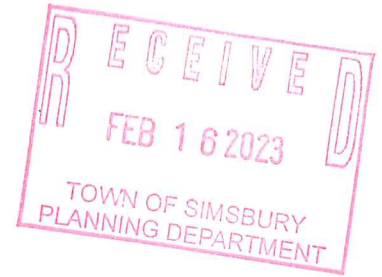
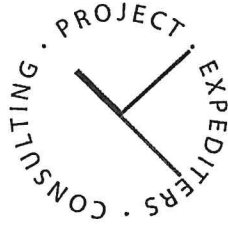


**Project Expeditors Consulting Corp., WBE, WBENC Certified**

28 Station Street  
Manalapan, NJ 07726  
Office: 732-786-2484  
Fax: 732-617-6966

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Accounting question? Please copy: [Accounting@peconsultingcorp.com](mailto:Accounting@peconsultingcorp.com)  
[www.peconsultingcorp.com](http://www.peconsultingcorp.com)*





February 6, 2023

Town of Simsbury  
Planning and Land Use Department  
Attn: Laura Barkowski

Re: Bank of America / Exterior Improvements  
740 Hopmeadow Street  
Simsbury, CT 06070

Town of Simsbury,

Bank of America is proposing exterior improvements to the existing bank. Plans have been prepared by Approach 3 architect and Stonefield engineering. The project requires site plan approval and DRB Board approval. Per the requirements of approval, notification to the Water Pollution Control Authority, Simsbury Fire Marshal and Farmington Valley Health District are to be made. Please let this letter serve that all 3 of these entities have been notified and provided project plans. Contacts are listed below:

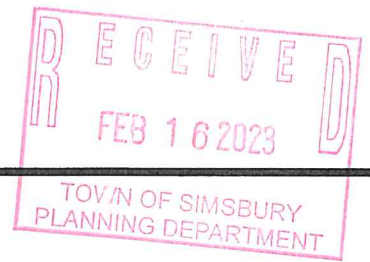
Anthony Piazza of the Water Pollution Control Authority  
Patrick T. Tourville of the Simsbury Fire Department  
Diane Harding with the Farmington Valley Health District

Best regards,

Kimberly Keene  
Senior Project Manager

## Kimberly Keene

---



**From:** Kimberly Keene  
**Sent:** Wednesday, January 25, 2023 12:06 PM  
**To:** ptourville@simsburyfd.org  
**Subject:** CT, Simsbury, 740 Hopmeadow St., Bank of America Retail Exterior Renovation  
**Attachments:** 1 BoA Simsbury Narrative 2023\_JAN\_24.pdf; 2 BoA Simsbury Architectural Drawings 2023\_JAN\_24.pdf; 3 BoA Simsbury Civil Drawings 2022\_DEC\_02.pdf; Site Plan Ammendment App\_Simsbury CT 740 2023.01.25.pdf

Good afternoon Patrick,

Thank you for taking the time to discuss this Bank of America exterior renovation project yesterday afternoon. As discussed, I am providing a PDF of the plans for this project for your review.

Attached in this email:

- Civil plans
- Architectural plans
- Narrative letter
- Amended site plan application for this project.

Please screen and let me know if you would like a set of hard copy plans sent to your office.

Best regards,

Kimberly Keene

M: (609) 664-6001  
O: (732) 786-2484 X 224



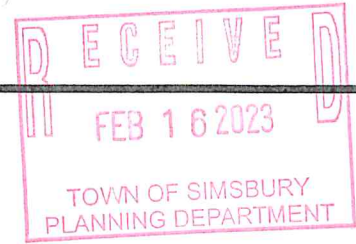
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Accounting question? Please copy: [Accounting@peconsultingcorp.com](mailto:Accounting@peconsultingcorp.com)  
[www.peconsultingcorp.com](http://www.peconsultingcorp.com)*

**Kimberly Keene**

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**From:** Dianne Harding <DHarding@fvhd.org>  
**Sent:** Wednesday, January 25, 2023 1:45 PM  
**To:** Kimberly Keene  
**Cc:** lbarkowski@simsbury-ct.gov  
**Subject:** RE: CT, Simsbury, 740 Hopmeadow St., Bank of America Retail Exterior Renovation

Kimberly,

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Please contact me if you have any questions and/or concerns.

Dianne

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Thank you,

Kimberly Keene

M: (609) 664-6001

O: (732) 786-2484 X 224



[Home » apiazza](#)

## Contact Anthony Piazza

Your name \*

Kimberly Keene

Your e-mail address \*

kkeene@peconsultingcorp.com

Subject \*

740 Hopmeadow St.- Bank of America - Ext. Work

Message \*

Good morning,

I am working on obtaining Town approval for proposed exterior improvements to the existing Bank of America. There is no utility scope nor any trenching. The work consists predominantly of aesthetic enhancements which include fencing in dumpster, landscaping and the addition of a hand rail on an existing wall. I have attached project plans for your office to review as it is a Town requirement that I notify you. Kindly, advise if you have any comments or concerns. I can be reached at 732-786-2484 or via cell 609-664-6001.

Thank you,

Kimberly Keene

### Attachments

Files must be less than 2 MB.

Allowed file types: txt doc pdf docx jpg gif png.



**From:** [Barkowski Laura](#)  
**To:** [Hollis Joseph](#)  
**Subject:** RE: CT, Simsbury, 740 Hopmeadow St., Bank of America Retail Exterior Renovation  
**Date:** Friday, February 3, 2023 8:52:02 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

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Just the email chain for now please.

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**From:** Hollis Joseph <jhollis@simsbury-ct.gov>  
**Sent:** Friday, February 3, 2023 8:27 AM  
**To:** Barkowski Laura <lbarkowski@simsbury-ct.gov>  
**Subject:** RE: CT, Simsbury, 740 Hopmeadow St., Bank of America Retail Exterior Renovation

Do you want the lead safety practices in the file or just the email chain showing she reached out to FVHD?

Thanks,

Joseph Hollis  
Land Use Specialist  
Town of Simsbury  
933 Hopmeadow Street  
Simsbury, CT 06070  
P(860) 658 3245  
F(860) 658 3217  
[jhollis@simsbury-ct.gov](mailto:jhollis@simsbury-ct.gov)



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**Sent:** Wednesday, January 25, 2023 3:01 PM  
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**[www.peconsultingcorp.com](http://www.peconsultingcorp.com)**



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# **Simsbury**

## **Exterior Renovation**

Manhattan ID: CT2-151  
Financial Center ID: 13284  
OneView Project No: 02819P3F6635  
Kahua Project No: K1005178

**740 Hopmeadow Street**  
**Simsbury, CT 06070**

Architect's Project No: 2203

### **Facility Partner**

August Hayes  
CBRE  
101 East River Drive  
East Hartford, CT 06108  
860-244-4093

### **Architect**

Bryan D. Poisson  
APPROACH<sup>3</sup>  
36 Bromfield Street  
Boston, MA 02108  
617.556.2627

### **Civil Engineer**

Jake Modestow  
Stonefield Engineering  
120 Washington Street  
Salem, MA 01970  
201.340.4468

### **General Contractor**

Selected by Closed Bid

January 24, 2023







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EXISTING CONDITIONS AT NORTHWEST CORNER  
SCALE: N.T.S. ①



PROPOSED DESIGN AT NORTHWEST CORNER  
(SIGNAGE INDICATED HAS BEEN APPROVED UNDER A SEPARATE PERMIT) SCALE: N.T.S. ①



EXISTING CONDITIONS AT SOUTHEAST ELEVATION  
SCALE: N.T.S. ②



PROPOSED DESIGN AT SOUTHEAST ELEVATION  
(SIGNAGE INDICATED HAS BEEN APPROVED UNDER A SEPARATE PERMIT) SCALE: N.T.S. ②



EXISTING CONDITIONS AT SOUTHWEST ELEVATION  
SCALE: N.T.S. ③



PROPOSED DESIGN AT SOUTHWEST ELEVATION  
(SIGNAGE INDICATED HAS BEEN APPROVED UNDER A SEPARATE PERMIT) SCALE: N.T.S. ③



**BANK OF AMERICA**

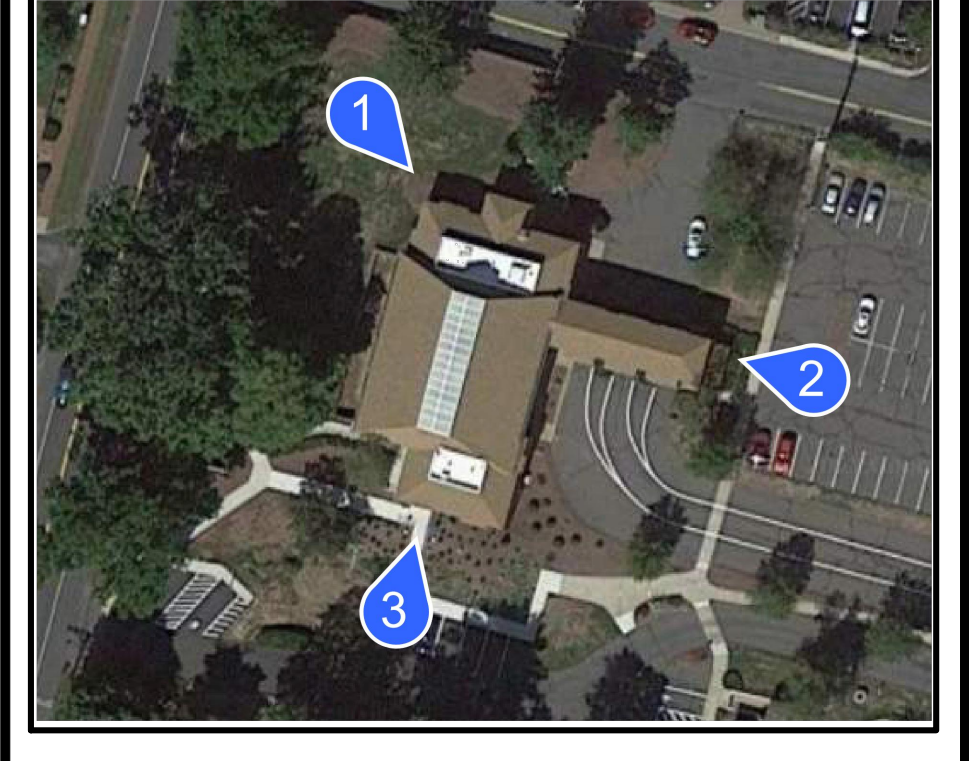
Simsbury  
Exterior Renovation  
740 HOPMEADOW STREET  
SIMSBURY, CT 06070

MHID: CT2-351  
FDD: 13284  
OVID: 02819P3F6635  
KVID: K1005178

**APPROACH<sup>3</sup>**  
ARCHITECTURE • CONSULTING • REAL ESTATE

A: 36 BROMFIELD STREET  
BOSTON, MA 02108  
O: 617.556.2627  
T: WWW.APPROACH3.COM

**KEY PLAN**



Issue	Date & Issue Description	By	Check
01	05/27/22 CD REVIEW SET	CMK	BDP
02	12/16/22 PLANNING BOARD REVIEW SET	BDP	CMK

Project Name  
BANK OF AMERICA  
SIMSBURY FINANCIAL CENTER

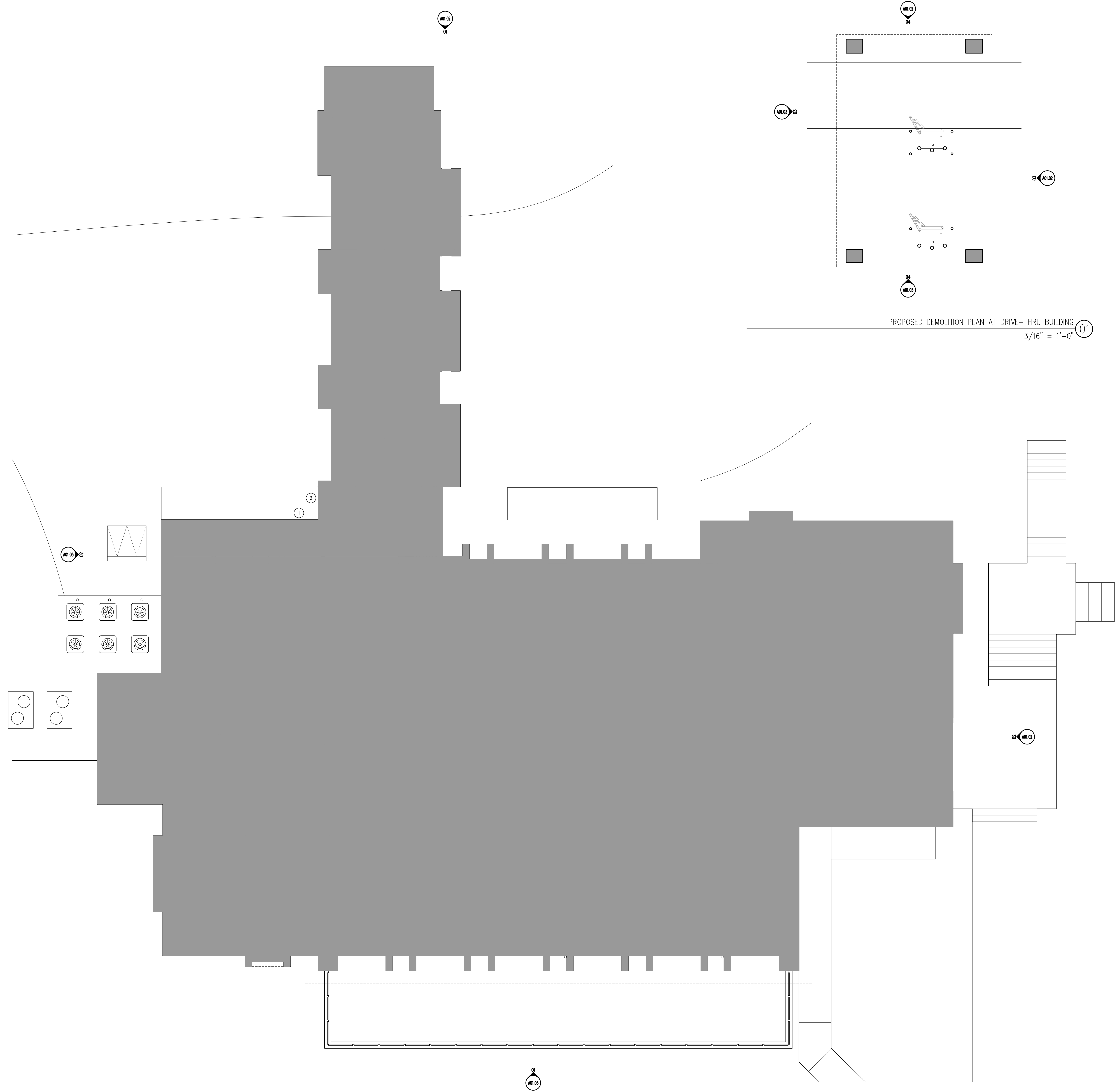
Architect Project Number  
2203

CAD File Name  
/2203/Drawings/CD's/  
Description  
EXISTING EXTERIOR IMAGES  
PROPOSED EXTERIOR IMAGES

Scale



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PROPOSED DEMOLITION PLAN AT DRIVE-THRU BUILDING  
3/16" = 1'-0" (01)

PROPOSED DEMOLITION PLAN AT MAIN BUILDING  
3/16" = 1'-0" (02)

**KEY NOTES**

- ① REMOVE ABANDONED MECHANICAL SYSTEM COMPONENT.
- ② REMOVE EXISTING METAL PANEL CLADDING AT CANOPY. PREP SUBSTRATE AND STRUCTURE FOR NEW METAL CLADDING.

**SHEET NOTES**

- A. DIMENSIONS PROVIDED ARE BASED ON CAD SURVEY AND ESTIMATION FROM IMAGES. ALL DIMENSIONS ARE FOR REFERENCE ONLY AND TO BE FIELD VERIFIED BY CONTRACTOR ON SITE.
- B. COORDINATE EXTENT OF DEMOLITION WITH NEW PROPOSED SCOPE.
- C. REMOVE ALL EXISTING EXPOSED CONDUITS AND REROUTE INTERNALLY NOT TO BE EXPOSED. PATCH AND REPAIR EXTERIOR FINISH AT LOCATIONS OF PREVIOUS CONDUIT RUNS.



**BANK OF AMERICA**

**Simsbury Exterior Renovation**  
740 HOPMEADOW STREET  
SIMSBURY, CT 06070

MHID: CT2-151  
FDD: 13284  
OVID: 02819P00000  
KVID: K1000000



A: 36 BRONFIELD STREET  
BOSTON, MA 02108  
O: 617.556.2627  
T: WWW.APPROACH3.COM

Issue	Date & Issue Description	By	Check
01	05/27/22	CMK	BDP
CD REVIEW SET			
02	01/24/23	BDP	CMK
PLANNING BOARD REVIEW SET			

Seal/Signature

Project Name  
BANK OF AMERICA  
SIMSBURY FINANCIAL CENTER

Architect Project Number  
2203

CAD File Name  
/2203/Drawings/CD's/  
Description  
DEMOLITION PLAN

Scale  
3/8" = 1'-0"

**A01.01**

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**KEY NOTES**

- 1 REMOVE ABANDONED MECHANICAL SYSTEM.
- 2 REMOVE EXISTING METAL PANEL CLADDING AT CANOPY. PREP SUBSTRATE AND STRUCTURE FOR NEW METAL CLADDING.
- 3 REMOVE EXISTING BUILDING SIGNAGE. PATCH AND REPAIR EXISTING EXTERIOR WALL ASSEMBLY AS REQUIRED TO MATCH EXISTING ADJACENT. (WORK TO BE COMPLETED UNDER A SEPARATE PERMIT)



**BANK OF AMERICA**

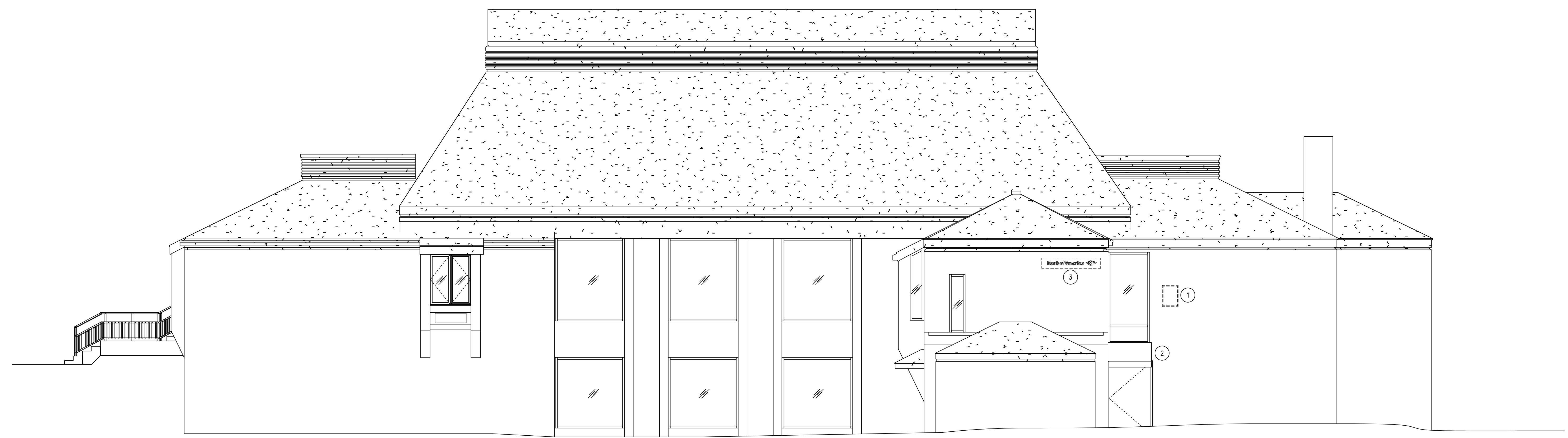
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Exterior Renovation**

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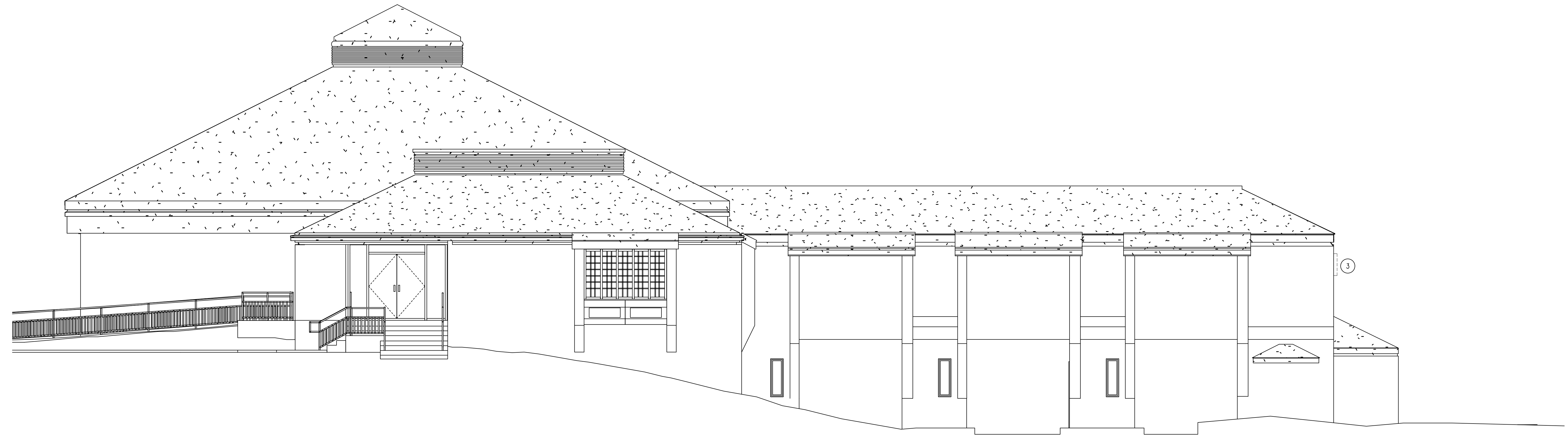
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FDD: 13284  
OVID: 02819P3F6635  
KVID: K1005178



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BOSTON, MA 02108  
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PROPOSED DEMOLITION - EAST ELEVATION AT MAIN BUILDING  
3/16" = 1'-0" 01

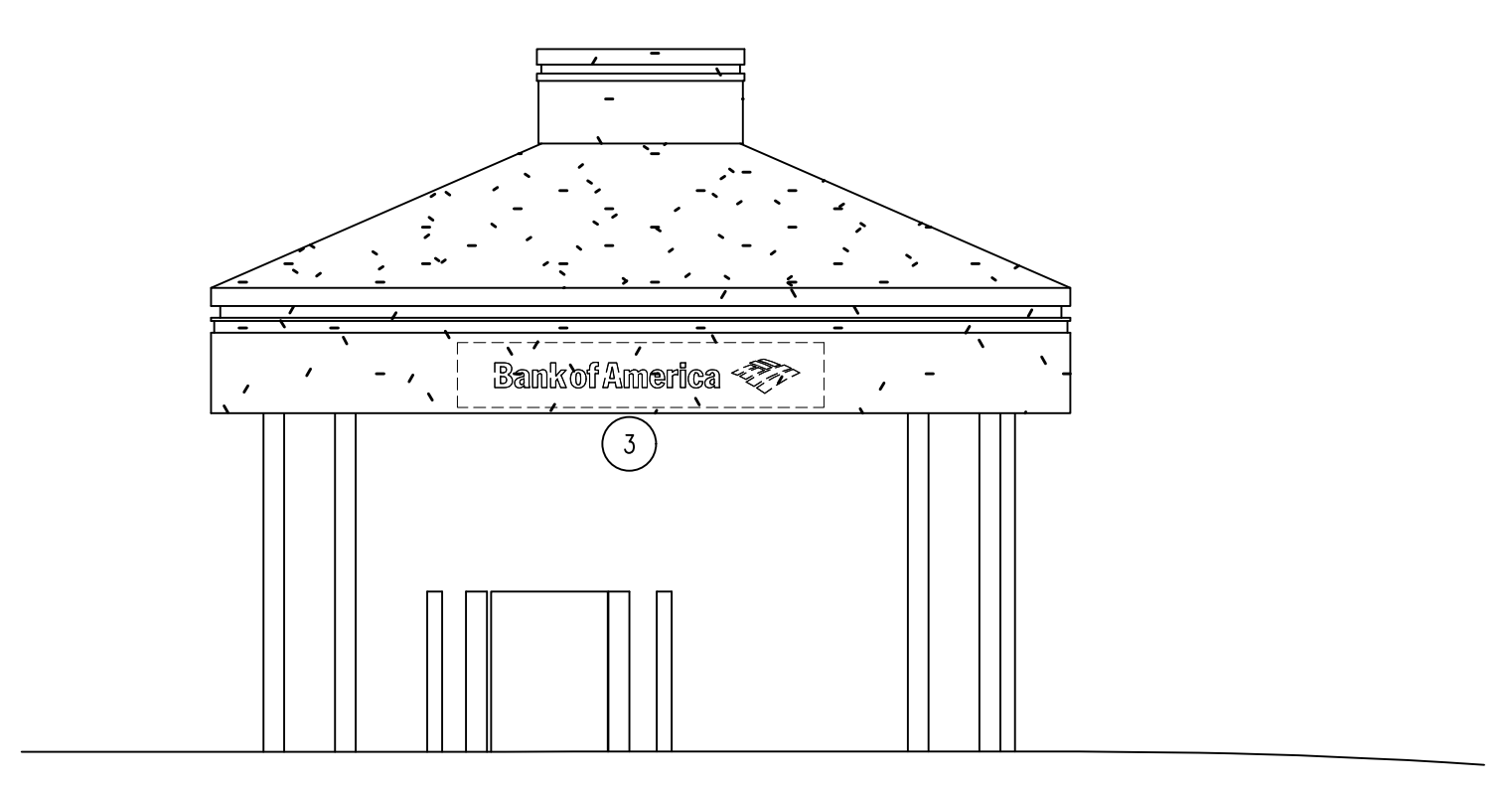


PROPOSED DEMOLITION - SOUTH ELEVATION AT MAIN BUILDING  
3/16" = 1'-0" 02

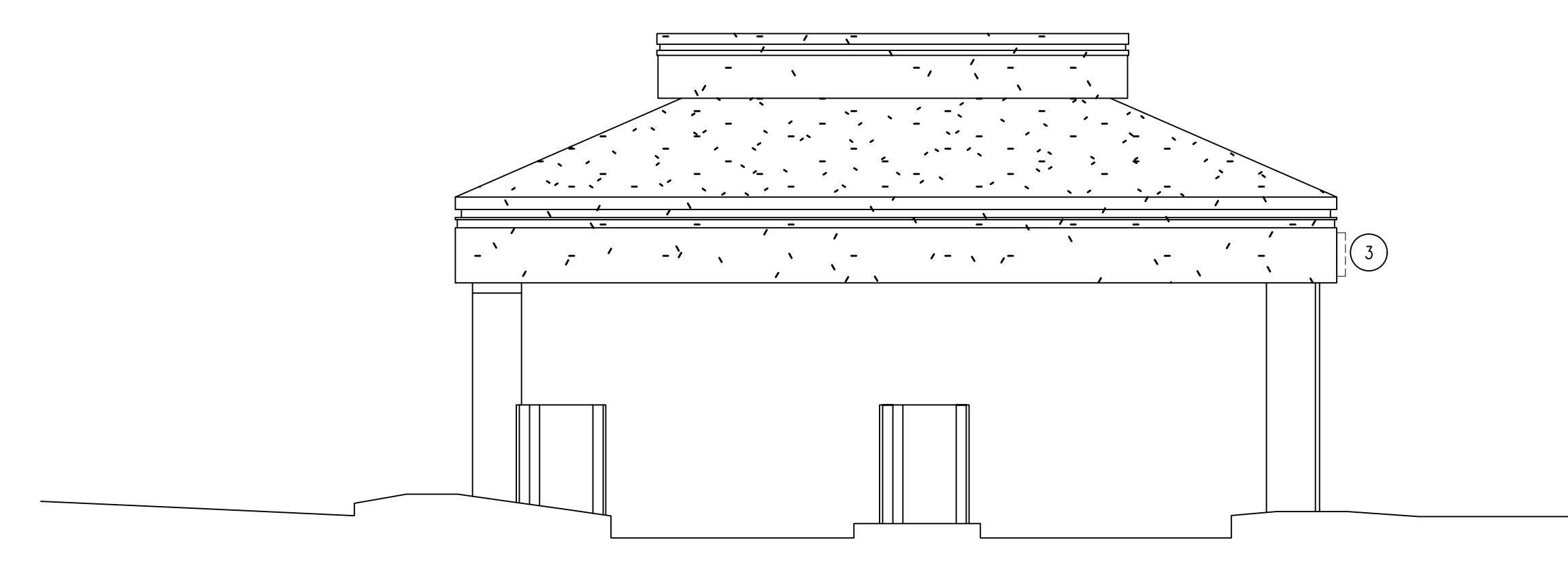
**SHEET NOTES**

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- B. COORDINATE EXTENT OF DEMOLITION WITH NEW PROPOSED SCOPE.
- C. REMOVE ALL EXISTING EXPOSED CONDUITS AND REROUTE INTERNALLY NOT TO BE EXPOSED. PATCH AND REPAIR EXTERIOR FINISH AT LOCATIONS OF PREVIOUS CONDUIT RUNS.

Issue	Date	Issue Description	By	Check
01	05/27/22	CD REVIEW SET	CMK	BDP
02	01/24/23	PLANNING BOARD REVIEW SET	BDP	CMK



PROPOSED DEMOLITION - EAST ELEVATION AT DRIVE-THRU BUILDING  
3/16" = 1'-0" 04



PROPOSED DEMOLITION - SOUTH ELEVATION AT DRIVE-THRU BUILDING  
3/16" = 1'-0" 03

Seal/Signature

Project Name  
BANK OF AMERICA  
SIMSBURY FINANCIAL CENTER

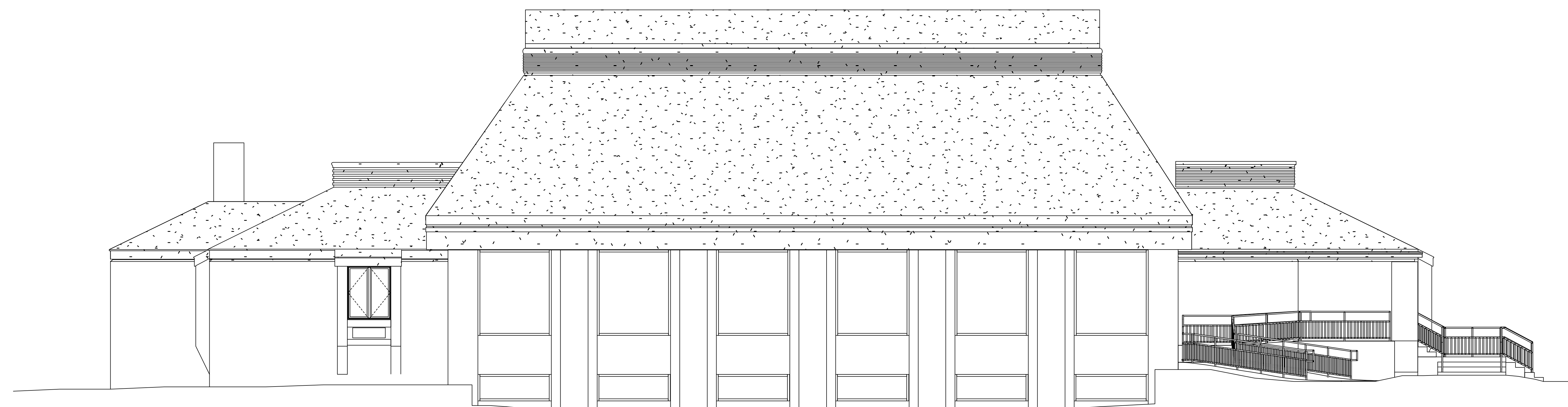
Architect Project Number  
2203

CAD File Name  
/2203/Drawings/CD's/  
Description  
PROPOSED DEMOLITION - EXTERIOR ELEVATIONS  
EAST AND SOUTH ELEVATIONS

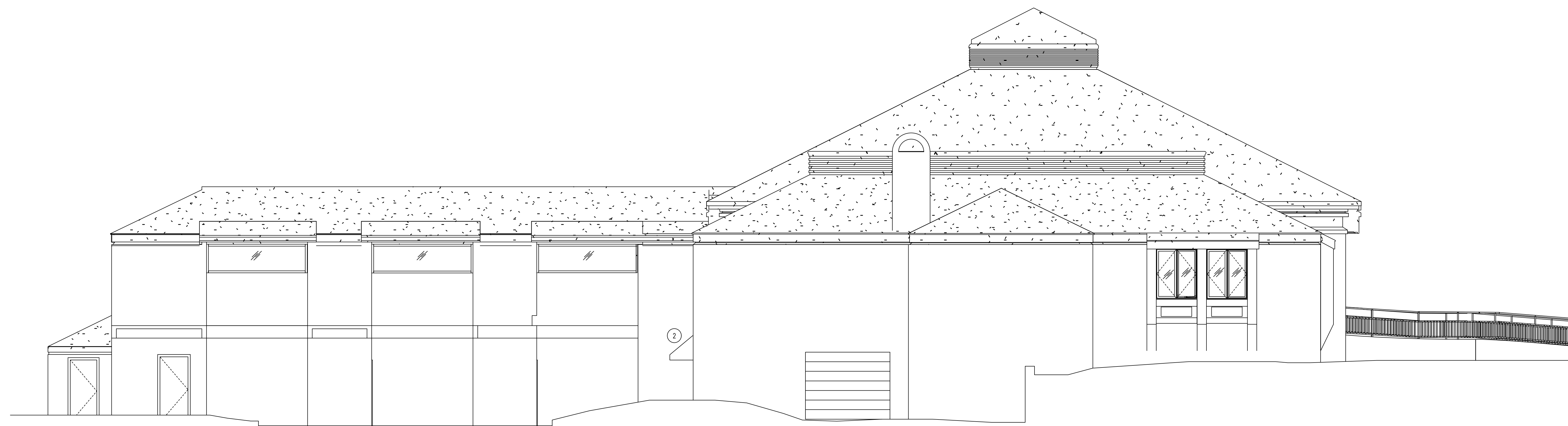
Scale  
3/16" = 1'-0"



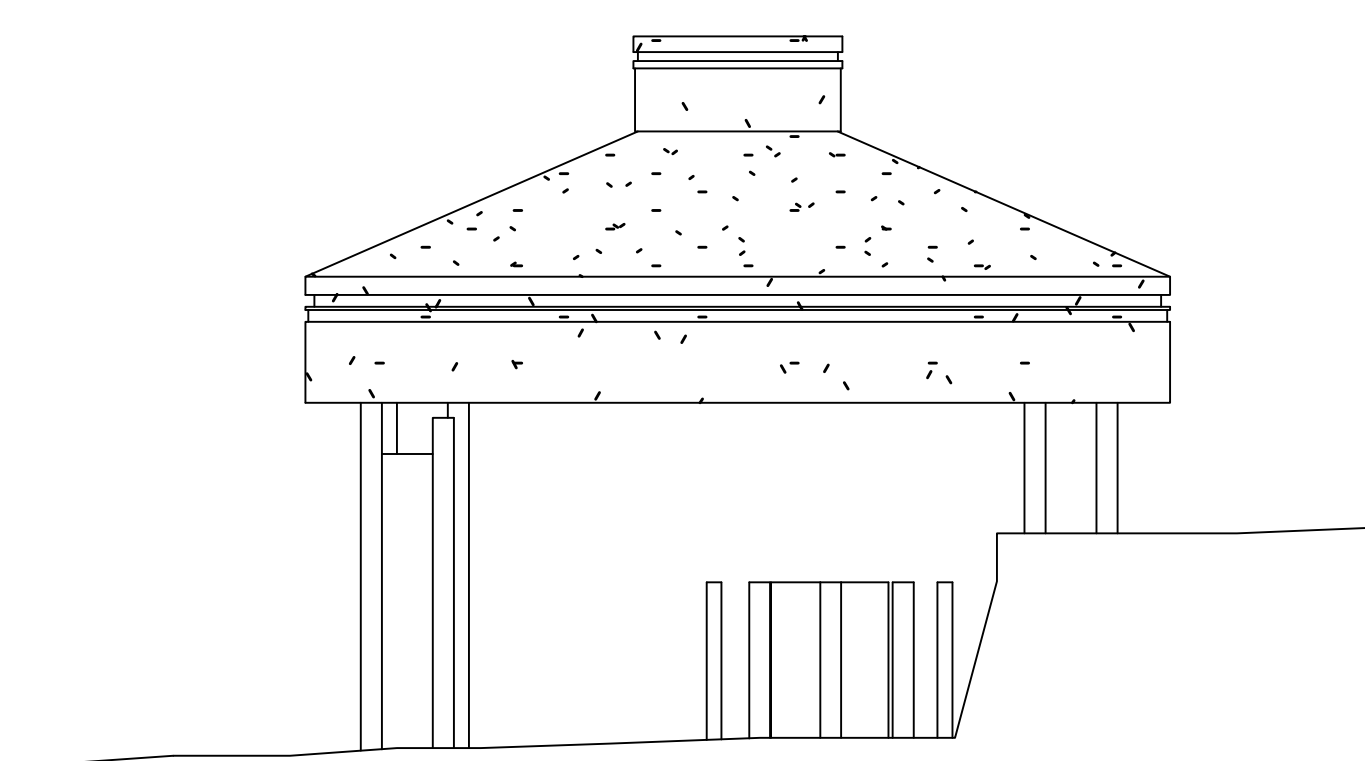
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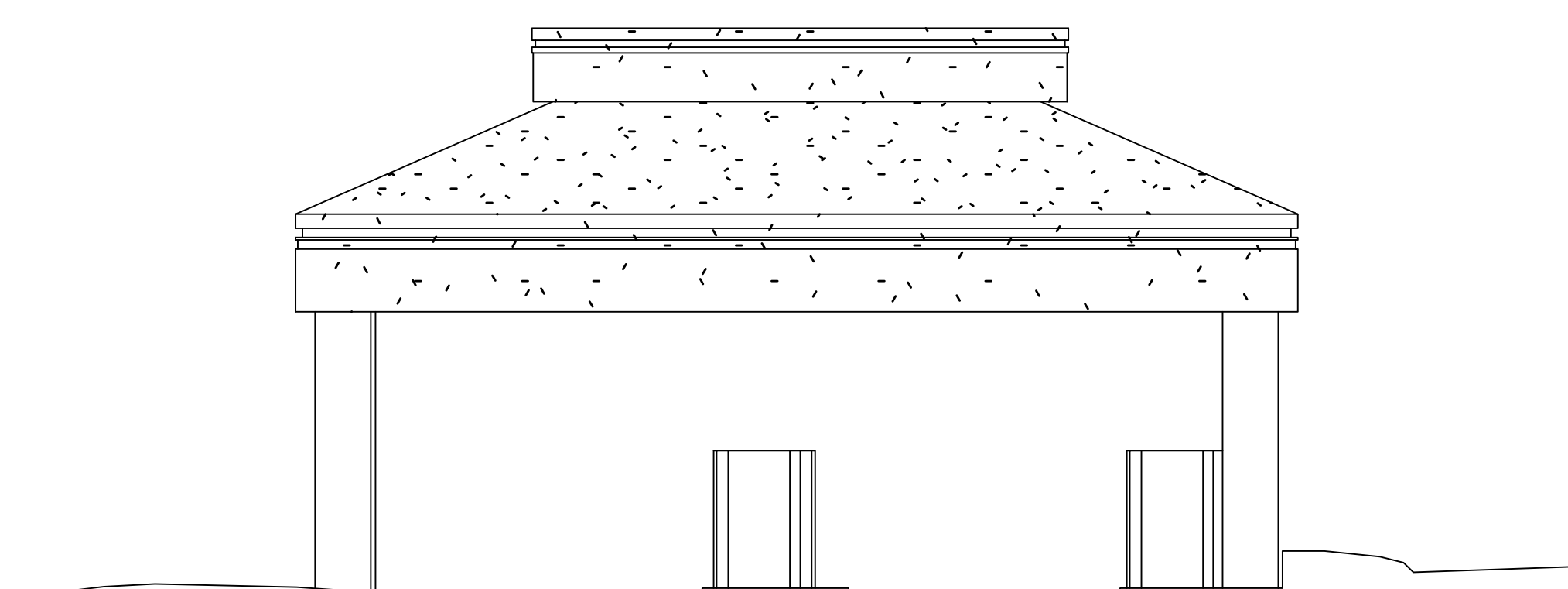
PROPOSED DEMOLITION - WEST ELEVATION AT MAIN BUILDING  
3/16" = 1'-0" 01



PROPOSED DEMOLITION - NORTH ELEVATION AT MAIN BUILDING  
3/16" = 1'-0" 02



PROPOSED DEMOLITION - WEST ELEVATION AT DRIVE-THRU BUILDING  
3/16" = 1'-0" 04



PROPOSED DEMOLITION - NORTH ELEVATION AT DRIVE-THRU BUILDING  
3/16" = 1'-0" 03

**KEY NOTES**

- 1 REMOVE ABANDONED MECHANICAL SYSTEM COMPONENT.
- 2 REMOVE EXISTING METAL PANEL CLADDING AT CANOPY. PREP SUBSTRATE AND STRUCTURE FOR NEW METAL CLADDING.
- 3 REMOVE EXISTING BUILDING SIGNAGE. PATCH AND REPAIR EXISTING EXTERIOR WALL ASSEMBLY AS REQUIRED TO MATCH EXISTING ADJACENT.

**SHEET NOTES**

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**BANK OF AMERICA**

**Simsbury  
Exterior Renovation**

740 HOPMEADOW STREET  
SIMSBURY, CT 06070

MHID: CT2-351  
FDD: 13284  
OVID: 02819P3F6635  
KVID: K1005178



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O: 617.556.2627  
T: WWW.APPROACH3.COM

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	PLANNING BOARD REVIEW SET		

Seal/Signature

Project Name  
BANK OF AMERICA  
SIMSBURY FINANCIAL CENTER

Architect Project Number  
2203

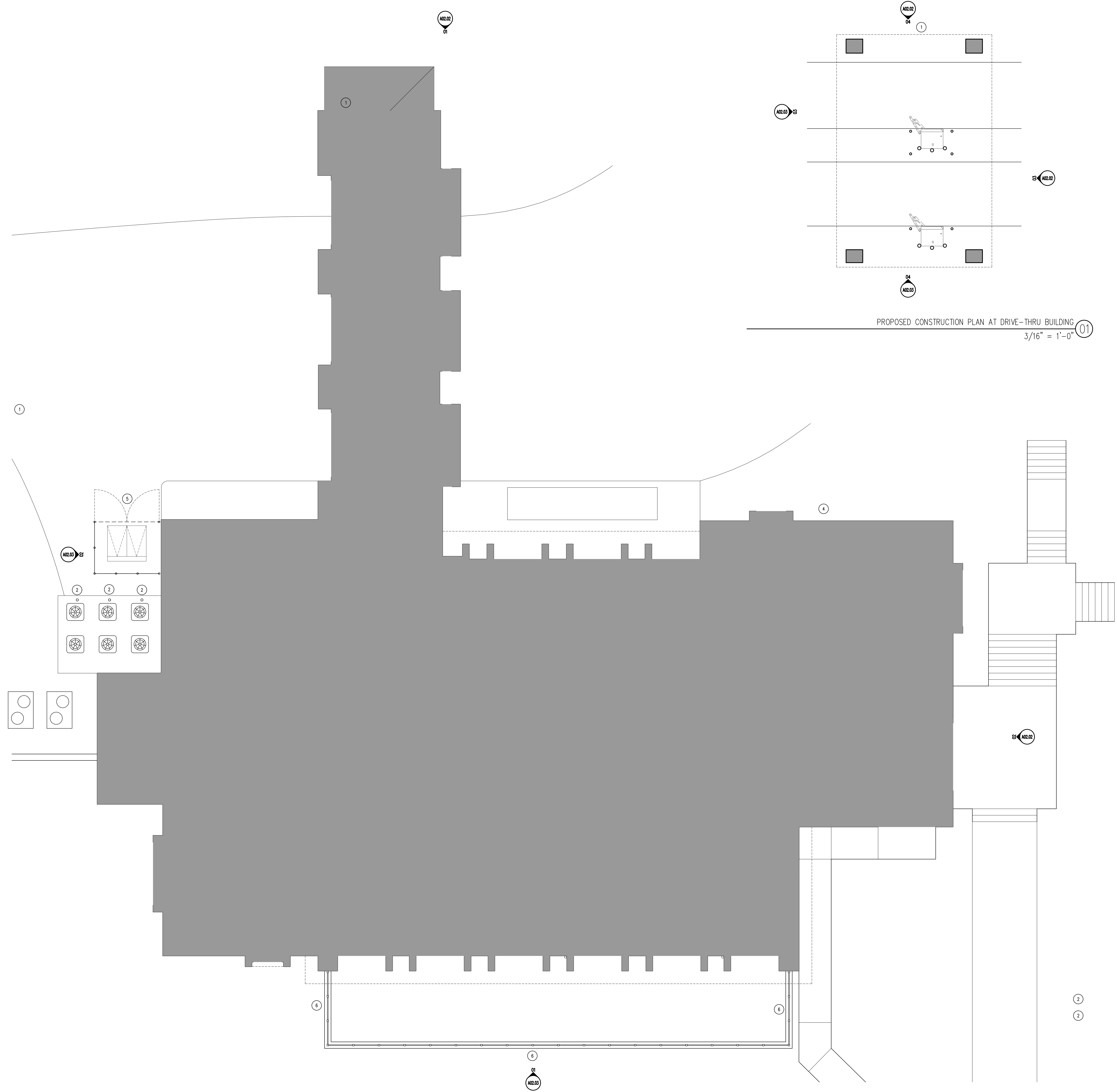
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/2203/Drawings/CD's/

Description  
PROPOSED DEMOLITION - EXTERIOR ELEVATIONS  
WEST AND NORTH ELEVATIONS

Scale  
3/16" = 1'-0"

**A01.03**

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PROPOSED CONSTRUCTION PLAN AT DRIVE-THRU BUILDING  
3/16" = 1'-0" (01)

PROPOSED CONSTRUCTION PLAN AT MAIN BUILDING  
3/16" = 1'-0" (02)

**KEY NOTES**

- 1 NEW SIGNAGE PER SPECIFICATIONS NOTED ON SIGN SHEET. (WORK TO BE COMPLETED UNDER A SEPARATE PERMIT.)
- 2 PROVIDE NEW BOLLARD COVER PER BAC STANDARDS. (TYP.) MANUFACTURER: BOLLARD COVER USE, MATERIAL: 1/2" THICK HIGH DENSITY PLOYETHYLENE (HDPE), COLOR: BAC STANDARD GRAY WITH RED REFLECTIVE STRIPES - SEE FINISH SCHEDULE ON SHEET A00.00).
- 3 UPGRADED LANDSCAPE AREA. PROVIDE NEW PLANTINGS TO MATCH EXISTING. (SEE CIVIL DRAWING SHEET C4)
- 4 NEW LANDSCAPING AREA TO ACT AS A SCREEN/BARRIER. PROVIDE NEW PLANTINGS TO MATCH EXISTING. (SEE CIVIL DRAWING SHEET C4)
- 5 NEW DUMPSTER ENCLOSURE PER BAC STANDARDS. (SEE CIVIL DRAWING 1/C5)
- 6 LINE OF FENCE/SAFETY BARRIER PER BAC STANDARDS. MANUF.: ALUMNI-GUARD INC., PRODUCT NAME: FLATTOP ASCOT 3-CHANNEL, SIZE: 48"H X 68 3/4" PANEL ASCOT, STYLE NAME: MUNICIPAL GRADE, COLOR NAME: FLORIDA BRONZE, FINISH: BAKED ENAMEL OR POWDER. (SEE CIVIL DRAWING 4/C5)

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740 HOPMEADOW STREET  
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MHID: CT2-151  
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KVID: K1000000



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PLANNING BOARD REVIEW SET			

Seal/Signature

Project Name  
BANK OF AMERICA  
SIMSBURY FINANCIAL CENTER

Architect Project Number  
2203

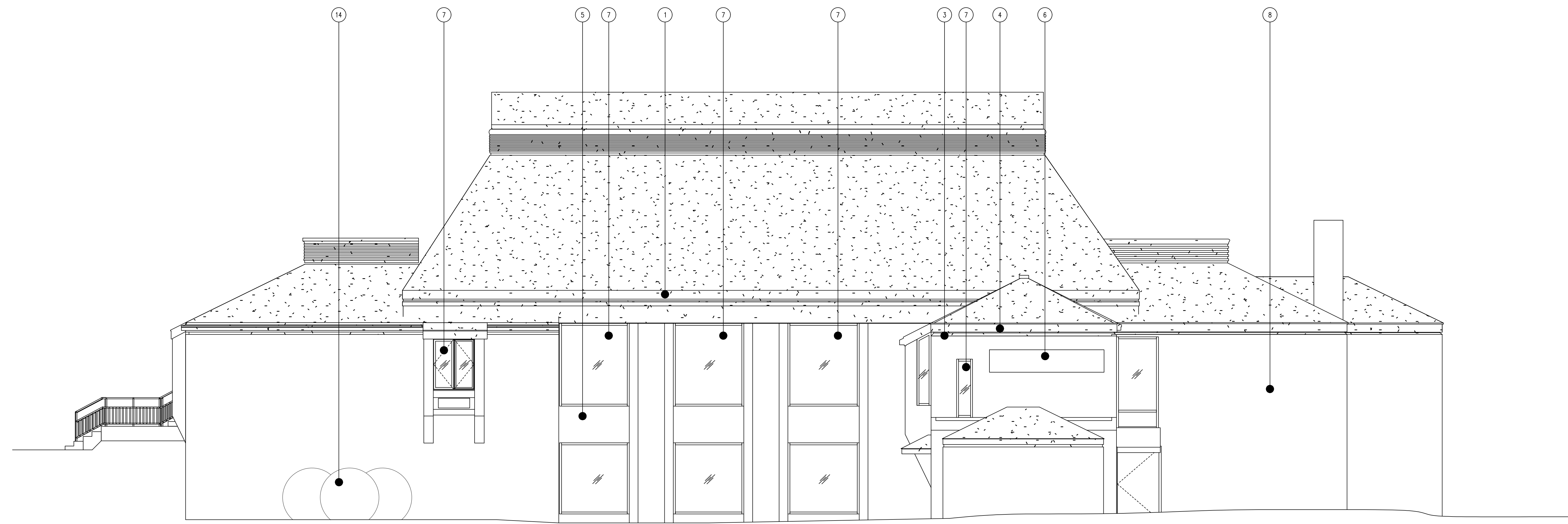
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/2203/Drawings/CD's/  
Description  
CONSTRUCTION PLAN

Scale  
3/8" = 1'-0"

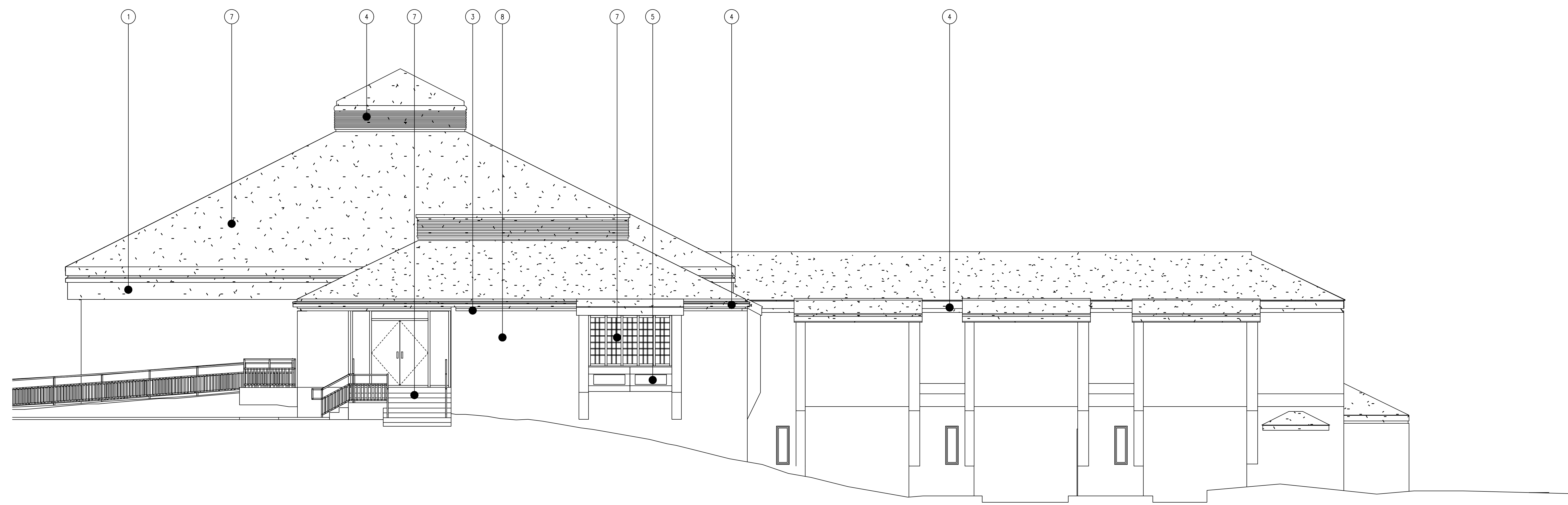
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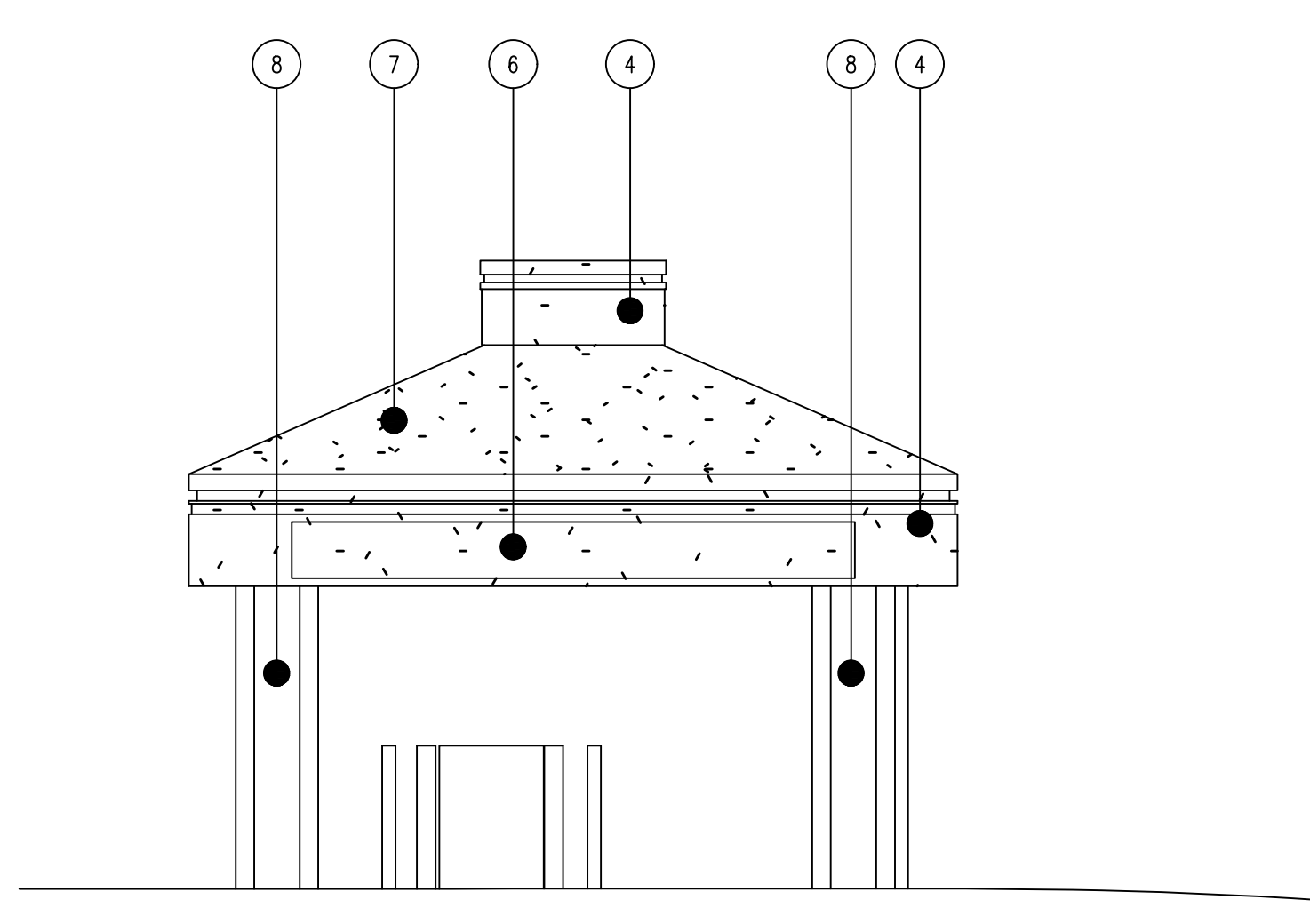
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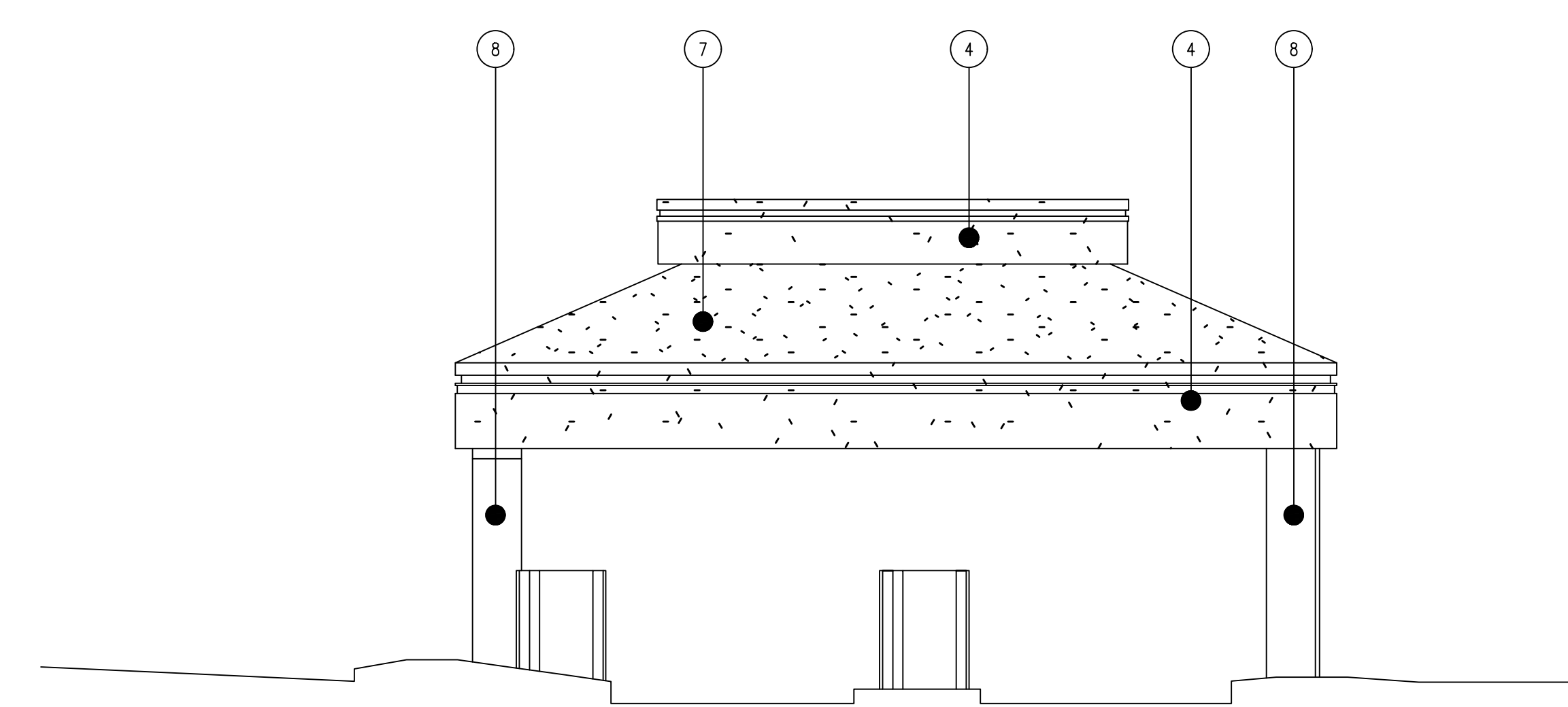
PROPOSED EAST ELEVATION AT MAIN BUILDING  
3/16" = 1'-0" 01



PROPOSED SOUTH ELEVATION AT MAIN BUILDING  
3/16" = 1'-0" 02



PROPOSED EAST ELEVATION AT DRIVE-THRU BUILDING  
3/16" = 1'-0" 04



PROPOSED SOUTH ELEVATION AT DRIVE-THRU BUILDING  
3/16" = 1'-0" 03

**KEY NOTES**

- 1 PAINT EXISTING DECORATIVE TRIM EXPT-15. REPAIR OR REPLACE AREAS OF TRIM AS REQUIRED (TYP.).
- 2 PAINT EXISTING GUTTER, DOWNSPOUT AND CONDUCTOR. PREP AND REPAIR AS NECESSARY TO RECEIVE NEW PAINT. EXPT-15.
- 3 PAINT EXISTING FLASHING (TYP.) (MATCH EXISTING PAINT COLOR)
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Seal/Signature

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Project Name  
BANK OF AMERICA  
SIMSBURY FINANCIAL CENTER

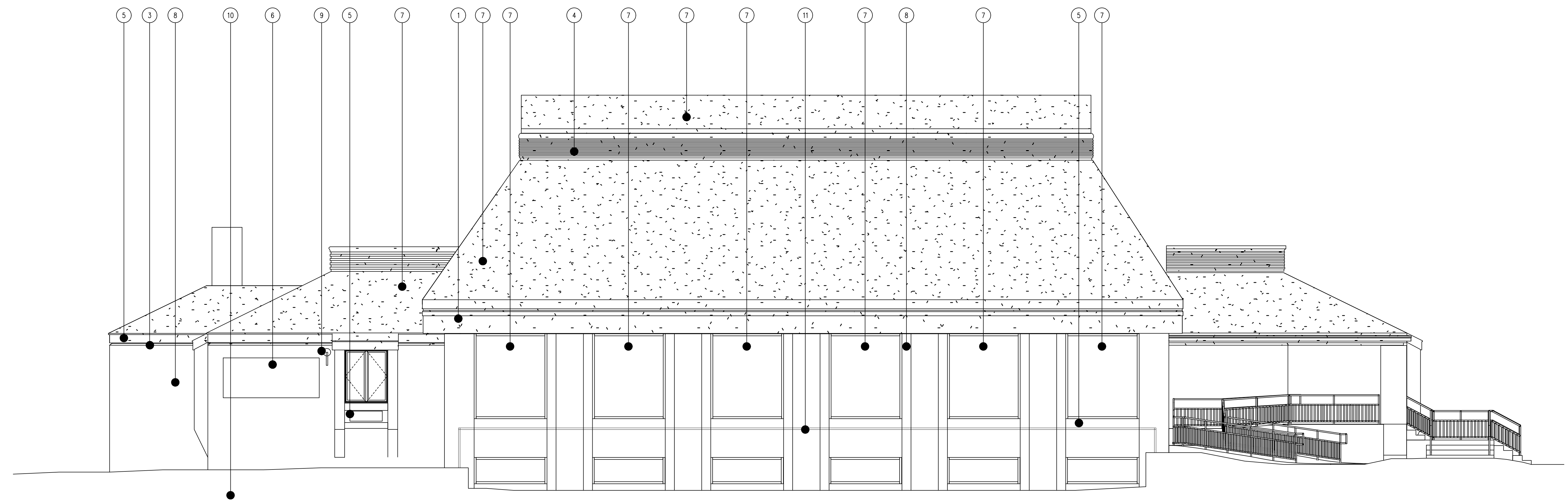
Architect Project Number  
2203

CAD File Name  
/2203/Drawings/CD's/  
Description  
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EAST AND SOUTH ELEVATIONS

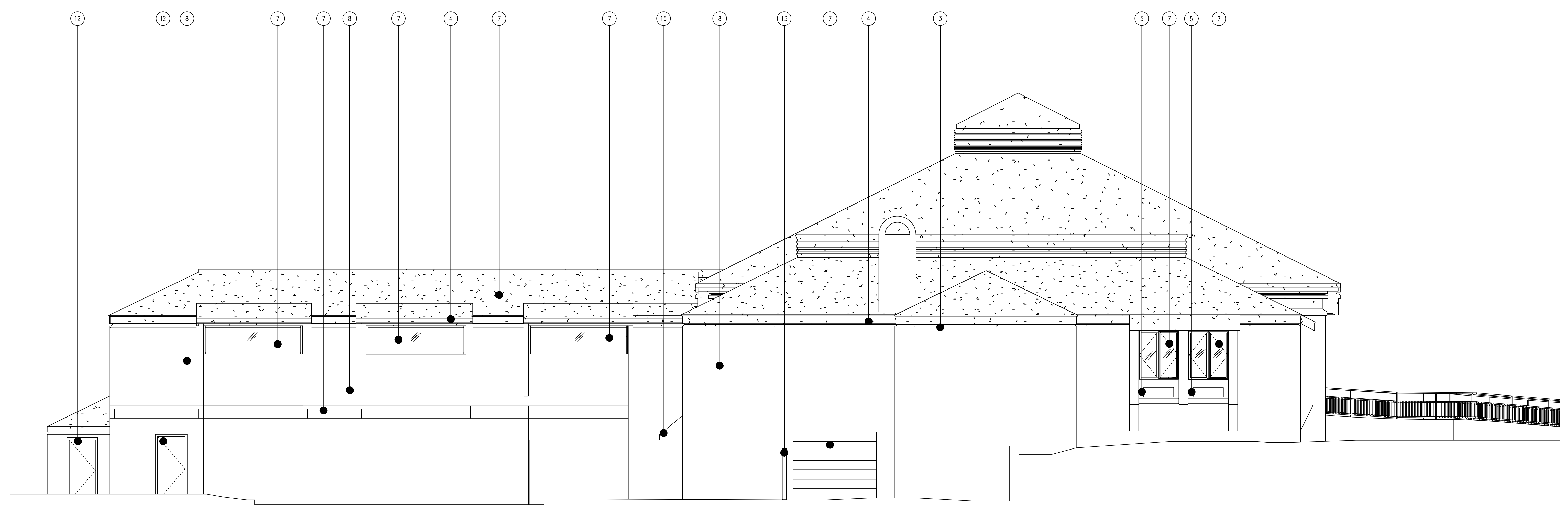
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3/16" = 1'-0"



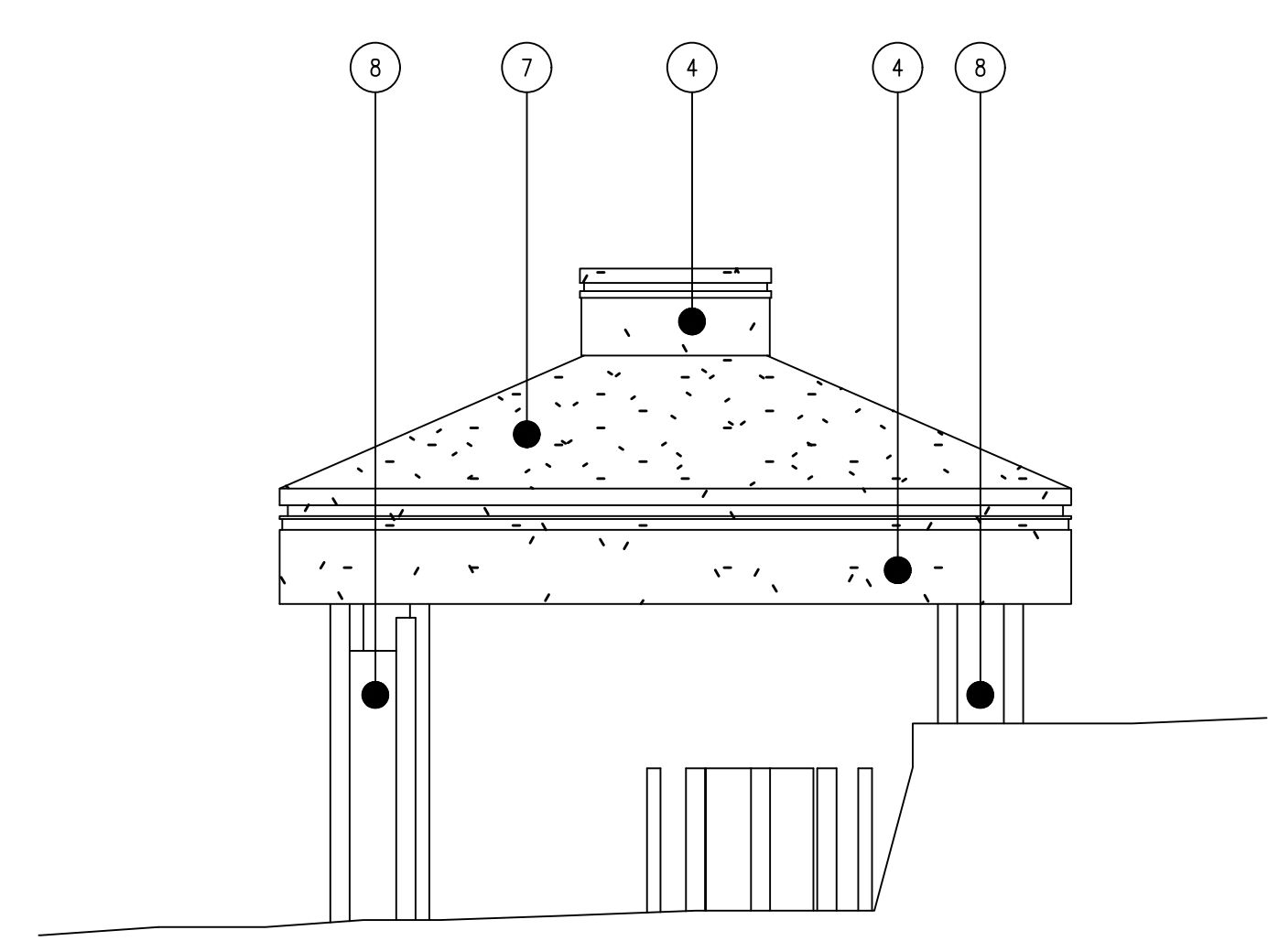
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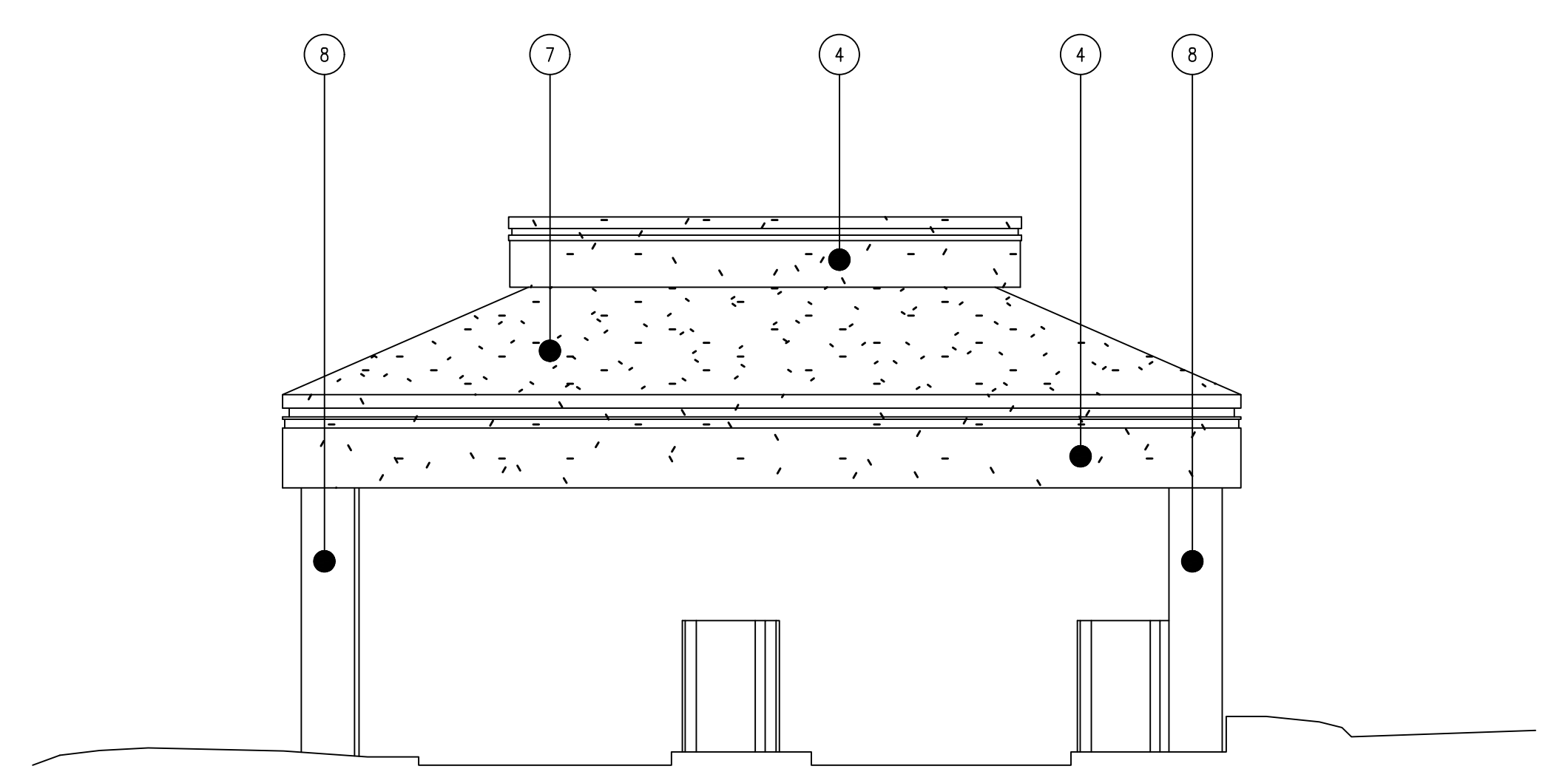
PROPOSED WEST ELEVATION AT MAIN BUILDING  
3/16" = 1'-0" 01



PROPOSED NORTH ELEVATION AT MAIN BUILDING  
3/16" = 1'-0" 02



PROPOSED WEST ELEVATION AT DRIVE-THRU BUILDING  
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PROPOSED NORTH ELEVATION AT DRIVE-THRU BUILDING  
3/16" = 1'-0" 03

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Seal/Signature

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Project Name  
BANK OF AMERICA  
SIMSBURY FINANCIAL CENTER

Architect Project Number  
2203

CAD File Name  
/2203/Drawings/CD's/

Description  
PROPOSED EXTERIOR ELEVATIONS  
WEST AND NORTH ELEVATIONS

Scale  
3/16" = 1'-0"



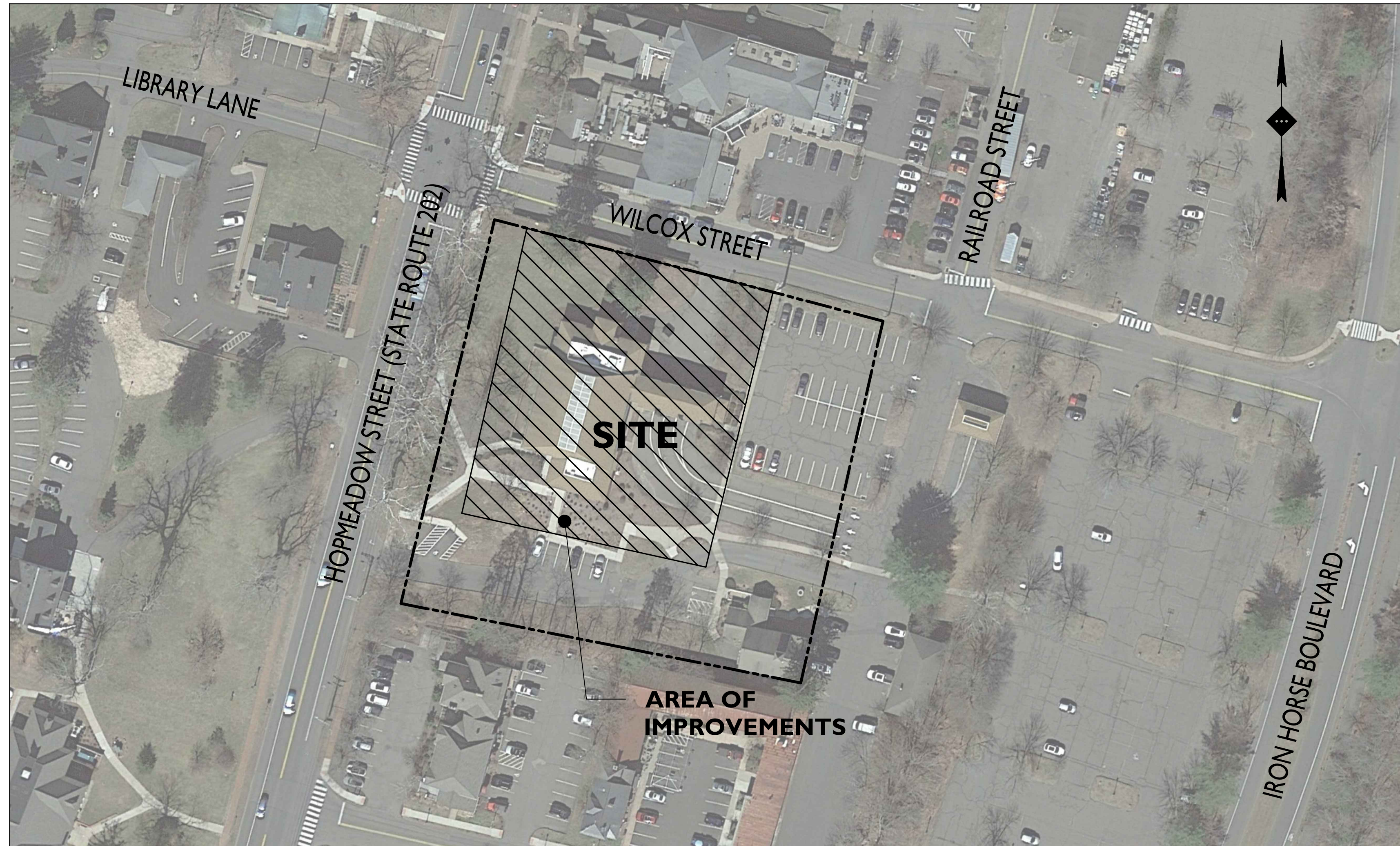


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## PROPOSED SITE IMPROVEMENTS

PARCEL ID: G10-227-003  
740 HOPMEADOW STREET (STATE ROUTE 202)  
TOWN OF SIMSBURY  
HARTFORD COUNTY, CONNECTICUT



SOURCE: GOOGLE EARTH PRO

AERIAL VIEW  
1" = 60' ±



Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefieldeng.com

Headquarters: 120 Washington Street, Suite 201, Salem MA 01970  
Phone 617.203.2076

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C1
EXISTING CONDITIONS PLAN	C2
DEMOLITION PLAN	C3
SITE PLAN & LANDSCAPING PLAN	C4
NOTES & DETAILS	C5-C6

BANK OF AMERICA

### SITE IMPROVEMENTS Simsbury, CT

Parcel ID: G10-227-003  
740 Hopmeadow Street (State Route 202)  
Town of Simsbury  
Hartford County, Connecticut

CIVIL ENGINEER:



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Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefieldeng.com

Headquarters: 120 Washington Street, Suite 201, Salem MA 01970  
Phone 201.340.4468 · Fax 201.340.4472

Issue	Date & Issue Description	By	Check
01	11/16/2022 FOR CLIENT REVIEW	KG	JAM
02	12/02/2022 REVISED PER COMMENTS	KG	JAM

JAKE MODESTOW, P.E.  
CONNECTICUT LICENSE No. 34177  
LICENSED PROFESSIONAL ENGINEER

KG DRAWN BY  
JAM CHECKED BY



SCALE: AS SHOWN

PROJECT ID: BOS-220095

TITLE:

COVER SHEET

SHEET:  
C1



**BANK OF AMERICA**

# SITE IMPROVEMENTS

## Simsbury, CT

Parcel ID: G10-227-003  
 740 Hopmeadow Street (State Route 202)  
 Town of Simsbury  
 Hartford County, Connecticut

**CIVIL ENGINEER:**



**STONEFIELD**  
 engineering & design

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 www.stonefielddesign.com

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KG DRAWN BY  
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**STONEFIELD**  
 engineering & design, llc.

SCALE: AS SHOWN

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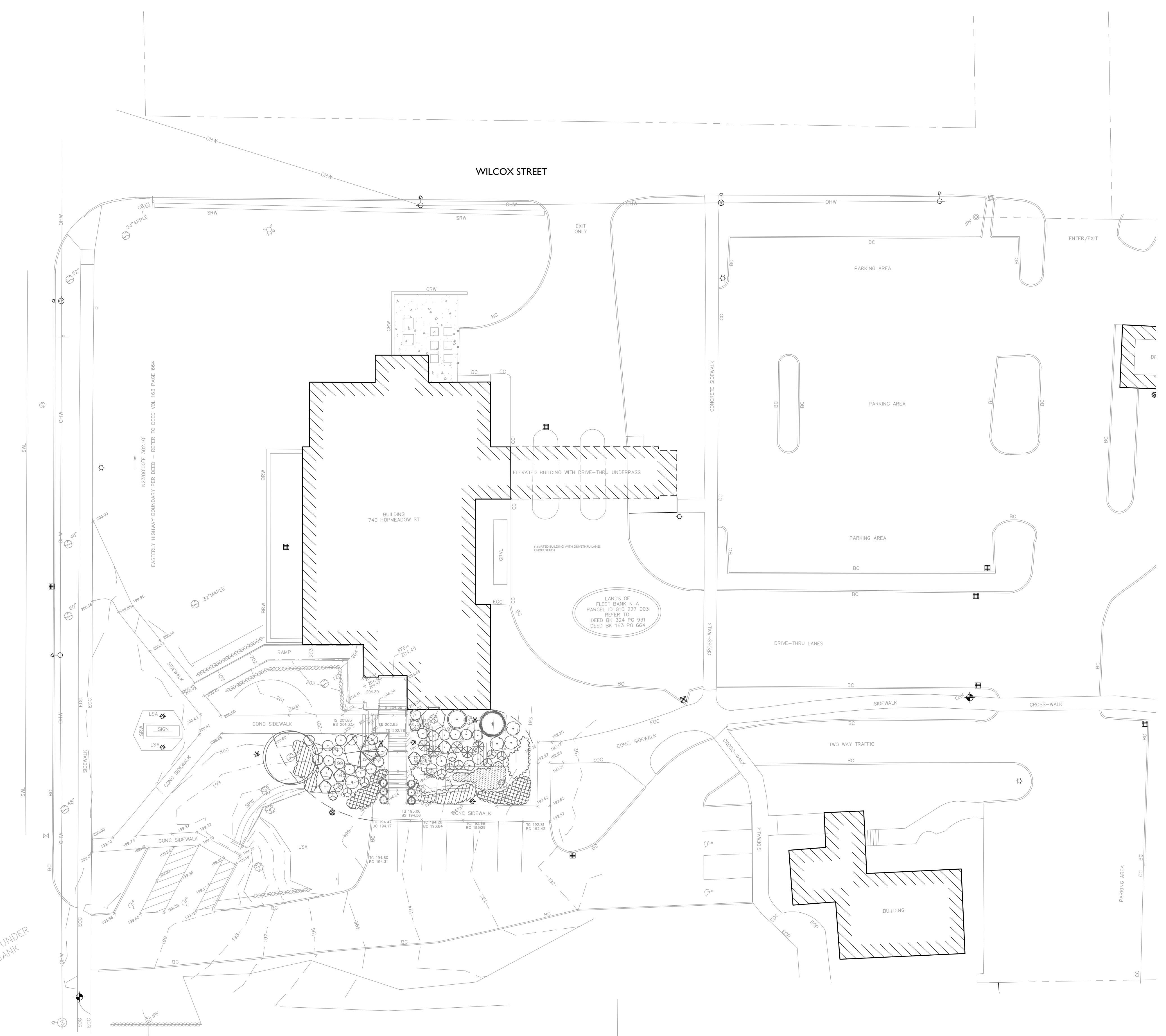
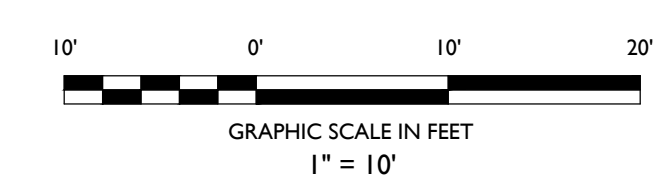
TITLE: **EXISTING CONDITIONS**

SHEET: **C2**

- LEGEND**
- CONCRETE BOUND
  - ⊙ IRON PIPE FOUND (IPF)
  - ⊕ ROUND CATCH BASIN
  - CATCH BASIN
  - ⊙ SEWER MANHOLE
  - ⊕ WATER GATE
  - ⊕ FIRE HYDRANT
  - ⊕ UTILITY POLE
  - ⊕ UTILITY POLE WITH LIGHT
  - ⊕ UTILITY POLE WITH LIGHT AND RISER
  - ⊕ UTILITY POLE WITH LIGHT, RISER AND TRANSFORMER
  - ⊕ DECIDUOUS TREE
  - ⊕ CONIFER TREE
  - ⊕ SHRUB
  - SIGN (SINGLE POSTED)
  - SIGN (DOUBLE POSTED)
  - POST
  - ⊕ GROUND LAMP
  - ⊕ LIGHT POLE
  - ⊕ BOLLARD
  - ⊕ HANDICAP PARKING
  - ⊕ TEMPORARY BENCHMARK (TBM)
- EOP EDGE OF PAVEMENT  
 EOC EDGE OF CONCRETE  
 GRVL GRAVEL AREA  
 CC CONCRETE CURB  
 BC BITUMINOUS CURB  
 LSA LANDSCAPED AREA  
 FFE FINISHED FLOOR ELEVATION  
 SRW STONE RETAINING WALL  
 CRW CONCRETE RETAINING WALL  
 WRW WOOD RETAINING WALL  
 BRW BRICK RETAINING WALL  
 SWL SOLID WHITE LINE
- ★ 197.24 SPOT ELEVATION  
 TC199.85 TOP CURB (ELEV)  
 BC198.78 BOTTOM CURB (ELEV)  
 TCRW200.10 TOP CONC RET WALL (ELEV)  
 BCRW197.25 BOTTOM CONC RET WALL (ELEV)  
 TSRW198.74 TOP STONE RET WALL (ELEV)  
 BSRW196.56 BOTTOM STONE RET WALL (ELEV)
- ABUTTERS LOT LINE  
 — PROPERTY LINE  
 — EASEMENT  
 — METAL/WIRE FENCE  
 — METAL HAND RAIL  
 — OVERHEAD WIRES  
 — TREE LINE  
 — SHRUB LINE  
 —197— INTERMEDIATE CONTOURS  
 —195— INDEX CONTOURS

**SURVEY NOTES:**

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



2:00/21/2023 10:02:32/2023 APPROVAL: C:\174\HOPMEADOW STREET - SIMSBURY, CT\DRAWING\DTA\04.01.DWG

**BANK OF AMERICA**

# SITE IMPROVEMENTS Simsbury, CT

Parcel ID: G10-227-003  
740 Hopmeadow Street (State Route 202)  
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Issue	Date & Issue Description	By	Check
01	11/16/2022 FOR CLIENT REVIEW	KG	JAM
02	12/02/2022 REVISED PER COMMENTS	KG	JAM

JAKE MODESTOW, P.E.  
CONNECTICUT LICENSE No. 34177  
LICENSED PROFESSIONAL ENGINEER

KG DRAWN BY  
JAM CHECKED BY

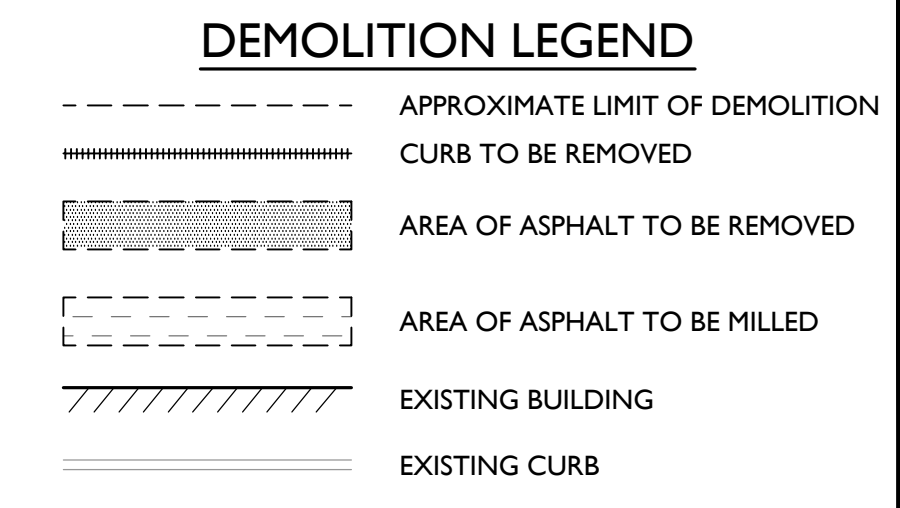
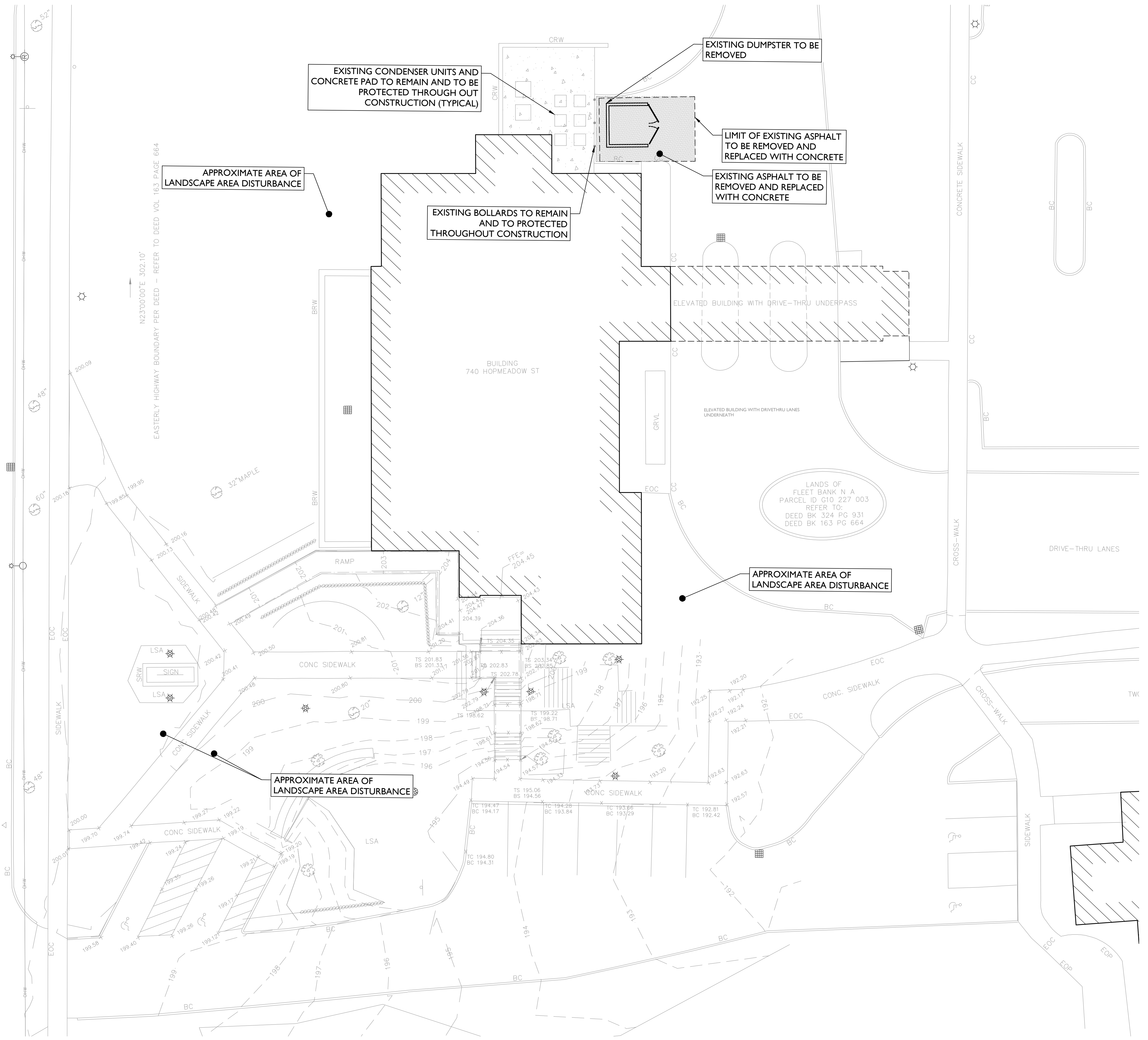


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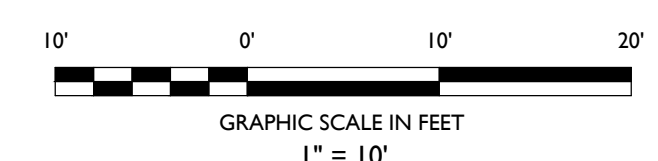
PROJECT ID: BOS-220095

TITLE:  
**DEMOLITION PLAN**

SHEET:  
**C3**



- NOTES:
- CONCRETE REMOVAL - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST REMOVAL AREA AS REQUIRED TO PROVIDE PROPOSED GRADES. WHERE PRACTICAL, CONTRACTOR CAN EXTEND LIMITS OF REMOVAL BASED ON LOCATION OF EXISTING CONCRETE JOINTS FOR EASE OF CONSTRUCTION.
  - ASPHALT REMOVAL - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST ASPHALT REMOVAL AREA AS REQUIRED.
  - ASPHALT MILLING - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST ASPHALT MILLING AREA AS REQUIRED.



E:\PROJECTS\2022\BOS-220095 - HOPMEADOW STREET - SIMSBURY, CT\ADDP\07100A.DWG



**BANK OF AMERICA**

# SITE IMPROVEMENTS

## Simsbury, CT

Parcel ID: G10-227-003  
 740 Hopmeadow Street (State Route 202)  
 Town of Simsbury  
 Hartford County, Connecticut

CIVIL ENGINEER:



Rutherford, NJ · New York, NY · Boston, MA  
 Princeton, NJ · Tampa, FL · Detroit, MI  
 www.stonefielddesign.com

Headquarters: 120 Washington Street, Suite 201, Salem MA 01970  
 Phone 201.340.4468 · Fax 201.340.4472

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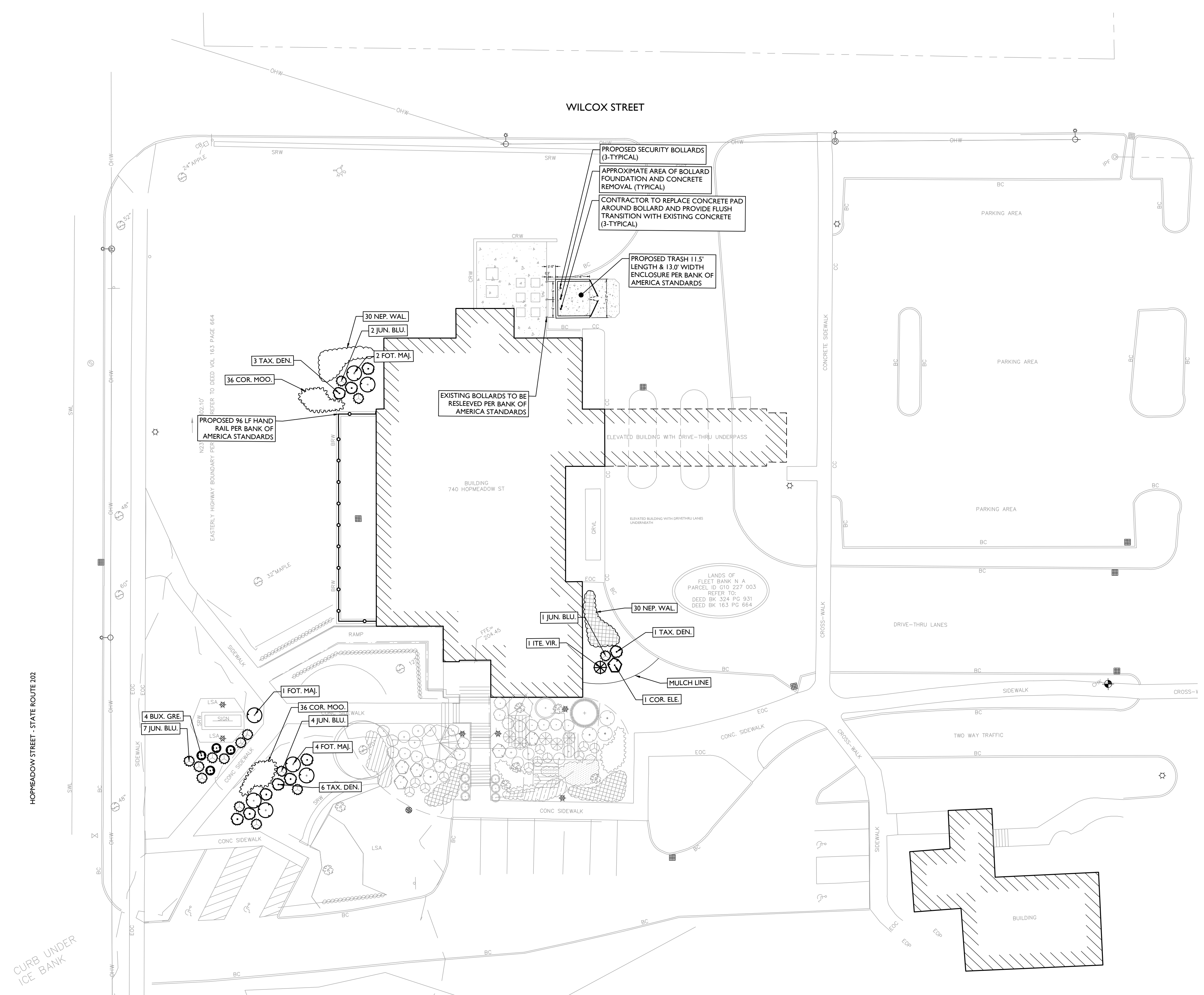
PROJECT ID: BOS-220095

TITLE:

**SITE & LANDSCAPING PLANS**

SHEET:

**C4**



**PLANT SCHEDULE**

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>EVERGREEN SHRUBS</b>					
BUX. GRE.	4	BUXUS X 'GREEN MOUND'	GREEN MOUND BOXWOOD	18"-24"	B&B
JUN. BLU.	14	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	15"-18"	CONT.
TAX. DEN.	10	TAXUS MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24"-30"	B&B
<b>DECIDUOUS SHRUBS</b>					
COR. ELE.	1	CORNUS ALBA 'ELGNATISSIMA'	VARIEGATED RED TWIG DOGWOOD	24"-30"	B.R.
FOT. MAJ.	7	FOTHERGILLA MAJOR	FOTHERGILLA	30"-36"	B&B
ITE. VIR.	1	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA SWEETSPIRE	24"-30"	B&B
<b>PERENNIALS &amp; GROUNDCOVERS</b>					
COR. MOO.	72	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	1 GAL.	CONT. 18" O.C.
NEP. WAL.	60	NEPETA FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	CONT. 18" O.C.

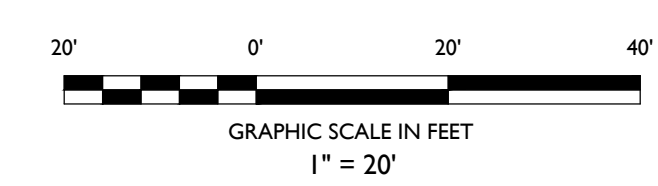
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

**IRRIGATION NOTE:**

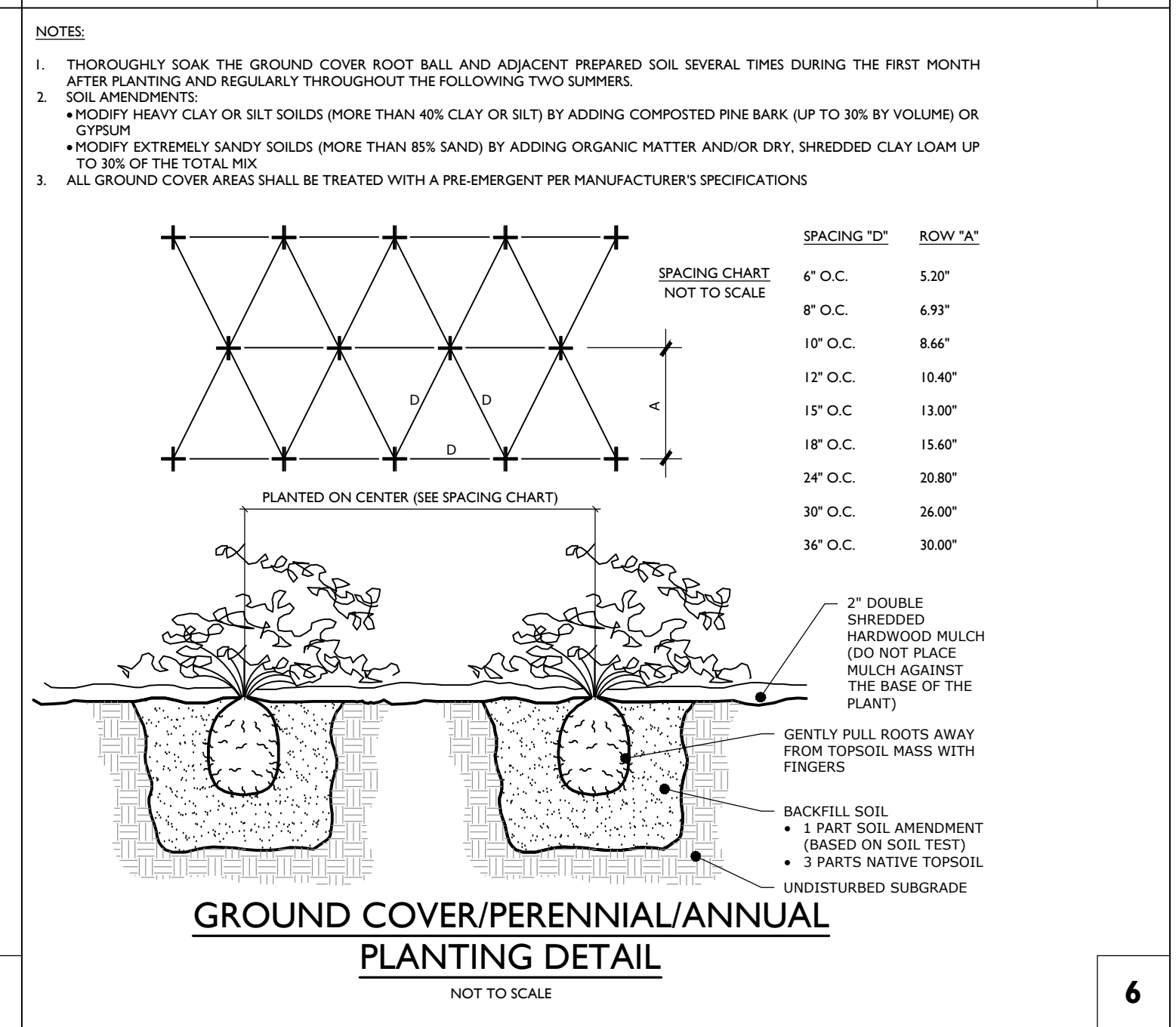
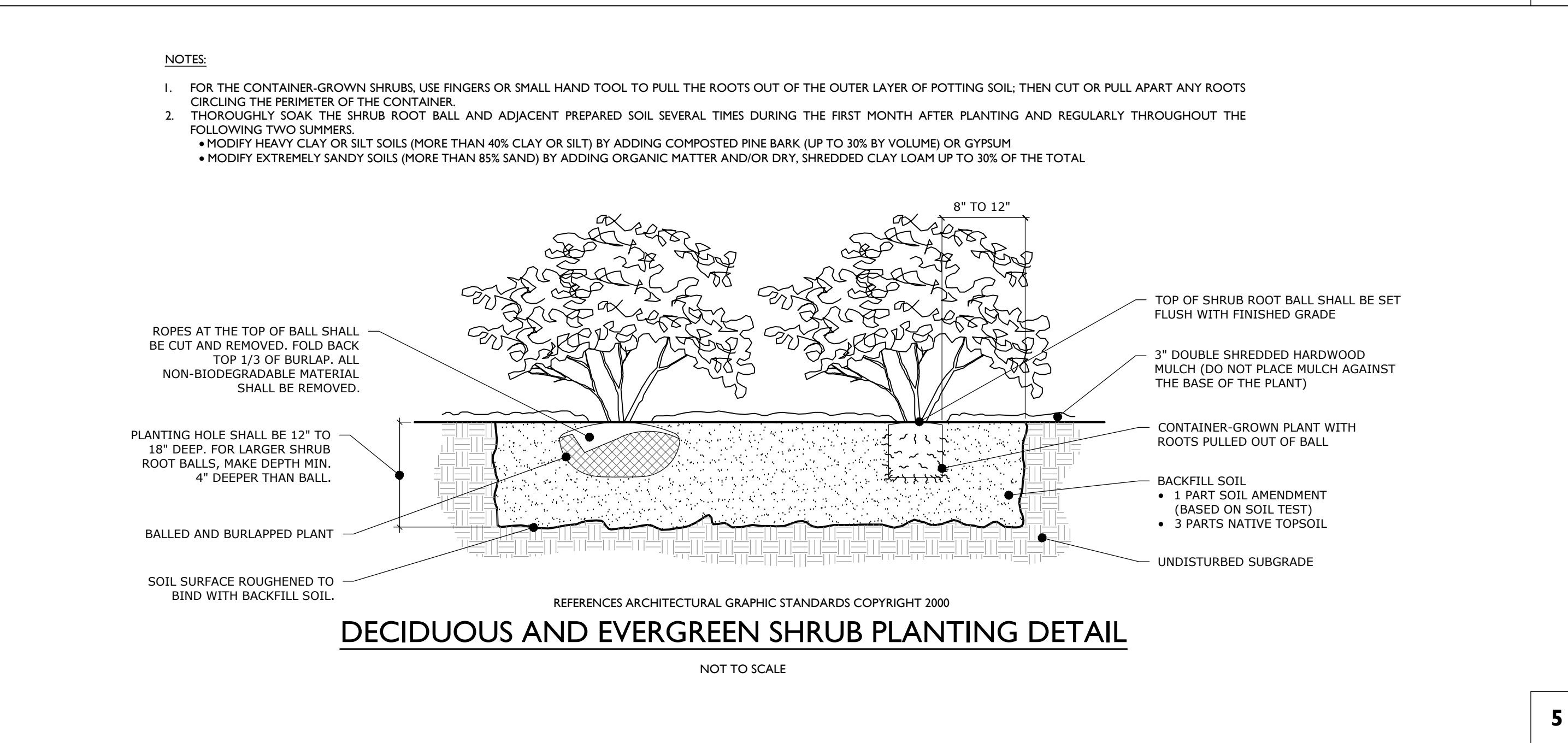
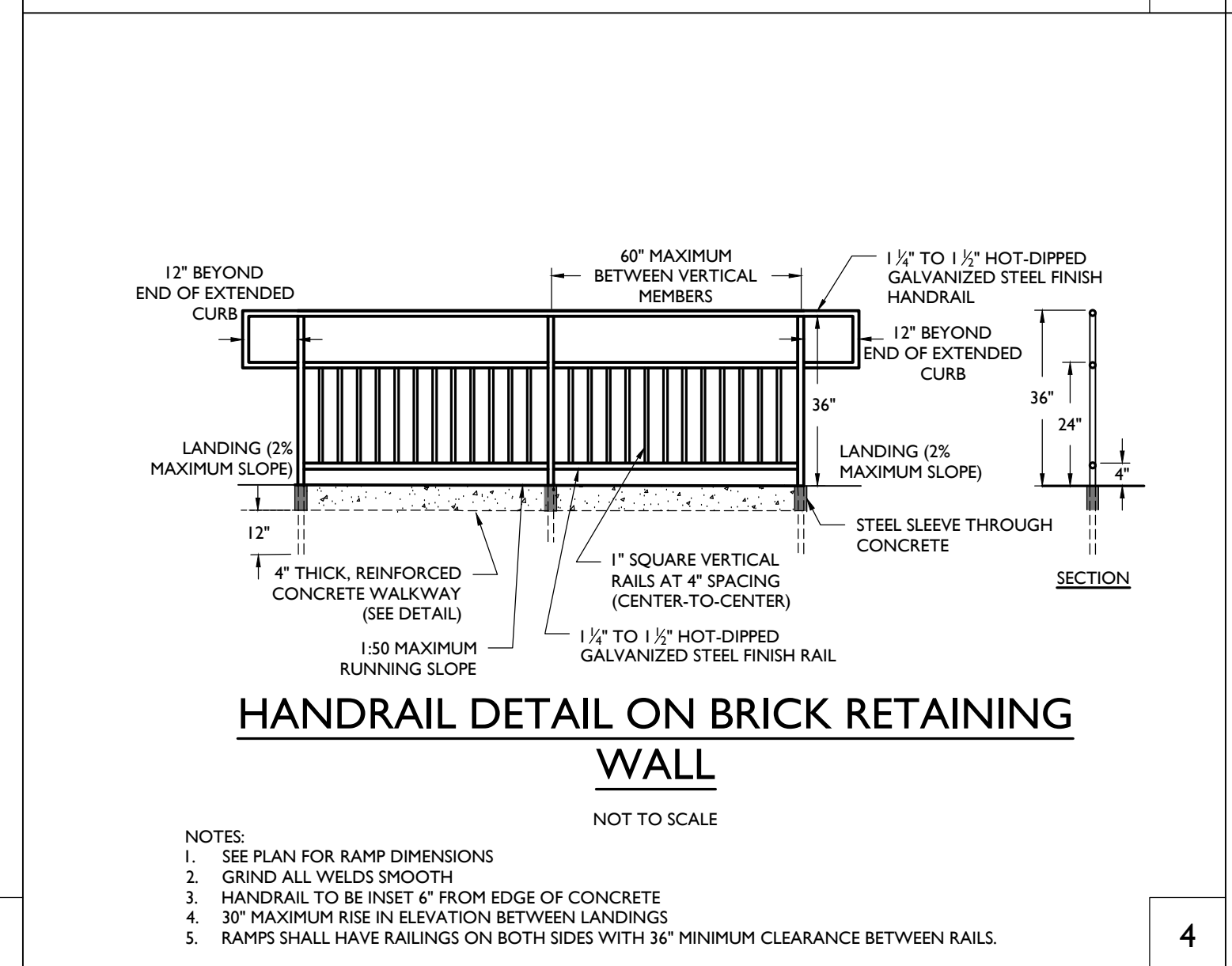
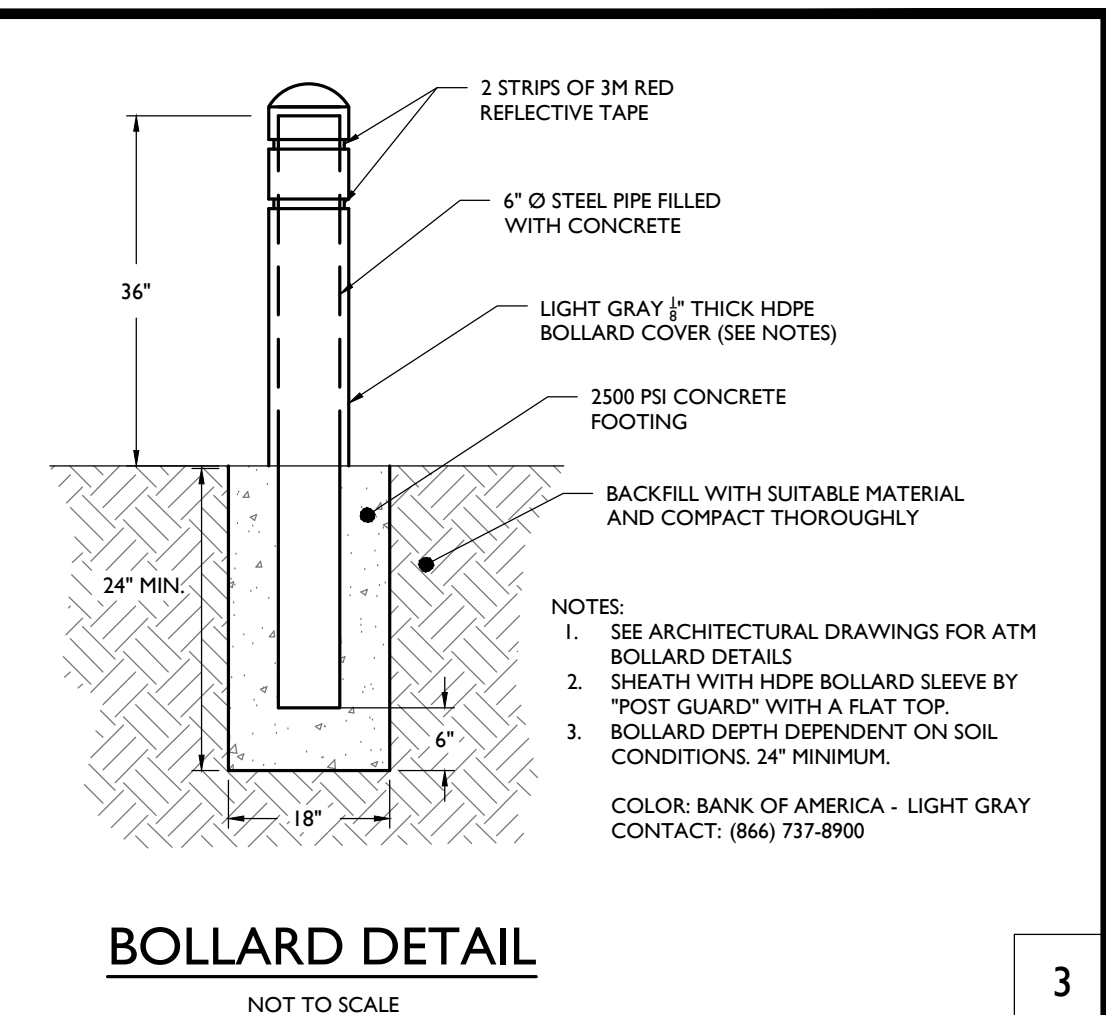
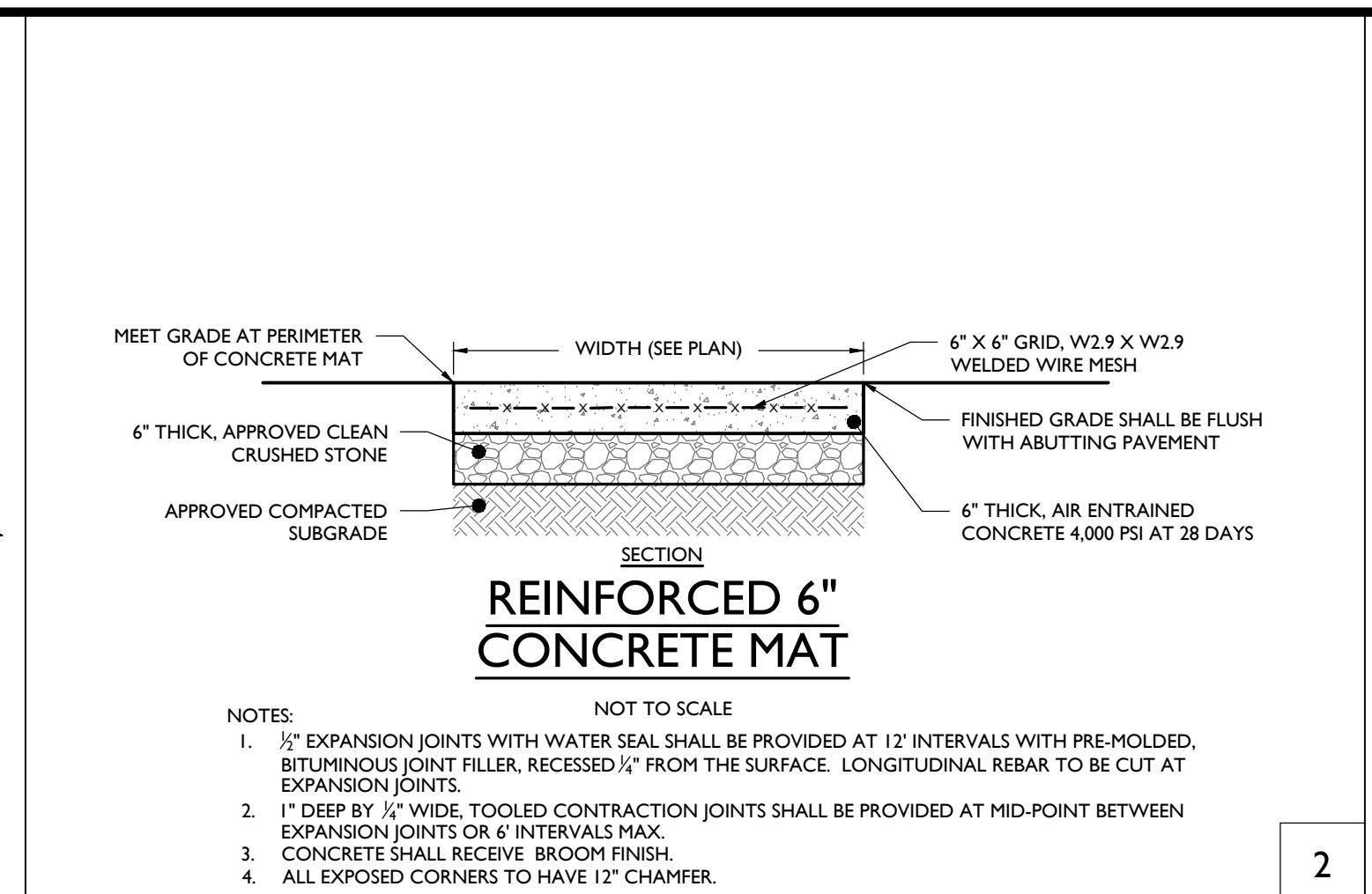
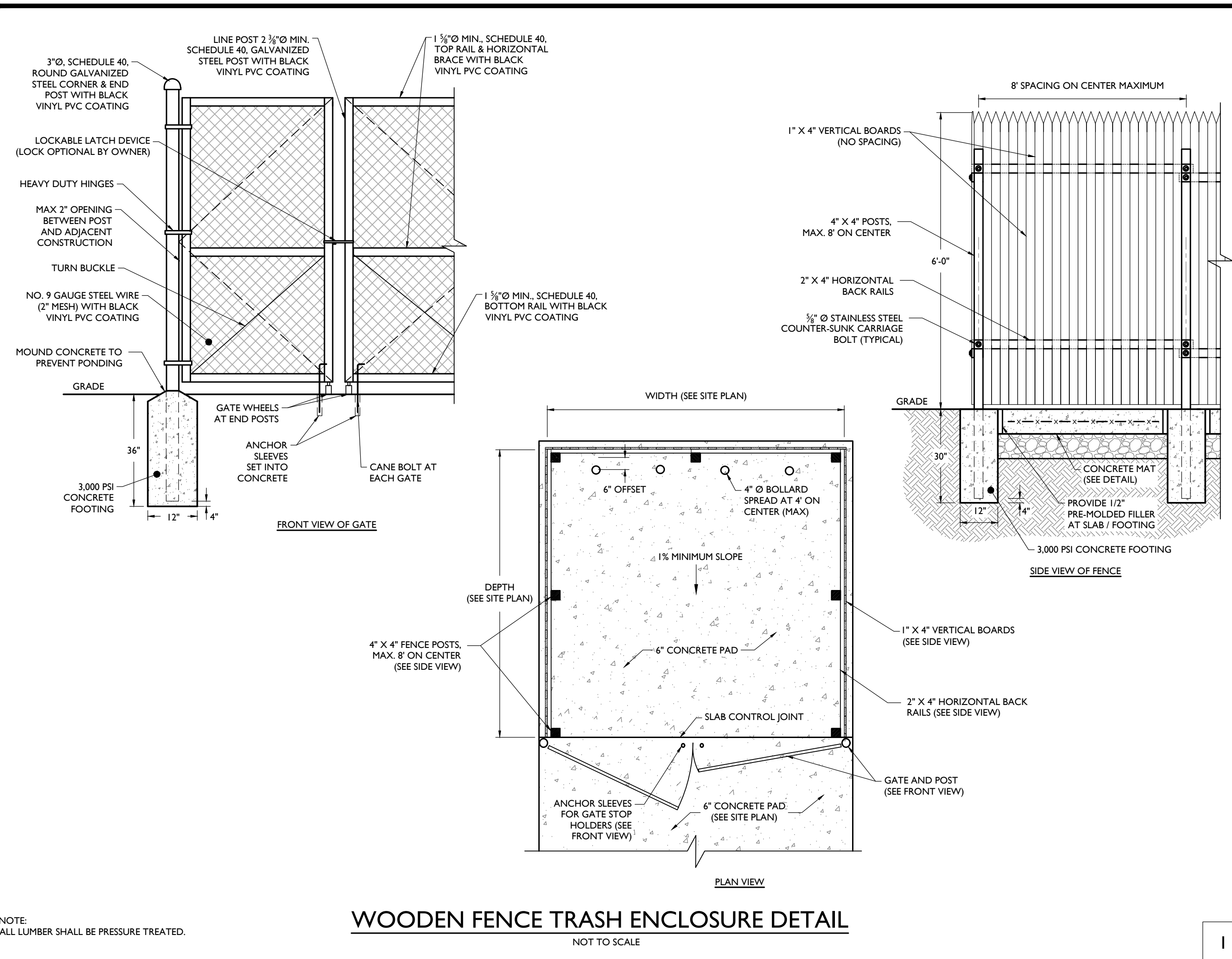
IF AN EXISTING IRRIGATION SYSTEM EXISTS, IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

**SURVEY NOTES:**

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



2:00/21/2023 10:02:23 AM 220095 - APPROVAL - 740 HOPMEADOW STREET - SIMSBURY, CT (JAM) (DPL) (D) (M) (A) (44) SITE.DWG



**BANK OF AMERICA**  
**SITE IMPROVEMENTS**  
**Simsbury, CT**

Parcel ID: G10-227-003  
740 Hopmeadow Street (State Route 202)  
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**CIVIL ENGINEER:**

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JAKE MODESTOW, P.E.  
CONNECTICUT LICENSE No. 34177  
LICENSED PROFESSIONAL ENGINEER

KG DRAWN BY  
JAM CHECKED BY

**STONEFIELD**  
engineering & design, llc.

SCALE: AS SHOWN

PROJECT ID: BOS-220095

TITLE: **NOTES & DETAILS**

SHEET: **C5**

E:\PROJECTS\2022\BOS-220095 - HOPMEADOW STREET - SIMSBURY, CT\DWG\04-DRAWING SET\TITLE.DWG









EXISTING CONDITIONS AT NORTHWEST CORNER  
SCALE: N.T.S. ①



PROPOSED DESIGN AT NORTHWEST CORNER  
(SIGNAGE INDICATED HAS BEEN APPROVED UNDER A SEPARATE PERMIT) SCALE: N.T.S. ①

# Endurance LED Single Signage Outdoor Light

By WAC Lighting



CALL 1-877-465-1116

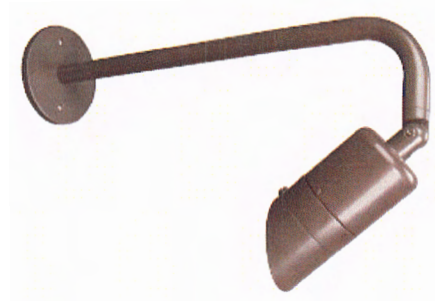
Endurance LED Single Signage Outdoor Light  
By WAC Lighting

## Product Options

Finish: Bronze,  
Color Temperature: Cool White

## Details

48" maximum extension  
Optional safety cable recommended for extensions beyond 36"  
LED engine is factory-sealed and watertight  
180° lamp head rotation  
Interchangeable LED module  
Adjustable beam angles to 15°, 25°, 40°, 60° by rotating  
Comes with one 6", one 12", one 24" field interchangeable rods  
Comes with safety cable and canopy  
Material: Die-cast aluminum  
Shade Material: Glass  
ETL Listed Wet  
Made In China



## Dimensions

Canopy: Diameter 5"  
Fixture: Width 4", Depth 7.5"  
Maximum: Length 48.63"

Notes:

## Lighting

Lamp Type	LED Built-in
Total Lumens	695
Total Watts	15.00
Volts	120
Color Temp	4000 (Cool)
Average Lifespan (Hours)	50,000
CRI	85
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

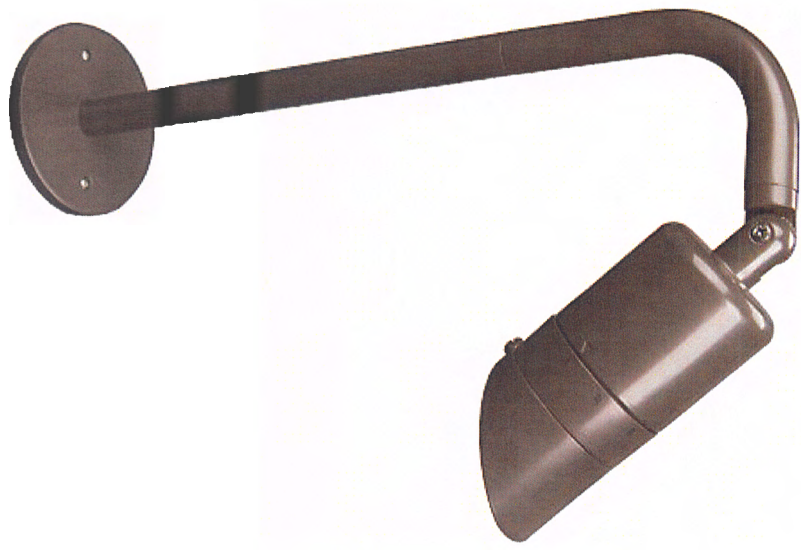
Prepared  
by:

Prepared for:  
Project:  
Room:  
Placement:  
Approval:

## Additional Details

Product URL:  
<https://www.lumens.com/endurance-led-single-signage-outdoor-sconce-by-wac-lighting-WACY1456075444.html>  
Rating: ETL Listed Wet

ITEM#: WACY1456075444





landscape • architectural • hospitality • entertainment • illumination

# SLS-LM SERIES SIGN LIGHTING

go green  
led solutions

TYPE

## SPECIFICATIONS

**CONSTRUCTION:** Extruded housing with heavy duty die cast adjustable aluminum swivels. Aluminum extension pole and mounting canopies.

**LENS:** High impact clear acrylic lens

**LED SUPPLIED:** 10w 3000K LED Module 863 Lumens (per module)

**WIRING:** 120V- Standard 120V Black, White, and Green

**LED POWER SUPPLY:** 120Vac - 277Vac universal input

**SOCKET:** None (LED Module)

**FINISH:** Aluminum. Powder Coat options available.

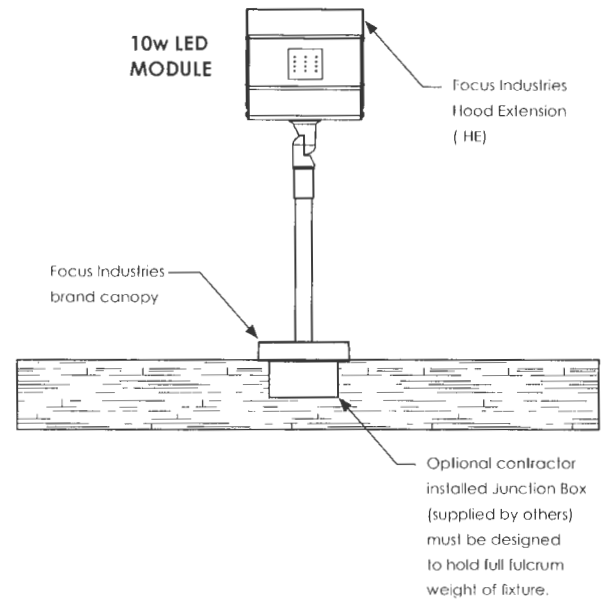
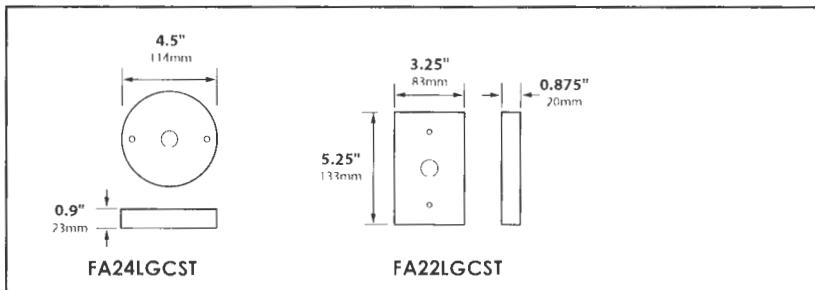
IP55

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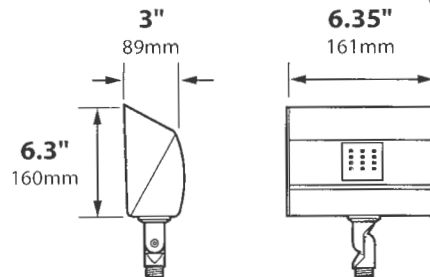
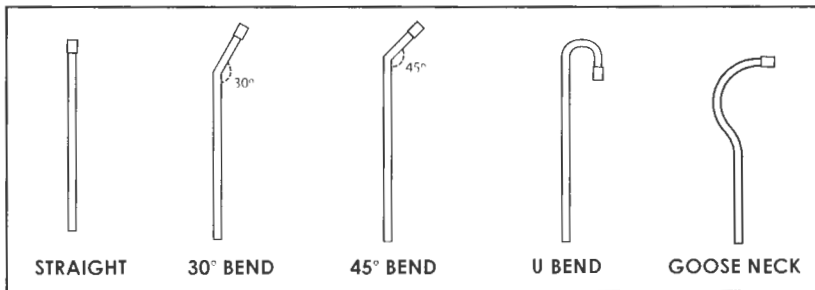


Intertek

## CANOPY OPTIONS



## POLE STYLE OPTIONS



Generated Part Number

SLSLM-

1 2 3 4 5 6 7 8 9 10 11

## ORDERING INFORMATION

**1) MATERIAL:**

A. Aluminum

**2) VOLTAGE:**

1. 120V-277V

**3) LIGHT SOURCE:**

01. 10W LED Module 3000K

**4) HOOD STYLE:**

0. No hood extension

A. Hood extension

**5) LENS TYPE:**

0. Standard clear

1. Sandblasted softner lens

2. White acrylic

**6) LENS ENHANCEMENT:**

0. No lens enhancement

A. Blue gel

B. Green gel

**7) GLARE SHIELDING:**

0. No shielding

H. Hex cell louver

**8) EXTENSION POLE LENGTH:**

NP. No Pole

12. 12 Inches

18. 18 Inches

24. 24 Inches

30. 30 Inches

36. 36 Inches

Custom: (Added per inch)

**9) EXTENSION POLE STYLE:**

A. Straight

B. 30 bend

C. 45 bend

D. U bend (provide specs)

E. Goose neck (provide specs)

F. Custom bend (provide specs)

**10) CANOPY:**

0. No canopy (1/2" NPS required)

1. FA24LGCST Aluminum round

2. FA22CST Aluminum rectangle

**11) COLOR:**

1. BLT: Black texture only (standard)

2. Other powder coat color (fixture)

3. Other powder coat color (pole)

4. Other powder coat color (canopy)

For Questions Call 1 (888) 882-1350



