



# Town of Simsbury

933 HOPMEADOW STREET

SIMSBURY, CONNECTICUT 06070

Office of Planning and Community Development

**To:** Simsbury Zoning Commission

**From:** George K. McGregor, AICP

**Date:** July 17, 2023

**RE:** ZC 23-25, 100 Grist Mill Ensign Bickford Site Plan Amendment

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## Summary of Application

**Application ZC #23-25** of Ensign-Bickford Aerospace & Defense, LLC, Owner, Gus Jasminski, Applicant, for a site plan amendment pursuant to Section 11 of the Town Zoning Regulations for a  $\pm$  24,000 sq.ft. expansion (52 spaces) to the parking lot of Ensign- Bickford Aerospace and Defense at 100 Grist Mill Road (Assessor's Map G11 Block 103 Lot 005-25), zone I-2. The parking space expansion is necessary to support Ensign-Bickford's recent acquisition and redevelopment of the office/manufacturing building at this location. The Applicant has stated that EB plans to expand both office and technical operations at this location.



Existing Condition 100 Grist Mill

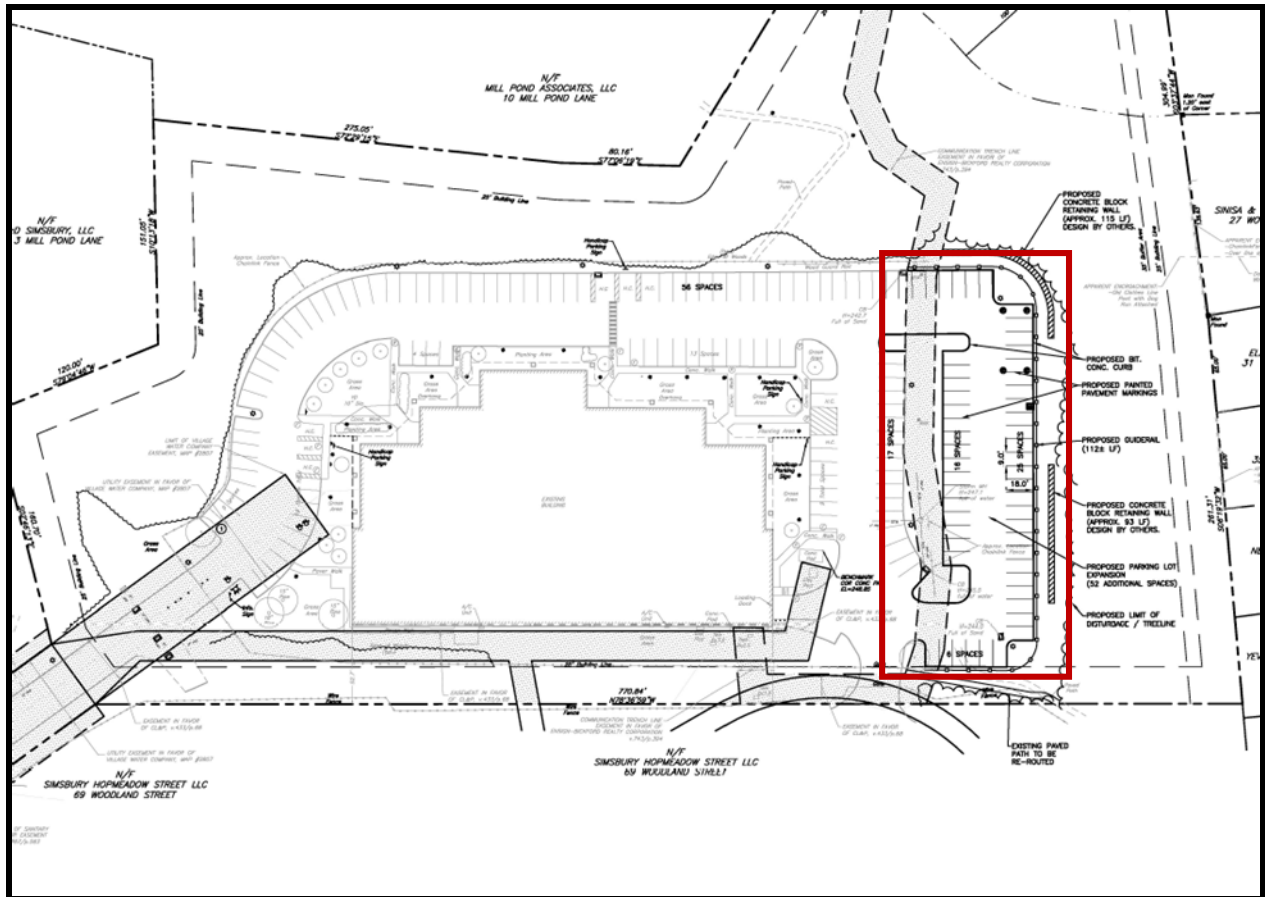
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8:30 - 7:00 Monday  
8:30 - 4:30 Tuesday through Thursday  
8:30 - 1:00 Friday

Ensign Bickford plans to add 52 additional spaces on the east side of the property adjacent to the existing parking lot, shown in the red highlight below. Limits of disturbance shows encroachment to adjacent residential property to be no closer than 110 feet.

Site Plan



### Referral Comments

Town Engineering—The Town Engineer provided comprehensive technical comments related to site development and stormwater systems. Those comments are attached to the Staff Report. The Applicant provided a response on July 7, 2023; it is under review. Staff will provide an update at the meeting.

Fire Department—The Fire Marshal identified no issues with the request.

Planning Department—The Town Planner requested a landscaping plan for internal parking lot plantings be included in the plan set as well as a draft E&S Bond estimate. These items have been provided.

### Staff Analysis

Pending Engineering comment resolution, Staff finds that the request to add additional parking spaces meets the site plan requirements found in Section 11 of the Zoning Regulations. Staff will provide an update to the Zoning Commission on July 17, 2023.

**MOVED**

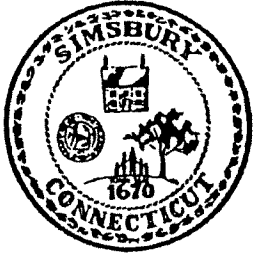
**The Zoning Commission APPROVES ZC 23-25, 100 Grist Mill Rd., an application for a site plan amendment pursuant to Section 11 of the Zoning Regulations to permit a +-24,000 sq.ft. expansion (+52 spaces) of an existing commercial parking lot restaurant at 100 Grist Mill Rd. (Assessor's Map G11 Block 103, Lot 005-25, in the I-2 Zone, subject to the following conditions;**

**Conditions**

1. The project shall be developed in substantial conformance with the Site Plant Set dated 6/5/23, REVISED 7/7/23, prepared by Godfrey, Hoffman, Hodge.
2. Prior to the issuance of a building permit for this project, the Applicant shall submit to the Town of Simsbury an Erosion & Sediment Control Bond, in a form acceptable to the Town, in the amount of \$12,000.
3. Prior to the release of any bonds for this project, the Applicant shall submit 2 sets of mylars and one paper set for signature and recordation.

**Or**

**Alternate motion**




# Town of Simsbury

933 HOPMEADOW STREET ~ SIMSBURY, CONNECTICUT 06070

Department of Public Works - Engineering Division

## DESIGN REVIEW MEMORANDUM

June 13, 2023

**To:** George K. McGregor, AICP, Director of Community Planning and Development  
**From:** Adam D. Kessler, P.E., Deputy Town Engineer   
**Subject:** **Engineering Comments – Proposed Parking Lot Expansion  
#100 Grist Mill Road**

The Engineering Department has reviewed the documents submitted as part of a Site Plan Application for development of 100 Grist Mill Road received by this department on June 07, 2023:

1. Site Development Plans set titled “Proposed Parking Lot Expansion – 100 Grist Mill Road, Simsbury, CT”, prepared by Godfrey Hoffman Hodge, LLC dated June 5, 2023.
2. Engineering Report prepared by Godfrey Hoffman Hodge, LLC, dated June 5, 2023.

The applicant has submitted plans to expand the existing parking lot at 100 Grist Mill Road to add 52 parking spaces, bringing the total parking count to 167 parking spaces. This expansion results in the addition of two retaining walls, stormwater management, and associated grading and appurtenances.

The following comments are based on a review of the submitted materials and respectfully request that the applicant responds to all comments in writing with revised documents:

### General

1. The northern retaining wall is 9-feet tall at its tallest identified point. Please note that a retaining wall of this size requires design by a licensed professional engineer and a building permit.
2. The applicant shall confirm that the proposed work is allowed within the “Communication Trench Line Easement in favor of Ensign-Bickford Realty Corporation”.
3. The “Bulk Requirements” table on Sheet C-1.0 shall identify the proposed impervious coverage for compliance with the maximum impervious coverage (%) on the site.
4. Provide drive aisle dimensions and curb radii dimensions on Sheet C-1.0.
5. A proposed 245-contour appears to be missing on the southernmost portion of the parking lot between spot grades 245.6 and 244.6 on Sheet C-2.0.
6. A detail for a Vegetated Level Spreader is provided, although is not identified on the plan view. Identify this location on Sheet C-2.0.

7. Provide a detail for the proposed guard rail.
8. Identify the flow lines of the existing drainage on-site and confirm that the proposed work does not conflict with the outlets/outfalls, if exists.
9. Include a standard detail for the proposed concrete block retaining wall. If underdrains are proposed for this retaining wall, identify the outlet location(s).
10. Provide a photometrics plan showing no spillage of light associated with the proposed light fixtures.
11. Provide a standard detail for the proposed parking lot expansion including a cross section with the dimensions and material of the proposed surface, base, and curb.

#### Stormwater Design and Analysis

12. Stormwater Analysis Report does not include a Pre-Development Analysis. Please provide the analysis and provide a chart in the report compare pre-development and post-development peak flow rates.
13. Underground Detention Facilities are considered a Secondary Treatment Practice per the 2004 CT Stormwater Quality Manual (CTSWQM). Page 11-S2-1 of the CTSWQM states *“As part of a stormwater treatment train, particularly in combination with other primary or secondary treatment practices that provide pollutant reduction, runoff volume reduction, or groundwater recharge.”* Additional stormwater treatment measures shall be included as part of this stormwater management design prior to stormwater entering the chamber field.
14. Infiltration of 12 inches per hour was assumed in the stormwater report for the subsurface system. Please note that an infiltration rate with the safety factor of 2 of a field measured permeability test may be used subject to appropriate pre-treatment prior to discharging into the subsurface detention system. Infiltration Practices identify the maximum field measured infiltration rate as 5.0 in/hour on Table 8-3 of the CTSWQM, therefore the maximum design infiltration rate should be 2.5 in/hour. Provide field test results and revise accordingly.
15. Underground Detention Facilities typically have an outflow pipe to control release of detained stormwater. Identify the discharge location of the overflow pipe and its inverts. *“[This] overflow should be designed to convey the 100-year runoff in case the outlet becomes clogged.”*
16. Sheet C-5.1 has details which are not applicable to this site, in addition to several elevation callouts which are not consistent with the proposed design. Revise Sheet C-5.1 to show only applicable details.
17. Provide a detailed cross-section of the detention facility. Include inlet elevations, outlet structure elevations, and all maximum water elevations for each storm analyzed.
18. Existing catch basins that are identified as “Full of Sand” shall be cleaned and continually maintained in accordance with previously approved site plans operation and maintenance plans. This condition with the new proposed chambers would result in compromise of the system and incidental impacts.

The favorable recommendation is subject to resolution of these outstanding comments to the satisfaction of the Engineering Department prior to final sign-off of the project.

**Archived:** Wednesday, July 12, 2023 11:29:46 AM

**From:** [Marcus Puttock](#)

**Sent:** Friday, July 7, 2023 12:07:39 PM

**To:** [Gus Jasminski](#) [Conrad Brejwo](#) [McGregor George](#)

**Subject:** RE: [EXTERNAL]EBAD

**Importance:** Normal

**Sensitivity:** None

**Attachments:**

[113-65 100 Grist Mill\\_SITE PLAN.pdf](#) [Engineering Report\\_2023-07-07.pdf](#)

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Please find revised plans and report attached, as well as response to questions below.

#### General

1. The northern retaining wall is 9-feet tall at its tallest identified point. Please note that a retaining wall of this size requires design by a licensed professional engineer and a building permit. **Note on plan states "Design by others," but an additional note added on sheets C-1.0 and C-2.0 as requested.**
2. The applicant shall confirm that the proposed work is allowed within the "Communication Trench Line Easement in favor of Ensign-Bickford Realty Corporation". **Said easement is in favor of the owner/applicant, so it's a moot point.**
3. The "Bulk Requirements" table on Sheet C-1.0 shall identify the proposed impervious coverage for compliance with the maximum impervious coverage (%) on the site. **Corrected.**
4. Provide drive aisle dimensions and curb radii dimensions on Sheet C-1.0. **Added.**
5. A proposed 245-contour appears to be missing on the southernmost portion of the parking lot between spot grades 245.6 and 244.6 on Sheet C-2.0. **Contour had been there but obscured by other lines on top of it, move slightly for clarity and contour label added.**
6. Vegetated Level Spreader is provided, although is not identified on the plan view. Identify this location on Sheet C-2.0. **Removed detail.**
7. Provide a detail for the proposed guard rail. **Added to sheet C-5.0.**
8. Identify the flow lines of the existing drainage on-site and confirm that the proposed work does not conflict with the outlets/outfalls, if exists.
9. Include a standard detail for the proposed concrete block retaining wall. If underdrains are proposed for this retaining wall, identify the outlet location(s). **Concrete block wall detail was/is not provided as the manufacturer and type of block has not been selected and not designed by an appropriate professional as of yet.**
10. Provide a photometrics plan showing no spillage of light associated with the proposed light fixtures. **EBAD to furnish.**
11. Provide a standard detail for the proposed parking lot expansion including a cross section with the dimensions and material of the proposed surface, base, and curb. **Detail added on sheet C-5.0.**

#### Stormwater Design and Analysis

12. Stormwater Analysis Report does not include a Pre-Development Analysis. Please provide the analysis and provide a

chart in the report compare pre-development and post-development peak flow rates. **Provided in report**

13. Underground Detention Facilities are considered a Secondary Treatment Practice per the 2004 CT Stormwater Quality Manual (CTSWQM). Page 11-S2-1 of the CTSWQM states *“As part of a stormwater treatment train, particularly in combination with other primary or secondary treatment practices that provide pollutant reduction, runoff volume reduction, or groundwater recharge.”* Additional stormwater treatment measures shall be included as part of this stormwater management design prior to stormwater entering the chamber field. **Oil/Grit separator provided in prior to infiltration**
  14. Infiltration of 12 inches per hour was assumed in the stormwater report for the subsurface system. Please note that an infiltration rate with the safety factor of 2 of a field measured permeability test may be used subject to appropriate pre-treatment prior to discharging into the subsurface detention system. Infiltration Practices identify the maximum field measured infiltration rate as 5.0 in/hour on Table 8-3 of the CTSWQM, therefore the maximum design infiltration rate should be 2.5 in/hour. Provide field test results and revise accordingly. **Percolation testing complete and noted in report and on plans. Rate noted in report.**
  15. Underground Detention Facilities typically have an outflow pipe to control release of detained stormwater. Identify the discharge location of the overflow pipe and its inverts. *“[This] overflow should be designed to convey the 100-year runoff in case the outlet becomes clogged.”* **Outlet not provided as noted in report.**
  16. Sheet C-5.1 has details which are not applicable to this site, in addition to several elevation callouts which are not consistent with the proposed design. Revise Sheet C-5.1 to show only applicable details. **Standard details updated to reflect site conditions.**
  17. Provide a detailed cross-section of the detention facility. Include inlet elevations, outlet structure elevations, and all maximum water elevations for each storm analyzed. **Provided.**
- Existing catch basins that are identified as “Full of Sand” shall be cleaned and continually maintained in operation and maintenance plans. This condition with the new proposed chambers would result in compromise of the system and incidental impacts. **Noted on plan and maintenance report.**

Kindest regards, Marcus

Marcus Puttock, PE. LS.



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[www.ghhllc.com](http://www.ghhllc.com)

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**From:** Gus Jasminski <GJasminski@e-brealty.com>  
**Sent:** Thursday, July 6, 2023 1:27 PM  
**To:** Marcus Puttock <mputtock@ghhllc.com>; Conrad Brejwo <cbrejwo@ghhllc.com>  
**Subject:** FW: [EXTERNAL]EBAD

Can we get this soon?

Gus

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**From:** McGregor George <[gmcgregor@simsbury-ct.gov](mailto:gmcgregor@simsbury-ct.gov)>

**Sent:** Thursday, July 6, 2023 9:48 AM

**To:** Conrad Brejwo <[cbrejwo@ghllc.com](mailto:cbrejwo@ghllc.com)>; Gus Jasminski <[GJasminski@e-brealty.com](mailto:GJasminski@e-brealty.com)>

**Subject:** [EXTERNAL]EBAD

Please forward the response to staff comments ASAP; I am starting to prepare the staff report.

Also, please prepare an E&S bond estimate so we can include in a condition of approval.

thanks

George K. McGregor, AICP

Planning & Community Development Director

Town of Simsbury

933 Hopmeadow Street

Simsbury, CT 06070

P(860) 658 3252

[gmcgregor@simsbury-ct.gov](mailto:gmcgregor@simsbury-ct.gov)







PROFESSIONAL LAND SURVEYORS & CIVIL ENGINEERS

**BOND SHALL COVER ALL IMPROVEMENTS REQUIRED BY THE PLANNING & ZONING COMMISSION, ZONING REGULATIONS OR STATE STATUTES**

Applicant Name: Ensign-Bickford Aerospace & Defense Co.

Applicant Address 640 Hopmeadow Street

Applicant Address Simsbury, CT

**ON-SITE S & E CONTROLS**

	UNIT	QUANTITY	PRICE/ UNIT	COST
<b>ITEMS TO BE ESTIMATED &amp; REVIEWED</b>				
1. TREE REMOVAL &/OR CLEARING	ACRE	0.75	\$1,600	\$ 750.00
2. LOAM & SEED	Sq. Yd.	1350	\$3	\$ 1,620.00
3. EROSION CONTROL				
a. Haybales	LF	500	\$3	\$ 6,000.00
b. Berms	C. Yds.		\$2	
c. Silt Fence (s)	LF	500	\$3	\$ 3,000.00
d. Other				
e. Anti-Tracking Pad	EACH	1	\$500	\$ 1,500.00

BOND ESTIMATE (ON-SITE)	\$ 12,870.00
CONTINGENCY @ 15%	<b>\$ 1,930.50</b>

**BOND SHALL COVER ALL IMPROVEMENTS REQUIRED BY THE COMMISSION, SHOWN ON APPROVED PLAN(S), REQUIRED BY REGULATION ON OR OFF-SITE, WHETHER LISTED ON BOND FORM OR NOT.**

**\$14,800.50**