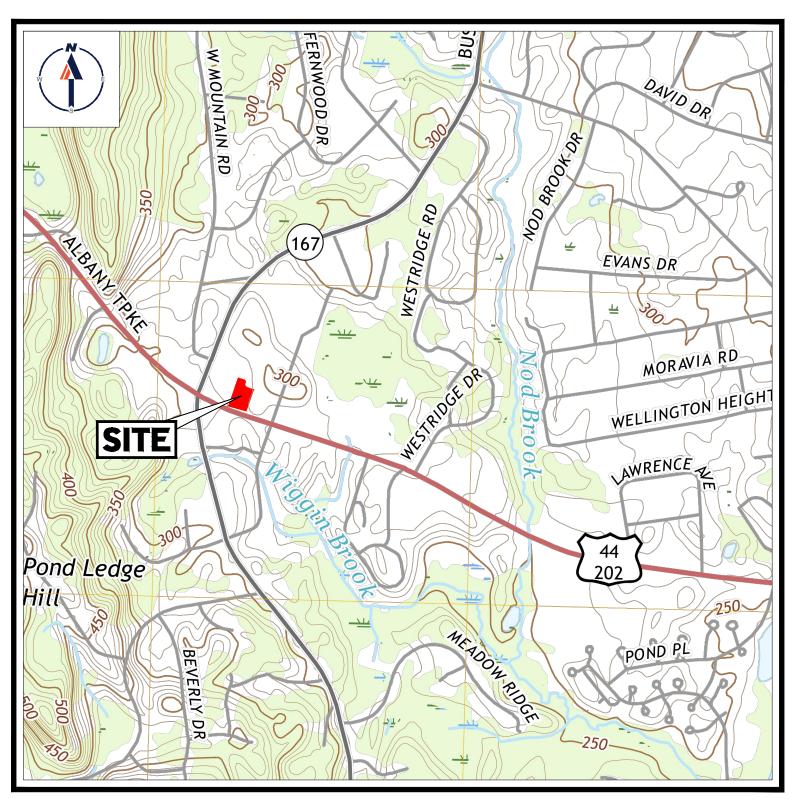
PROPOSED SITE PLAN DOCUMENTS

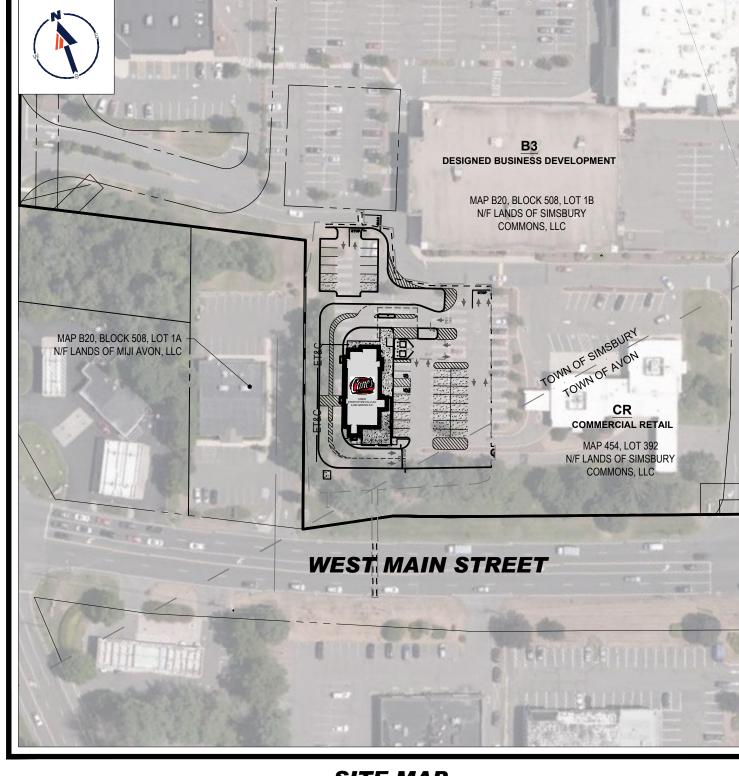


USGS MAP SCALE: 1" = 1,000' SOURCE: 2021 AVON QUADRANGLE



PROPOSED **PROPOSED RESTAURANT W/ DRIVE-THRU**

> LOCATION OF SITE: 530 BUSHY HILL ROAD, TOWN OF SIMSBURY HARTFORD COUNTY, CT MAP #B20, BLOCK #508, LOT #001-B



SITE MAP SCALE: 1" = 100' SOURCE: 2022 MICROSOFT CORPORATION



PREPARED BY

REFERENCES

- BOUNDARY & TOPOGRAPHIC SURVEY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD, SOUTHBOROUGH, MA 01772 DATE: 02/23/2022 REVISED: 02/23/2023
- GEOTECHNICAL INVESTIGATION REPORT: TERRACON CONSULTANTS, INC. ROCKY HILL, CT DATE: 12/12/2022
- ARCHITECTURAL PLAN: ADA ARCHITECTS, INC. 17710 DETROIT AVENUE, CLEVLAND, OHIO 44107 DATE: 11/14/2022 REVISED: 04/27/2023

* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

DRAWING	SHEET	INDEX

SHEET INDEX	
SHEET TITLE	NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING & DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
SOIL EROSION & SEDIMENT CONTROL PLAN	C-601
SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	C-602
LANDSCAPE PLAN	C-701
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DETAIL SHEET	C-902
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ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)	3 SHEETS



GENERAL NOTES

1.	THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH	1.	TI Al Bl
	ANY OTHER SITE FEATURES.	2.	TI

- THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL AND ALL APPLICABLE REQUIREMENTS, BULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS. ATTACHMENTS AND ADDENDA TO SAME PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST
- CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND BOHLER, IN WRITING. OF ANY CONFLICTS. DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS THE CONTRACTOR MUST FIELD VERIEVALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND BOHLER. IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD AND BOHLER. THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
- THE CONTRACTOR MUST VERIEVAL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS.
- THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT. DISCREPANCY OR AMBIGUITY. THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS: AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS. MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK IF A GEOTECHNICAL REPORT WAS NOT CREATED. THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT. ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER. HAS NO LIABILITY FOR ANY
- HAZARDOUS MATERIALS. HAZARDOUS SUBSTANCES. OR POLLUTANTS ON. ABOUT OR UNDER THE PROPERTY THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST
- AND EXPENSE THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT. UTILITIES. BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN. AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES. PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOI ID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
- THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE STRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR COULD AFFECT
- THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS.
- THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY IN JURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR WNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES. CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME
- ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE. EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL UMBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED. WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES, CLAIMS, ACTIONS PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR OSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE
- THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

PROJECT INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S) ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER. IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION. SUSPENSION OR CHANGE OF ITS INSURANCE

. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES") RELIEVES OR WILL BELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY, BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK. SERVICES AND/OR VIOLATIONS OF THIS NOTE. THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST

NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE

- WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES. COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT, BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION 30HLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS. INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND. INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE. AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT
- ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES. IARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE

FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY

- AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH URISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK.
- THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLITION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LÓCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING
- AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER. THE USE OF THE WORDS 'CERTIFY OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

	GENERAL DEMOLITION NOTES	GENERAL GRADING NOTES	ADA I	NSTRUCTIONS TO
-	THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST	 THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST 	1. ALL ACCE REQUIRE	SSIBLE (A.K.A. ADA) COMPONENTS AND ACCES
2 IAT	BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.	BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. 2. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW	 THE CON GUIDELIN THE CON 	ID STATE GUIDELINES, AND ANY AND ALL AMEN TRACTOR MUST REVIEW ALL DOCUMENTS REFI ES. TRACTOR MUST EXERCISE APPROPRIATE CARE FINISHED SURFACES ALONG THE ACCESSIBLE
3	3. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL	THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. 3. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL	INTER-BU INCLUDE, 3.1. ACCE	ILDING ACCESS, TO POINTS OF ACCESSIBLE BU BUT ARE NOT LIMITED TO THE FOLLOWING: ESSIBLE PARKING SPACES AND ACCESS AISLES
	DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN.	 FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE 	AGEN EXCE THAN	OF TRAVEL ALONG ACCESSIBLE ROUTE MUST ICY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR (ED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL A 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PI
NO	BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT	 CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S 	CHAN 3.3. ACCE ACCE	ICAL CHANGES OF UP TO 1/2-INCH ARE PERMIT IGES OVER 1/4-INCH ARE PERMITTED. ISSIBLE RAMPS MUST NOT EXCEED A SLOPE O ISSIBLE RAMPS. LANDING MUST PROVIDE POSI
ED 5	ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. 5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO	GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE	BOTH 3.4. ACCE LEVE	2S THAT CHANGE DIRECTION BETWEEN RUNS A I SIDES OF THE RAMP MUST BE PROVIDED ON A ESSIBLE CURB RAMPS MUST NOT EXCEED A SLI L LANDING MUST BE PROVIDED AT RAMPS TOP ING AT THE TOP, FLARE SIDES SLOPES MUST N
ĒR	ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.	MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY	3.5. DOOF BE SL LONG A117.	RWAY LANDINGS AREAS MUST BE PROVIDED OI OPED AWAY FROM THE DOOR NO MORE THAN B, EXCEPT WHERE OTHERWISE CLEARLY PERM 1-2009 AND OTHER REFERENCES INCORPORAT
D 6 R,	B. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.	 CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S). 	EXIST DEPA	N THE PROPOSED CONSTRUCTION INVOLVES R FING DOORWAYS OR SURFACES, THE CONTRAC RTMENT OF JUSTICE'S ADA STANDARDS FOR A FIMMEDIATELY NOTIFY THE ENGINEER OF REC
7	7. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.	 THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. 	AND 3.7. THE (IS OB	RESPECT FROM WHAT IS SHOWN ON THE PLAN MINIMUM LIMITATIONS IMPOSED BY THE BARRII CONTRACTOR MUST VERIFY ALL OF THE SLOPE SERVED OR DISCOVERED, THE CONTRACTOR I
۶ R	B. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD	REQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES, 1.5% ON ASPHALT SURFACES, 1.5% IN LANDSCAPED AREAS AND 0.75% SLOPE AGAINST ALL	SURF 4. IT IS STRO	RACTOR IS SOLELY RESPONSIBLE FOR ALL CC ACES. DNGLY RECOMMENDED THAT THE CONTRACTO OR TO COMMENCING CONSTRUCTION.
S g	AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.	10. WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE TOP AND BOTTOM OF THE WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING). WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT THERE ARE NO UTILITIES ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY BE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY SUPPORTING THE WALL IN ACCORDANCE WITH THE STANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES, ORDINANCES, LAWS AND STATUTES.		
	 PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR 	11. MSE OR GRAVITY BLOCK WALLS SHALL BE CONSTRUCTED SUCH THAT UPON COMPLETION OF CONSTRUCTION THERE IS NO UNFINISHED SURFACE OR LIFTING RINGS VISIBLE (E.G. USE OF FINISHED TOP BLOCK OR CAP STONES)		
 S	TO THE COMMENCEMENT OF WORK. 10.3. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED 10.4. IN ACCORDANCE WITH STATE LAW. THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT. IN ADVANCE	12. STORMWATER RUNOFF WITHIN PROPERTY MUST BE COLLECTED ON-SITE WITH NO OVERLAND RUNOFF ONTO THE RIGHT-OF-WAY OR ADJACENT PROPERTIES TO THE MAXIMUM EXTENT POSSIBLE OR IN THE MANNER SHOWN ON THE CONSTRUCTION DRAWINGS. STORMWATER RUNOFF ONTO ADJACENT PROPERTIES SHALL BE CONTROLLED AS TO NOT ADVERSLY IMPACT SAID PROPERTIES.		
	 OF ANY EXCAVATION. 10.5. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES. 	 BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS WITH THEIR INTENDED FOR STRUCTURAL USES TO THE GEOTECHNICAL ENGINEER OF RECORD. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL ADA GUIDELINES AND REQUIREMENTS. 		
	 10.6. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES. 10.7. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS. 	 FOR ALL RETAINING WALLS (CT USE 3, ALL OTHER OFFICES USE 4) FEET OR GREATER IN HEIGHT: THE OWNER OR THE OWNER'S CONTRACTOR IS TO PROVIDE A SITE-SPECIFIC RETAINING WALL DESIGN PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED (E.G. STRUCTURAL ENGINEER) IN THE STATE WHERE THE CONSTRUCTION OCCURS. SOIL TYPES, WATER TABLE ELEVATION, EXISTING & PROPOSED SURROUNDING IMPROVEMENTS/CONDITIONS (INCLUDING BUT NOT LIMITED TO SLOPES, DRIVE AISLES, ROADS, FENCING, GUIDERAILS, UTILITIES, DRAINAGE FACILITIES, STRUCTURES, FOUNDATIONS), LIVE LOADS AND OTHER SITE AMENITIES THAT COULD HAVE AN INFLUENCE OR IMPACT ON THE RETAINING WALL(S) 		
ю	 ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND 	 CONSTRUCTABILITY AND/OR LONGEVITY SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN AS WELL AS THE GLOBAL STABILITY ANALYSIS. 15.2. PEER REVIEW AND GLOBAL STABILITY ANALYSIS OF THE RETAINING WALL DESIGN MUST BE COMPLETED BY THE OWNER'S GEOTECHNICAL ENGINEER TO CERTIFY THE DESIGN MEETS INDUSTRY STANDARDS FOR FACTOR OF SAFETY. SOIL TYPES, WATER TABLE ELEVATION AND DESIGN PROPERTIES AS NOTED 	[
1	SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME. 1. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS	ABOVE SHALL BE FIELD CONFIRMED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO WALL CONSTRUCTION. 16. CONTRACTOR SHALL INSTALL CONCRETE CURB ALONG FACE OF BUILDING / WALL AS SHOWN TO PROVIDE CONSISTENT WIDTH ALONG LENGTH OF PROPOSED ACCESSIBLE RAMP AND RAMP LANDING TO MEET ADA/AAB REQUIREMENTS.	AB	BREVIATIONS
1	WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER. 2. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN	17. CONTRACTOR SHALL REVIEW RETAINING WALL LOCATIONS VERSUS APPLICABLE STATE AND LOCAL CODES AND PROVIDE FALL PROTECTION (E.G. FENCING OR RAILING) IN ACCORDANCE WITH SAID CODE.	KEY AG / ABVG	DESCRIPTION ABOVE GROUND
.D 1	PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION. 3. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE	CONFIRM THAT THE SCOPE OF WORK SHALL PROVIDE POSITIVE DRAINAGE BY FIXING ANY EXISTING AREAS OF PONDING.	BC	ARCHITECT BACK OF CURB BITUMINOUS CONCRETE CURB
	WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER.		BM BOC	BENCHMARK BOTTOM OF CURB BOTTOM OF WALL
1 Y	4. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO	ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.	CC CCB	BUILDING CONCRETE CURB CAPE COD BERM
ИЕ.	 MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. 5. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND 	LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES. ERRORS AND OMISSIONS IN WRITING. TO THE ENGINEER OF RECORD.	DEC °	CONCRETE DECORATIVE DEGREE DEPRESSED
R D OM 1	 IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST. 6. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED. INCLUDING BUT NOT LIMITED TO. THE PUBLIC RIGHT-OF-WAY. 	3. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION,	Ø / DIA DMH DIP	DIAMETER DRAIN MANHOLE DUCTILE IRON PIPE
1	7. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST.	EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. 4. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO	EOP ELEV	EXTRUDED CONCRETE CURB EDGE OF PAVEMENT ELEVATION EXISTING
R 1 ION	 THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST. 	5. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS.	FF FFE	FINISH FLOOR FINISH FLOOR ELEVATION GENERAL CONTRACTOR
1	 THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY. 	PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY	HDPE HP	GRATE HIGH DENSITY POLYETHYLENE PIPE HIGH POINT
2	20. CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IF REQUIRED, DIG EXPLORATORY TEST PITS TO CONFIRM EXACT LOCATION AND DEPTH OF UTILITIES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER WITH ANY CONFLICTS AS NEEDED TO COORDINATE FINAL LOCATION OF ALL PROPOSED IMPROVEMENTS.	UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY	INV	INTERSECTION INVERT LANDSCAPE AREA
DR E	 CONTRACTOR SHALL INSPECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN FOR THE PROJECTS RE-USE TO VERIFY SUITABILITY FOR SAME. IF STRUCTURES CAN NOT BE REUSED THEN THE CONTRACTOR SHALL PROVIDE A NEW STRUCTURE. THE CONTRACTOR SHALL COORDINATE SUCH WORK WITH THE APPLICABLE UTILITY PROVIDER. CONTRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS. DELETERIOUS MATERIALS. AND/OR DEBRIS THAT IMPEDE THE 	7. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROVIDED OF THE APPLICABLE OF THE APPLICABLE OF THE APPLICABLE UTILITY OF THE APPLICABLE OF THE APPLICATION OF THE APPLICABLE	LOW LF	LIMIT OF DISTURBANCE LIMIT OF WORK LINEAR FOOT / FEET LOW POINT
	WORK SHOWN ON THESE PLANS. 3. THE CONTRACTOR SHALL REVIEW THE PLANS VERSUS THE LOCATION OF EXISTING STRUCTURES, UTILITIES AND APPURTENANCES IN THE FIELD TO CONFIRM ACCURACY OF SAME AND VERIFY ITEMS TO BE REMOVED. THE CONTRACTOR SHALL CARRY COSTS FOR REMOVAL OF ANY EXISTING STRUCTURES,	 RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS 8. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE. IN ANY RESPECT. FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE 	MAX MEP	MAXIMUM MECHANICAL, ELECTRICAL, PLUMBING
2	APPURTENANCES, AND UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO, DRAIN, WATER, SEWER, STEAM, IRRIGATION, GAS, TELECOM AND ELECTRIC. 24. THE CONTRACTOR SHALL MAINTAIN, ADJUST OR ABANDON EXISTING MONITORING WELLS IN ACCORDANCE WITH THE DIRECTION OF THE ENVIRONMENTAL CONSULTANT (TYP.)	APPROPRIATE PLAN(S), WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. 9. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE	MIN No. / #	MEET OR MATCH EXISTING MINIMUM NUMBER PLUS OR MINUS
HE	 WHERE THE LIMIT OF WORK COINCIDES WITH PROPERTY LINE, TREE LINE, PROPOSED SAWCUT OR COMBINATION THEREOF IT IS SHOWN ADJACENT TO THESE FEATURES FOR GRAPHICAL CLARITY. EXISTING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION UNLESS CLEARLY INDICATED OTHERWISE. REASONABLE CARE AND CAUTION SHALL 	INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME. 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS.	PC PI	POINT OF CURVATURE POINT OF INTERSECTION POINT OF TANGENCY
()	BE TAKEN DURING CONSTRUCTION TO PREVENT DAMAGE AND SELECTIVE PRUNING MAY BE REQUIRED TO ENSURE THAT TREES DO NOT CONFLICT WITH THE DEVELOPMENT.	11. WATER SERVICE MATERIALS, DURIAL DEFTH, AND COVER REQUIREMENTS MUST DE SPECIFIED DET HE LOCAL UTILITE COMPANE. THE CONTRACTOR MUST	PVI PVC	POINT OF VERTICAL INTERSECTION POLYVINYL CHLORIDE PIPE PROPOSED
	27. CONTRACTOR SHALL REPAIR/REPLACE ANY TRAFFIC LOOP DETECTORS THAT ARE DAMAGED DURING CONSTRUCTION WITHIN EXISTING OR PROPOSED RIGHTS OF WAYS. ANY SUCH WORK SHALL BE PERFORMED BY A LICENSED / DOT APPROVED SIGNAL CONTRACTOR. ANY DAMAGED LOOPS OR OTHER SIGNAL EQUIPMENT SHALL BE REPAIRED IMMEDIATELY AFTER THE WORK IS COMPLETE. THE SIGNAL CONTRACTOR SHALL BE AVAILABLE TO MAKE ANY TEMPORARY SIGNAL CHANGES IF REQUESTED BY DOT AND/OR THE MUNICIPALITY.		R RCP	RADIUS OR RADII REINFORCED CONCRETE PIPE RIGHT-OF-WAY
ON HE	28. THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO DETERMINE THE EXACT SIZE, DEPTH AND LOCATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION.	PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK) TO PROVIDE FULL AND COMPLETE WORKING SERVICE, INCLUDING (BUT NOT LIMITED TO) NECESSARY FEES, TESTING, DISINFECTING, INSPECTIONS, ROAD OPENING & BACKFILL REQUIREMENTS, TRAFFIC CONTROL AND SURETY BONDS AS DEFINED BY THE PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK).	SAN SMH	SANITARY SEWER MANHOLE SLOPE
	29. CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED AT THE EXISTING MAIN AND/OR PROPERTY LINE. THESE SERVICES ARE TO BE TERMINATED IN ACCORDANCE WITH MUNICIPAL / STATE TRANSPORTATION DEPARTMENT REQUIREMENTS. GENERAL SITE NOTES	14. ALL WORK ASSOCIATED WITH UTILITY POLES, OVERHEAD WIRES AND ANY/ALL APPURTENANCES SHALL BE COORDINATED BY THE GC WITH THE LOCAL UTILITY COMPANIES PRIOR TO THE ORDERING OF ANY MATERIALS. THIS MAY INCLUDE BUT IS NOT LIMITED TO THE REMOVAL, INSTALLATION, RELOCATION OR PROTECTION OF ANY BRACING, GUY WIRES, OVERHEAD WIRES, ETC. AS MAY BE REQUIRED TO ACCOMMODATE THE PROJECT.	SF SGC	SLOPE SQUARE FOOT SLOPED GRANITE CURB STATION
1	THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.	15. SEWERS CONVEYING SANITARY FLOW, OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST, AT A MINIMUM, BE IN SEPARATE TRENCHES WITH THE AT LEAST 18 INCHES OF VERTICAL SEPARATION FROM THE BOTTOM OF THE WATER MAIN TO THE TOP OF THE SEWER LINE. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF	STM TBR	TO BE REMOVED TO BE REMOVED AND REPLACED
2 D	2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE	AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SANITARY SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SANITARY SEWER MUST BE PROVIDED. ALL CROSSINGS SHALL BE IN ACCORDANCE WITH JURISDICTIONAL PERMITTING/UTILITY AUTHORITIES REGULATIONS.	тс	TOP OF CURB TOP OF WALL TREE PROTECTION FENCE
ГЕ, з	RIGHT OF WAY. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.		TRANS TYP.	TRANSITION TYPICAL UNDERGROUND
г ТО	THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT.	DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. 17. STORM AND SANITARY PIPE LENGTHS INDICATED ARE NOMINAL AND ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS	V.I.F. VGC	VERIFY IN FIELD VERTICAL GRANITE CURB WIDTH
, 5 VE.	 ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE. 	INDICATED ON THE PLANS OTHERWISE.		
LE 6 TY	START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING	 SANITARY PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE CLEARLY INDICATED OTHERWISE. SANITARY LATERAL(S) MUST BE PVC SDR 26 UNLESS CLEARLY INDICATED OTHERWISE. 		
	CONSTRUCTION OPERATIONS (IF PROVIDED). ALL CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF JURISDICTIONAL STANDARD PSI AT 28 DAYS (OR 4,000 PSI) UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT. THE CONTRACTOR MUST FILE SITE SIGNAGE APPLICATION OR REPAIL UNDER SEPARATE APPLICATION UNLESS DONE SO AS PART OF JURISDICTIONAL REPMITTING	20. UNLESS CLEARLY INDICATED OTHERWISE, ALL STORM PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT/SOIL TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M252 FOR PIPES 4" TO 10" AND TO AASHTO M294 FOR PIPES 12" TO 60" AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT/SOIL TIGHT JOINT. PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 PVC OR SCHEDULE 40 UNLESS INDICATED OTHERWISE. HDPE PIPE JOINT GASKETS MUST BE PROVIDED AND CONFORM TO ASTM F477. DRAIN PIPE INSTALLED WITH OVER TEN (10) FEET OVER COVER AND/OR IN HIGH GROUNDWATER CONDITIONS SHALL BE SANITITE HP POLYPROPOPYLENE PIPE (PP), OR		
۲ ۲ g	 THE CONTRACTOR MUST FILE SITE SIGNAGE APPLICATION OR PERMIT UNDER SEPARATE APPLICATION UNLESS DONE SO AS PART OF JURISDICTIONAL PERMITTING PROCEDURES. THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, PAVEMENT MARKINGS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES WHETHER OR FOLLOWING ON THE ON THE ON THE ON THE ON THE ONE. 	21. UNLESS CLEARLY INDICATED OTHERWISE ALL SANITARY PIPE MUST BE: 21.1. FOR PIPES LESS THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034.		
AL 1 SE	DAMAGED BY CONSTRUCTION ACTIVITIES WHETHER SPECIFIED ON THIS PLAN OR NOT. 0. WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT, HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT.	 FOR PIPES GREATER THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034. UNLESS LOCAL OR STATE BUILDING / PLUMBING CODE CLEARLY SPECIFIES DIFFERENTLY, SANITARY LATERALS MUST BE PVC SDR 26. FOR ALL UTILITY PIPING (INCLUDING DRAIN) WITHIN 10 FT OF A BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE LOCAL OR STATE BUILDING AND PLUMBING CODES. CONTRACTOR SHALL REFER TO PLUMBING ENGINEERING PLANS AND VERIFY PIPE MATERIAL WITH LOCAL OFFICIAL PRIOR TO ORDERING 		
:R Э 1	1. WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH OF THE PROPOSED WALL, RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE	SYSTEMS WITH LOCAL OFFICIALS FOR COMPLIANCE WITH APPLICABLE LOCAL OR STATE BUILDING AND PLUMBING CODES PRIOR TO ORDERING OF MATERIALS.		
Y' ER	APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT AN APPROPRIATELY LICENSED PROFESSIONAL DESIGNS ALL WALLS SHOWN HEREON AND PRIOR TO CONSTRUCTION. REFER TO GRADING NOTES REGARDING RETAINING WALL DESIGN.	22. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER COMPANY. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.		
1	2. CONTRACTOR IS CAUTIONED OF EXISTING UTILITY SERVICES TO REMAIN IN PROXIMITY TO PROPOSED BOLLARDS AND SIGNS. CONTRACTOR SHALL PROVIDE FIELD MODIFICATION LOCATIONS OF BOLLARDS AND BOLLARDS WITH SIGNAGE AS NEEDED TO AVOID CONFLICTS WITH EXISTING UTILITY SERVICES TO REMAIN.	23. GAS METERS MUST BE PROTECTED AS REQUIRED BY THE JURISDICTIONAL GAS PROVIDER.		

- MODIFICATION LOCATIONS OF BOLLARDS AND BOLLARDS WITH SIGNAGE AS NEEDED TO AVOID CONFLICTS WITH EXISTING UTILITY SERVICES TO REMAIN

TO CONTRACTOR:

CESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE TIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED. REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY

CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR SIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND E BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH

ISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. /UST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. RMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL

OPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF DSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION JNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO JST NOT EXCEED A SLOPE OF 1:12 (8.3%). ED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST

(HAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI ORATED BY CODE). ES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM TRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE OR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES, THE CONTRACT RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM ARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. LOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR OR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE

COSTS TO REMOVE. REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT ACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING



Restaurant Support Office 6800 Bishop Road, Plano, TX 75024 Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE:

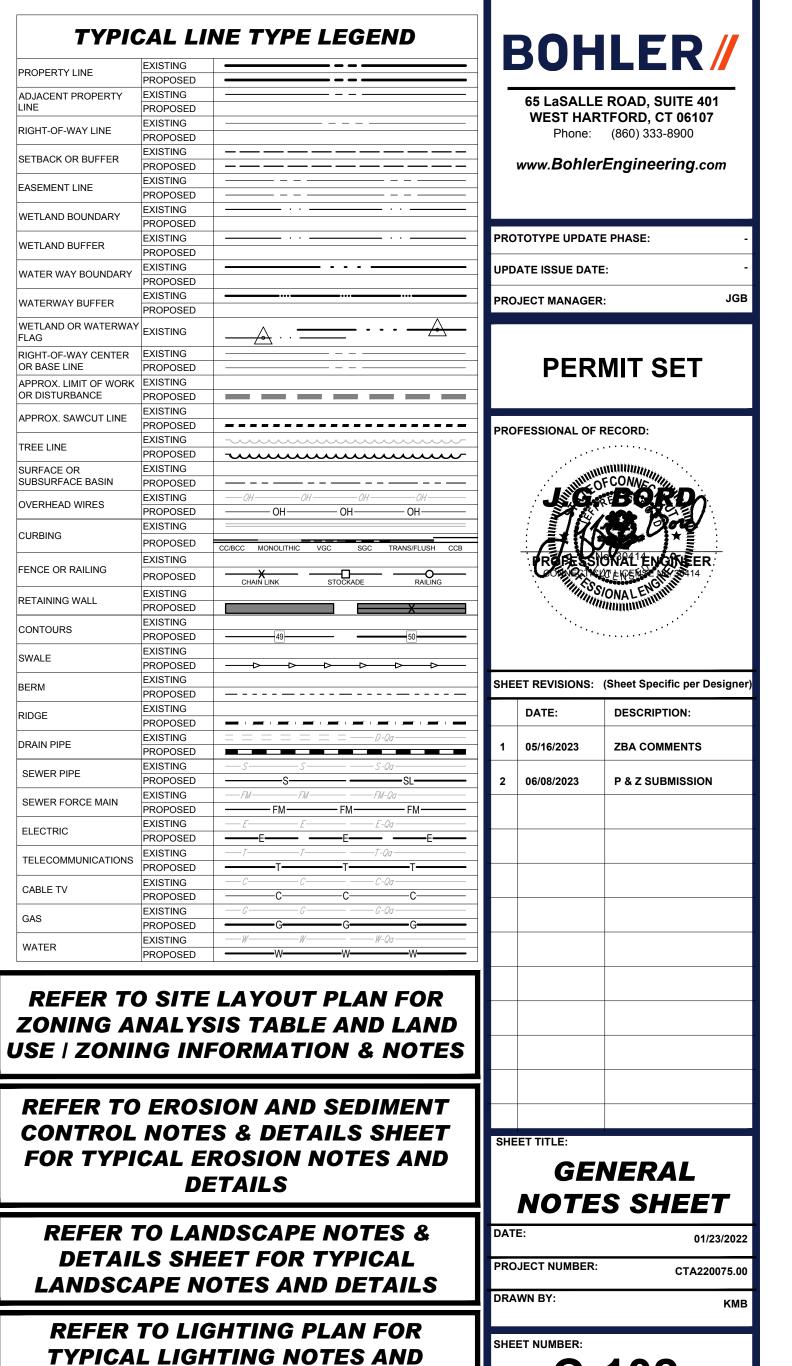
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530 BUSHY HILL ROAD SIMSBURY, CT Prototype P4-V-AV **RESTAURANT #C0935**

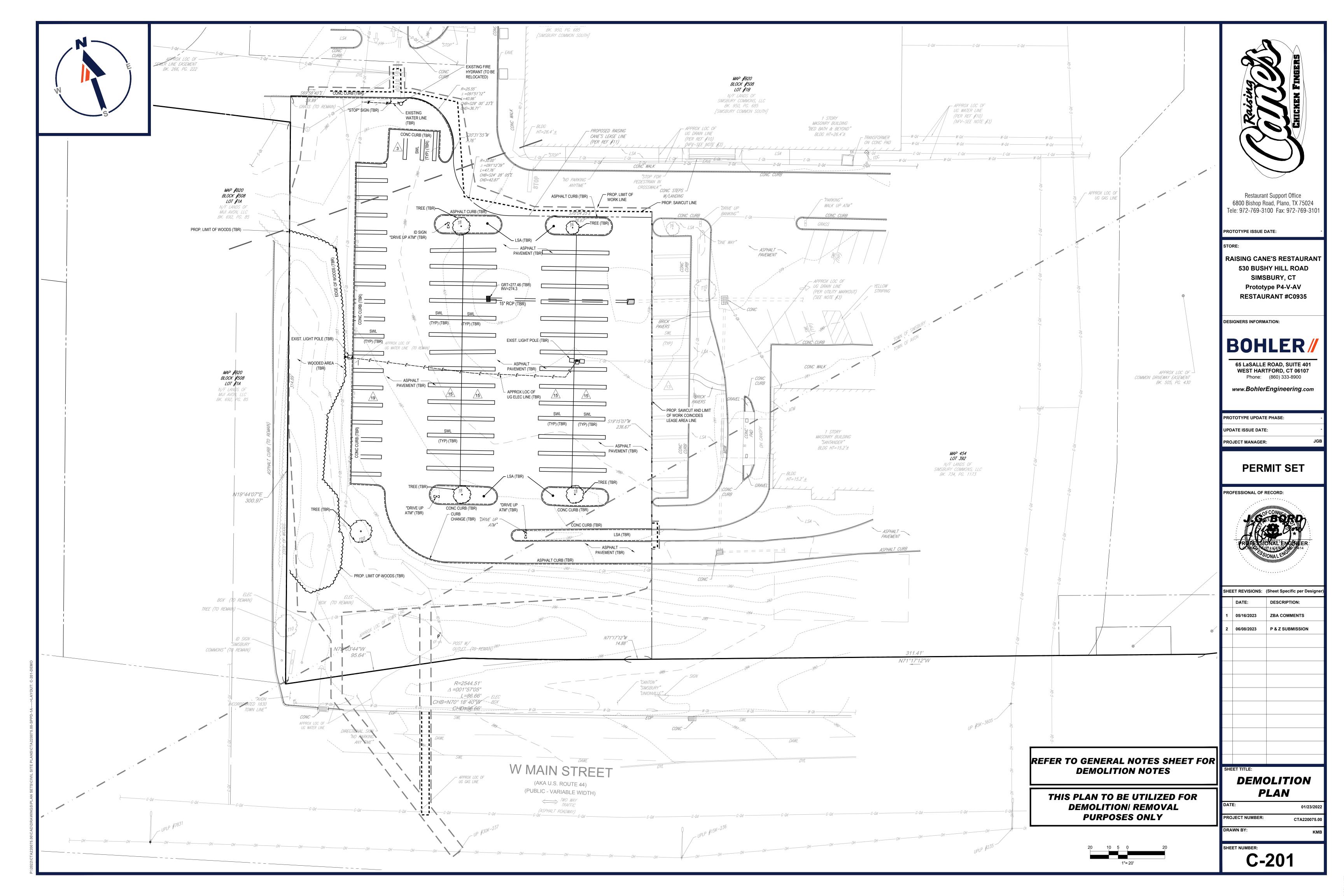
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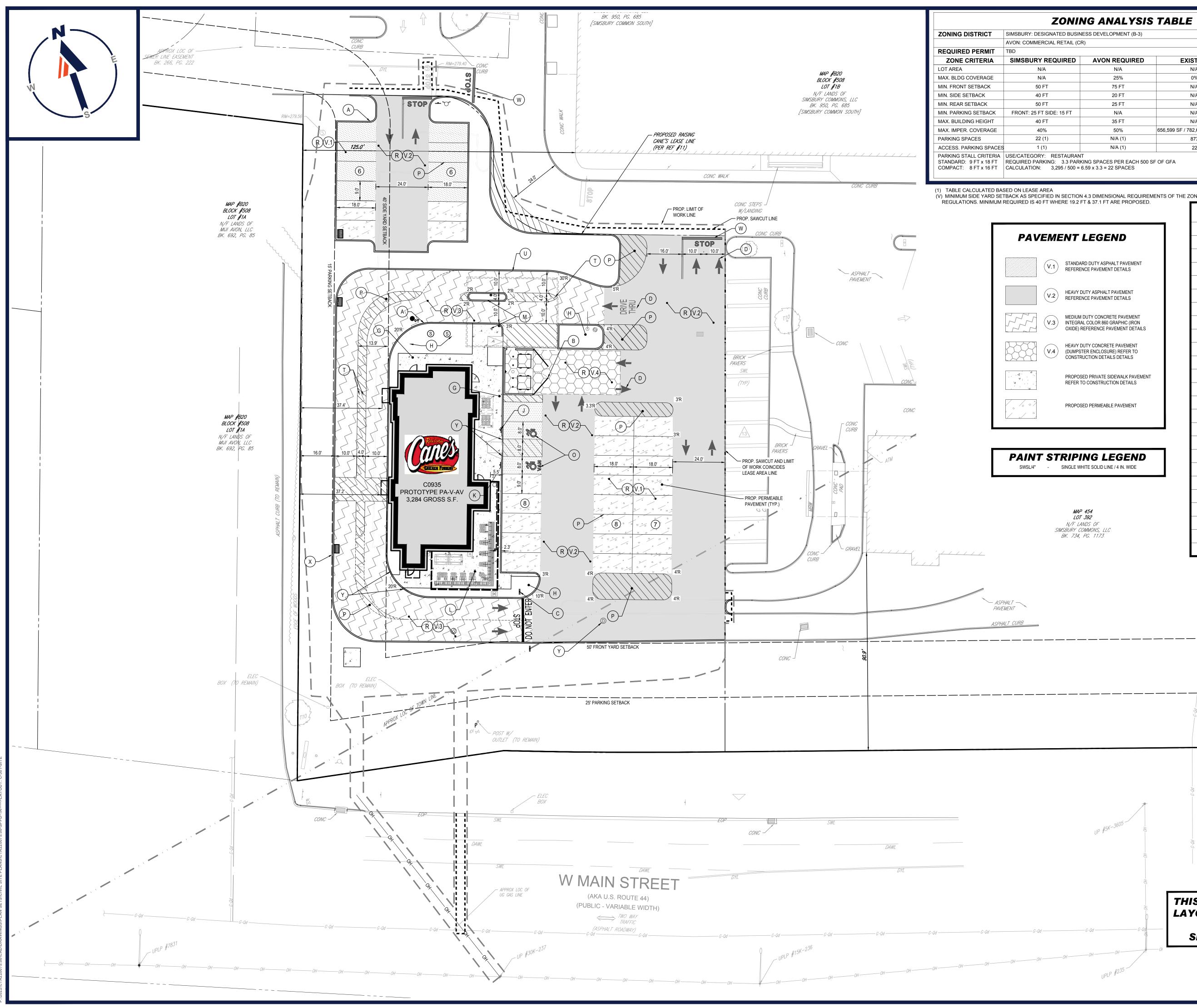
RAISING CANE'S RESTAURANT

DESIGNERS INFORMATION:



TABLES





ZONING ANALYSIS TABLE	
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PROPOSED LEASE AREA PROPOSED OVERALL AVON REQUIRED EXISTING 52,494 SF 782,633 SF N/A N/A 3,284 SF / 52,494 SF = 6.2% 188,942± SF / 782,633 SF = 24.0% 25% 0% 46 FT (AVON) 75 FT 87.0 FT N/A 20 FT N/A 37.2 FT | 37.4 FT (V) 9.5 FT (E) 25 FT N/A N/A 9.5 FT 15 FT N/A N/A 15 FT 35 FT N/A 656,599 SF / 782,633 SF = 83.9% 30,152 SF / 52,494 SF = 57.4% 656,432 SF / 782,633 SF = 83.8% 50% N/A (1) 873 781 35 N/A (1) 22 2 24

- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- MEDIUM DUTY CONCRETE PAVEMENT (V.3) INTEGRAL COLOR 860 GRAPHIC (IRON
- HEAVY DUTY CONCRETE PAVEMENT (V.4) (DUMPSTER ENCLOSURE) REFER TO
 - PROPOSED PRIVATE SIDEWALK PAVEMENT
 - PROPOSED PERMEABLE PAVEMENT

NING	
	LEGEND
A	PROP. CURB
В	PROP. RECYCLING / TRASH DUMPSTER LOCATION. REFER TO ARCH PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY.
0	PROP. "STOP" AND "DO NOT ENTER" SIGNS
D	PROP. DIRECTIONAL PAVEMENT MARKING
E	EXIST. CONCRETE SIDEWALK
F	
G	
H	PROP. LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS.
	PROP. SITE LIGHTING. REFER TO LIGHTING PLANS FOR DETAILS.
J	PROP. ACCESSIBLE PARKING SIGN.
K	PROP. VAN ACCESSIBLE PARKING SIGN.
L	PROP. CONCRETE PATIO WITH OUTDOOR SEATING.
M	PROP. DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCH. PLANS FOR DETAILS.
N	
\bigcirc	PROP. ACCESSIBLE PARKING SPACES & STRIPING (SEE DETAIL)
P	PROP. PAVEMENT STRIPING. SEE PAINT STRIPING LEGEND ON THIS SHEET.
Q	APPROX. LOCATION OF PROP. PAD MOUNTED TRANSFORMER. REFER TO SHEET C-501 - UTILITY PLAN.
R	PROP. ASPHALT PAVEMENT
S	PROP. SAWCUT LINE
T	PROP. BOLLARD IN CURB. REFER TO ARCH. PLANS FOR DETAILS.
U	ORDER BOARD CANOPY
V	
W	PROP. "STOP" SIGN AND BAR
X	PROP. CATCH BASIN
Y	PROP. DRAINAGE MANHOLE



Restaurant Support Office 6800 Bishop Road, Plano, TX 75024 Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE:

STORE:

N/A - NOT APPLICABLE N/S - NOT SPECIFIED

(V) - VARIANCE REQUESTED (W) - WAIVER REQUESTED(E) - EXIST. NON-CONFORMANCE

> **RAISING CANE'S RESTAURANT** 530 BUSHY HILL ROAD SIMSBURY, CT Prototype P4-V-AV **RESTAURANT #C0935**

DESIGNERS INFORMATION:



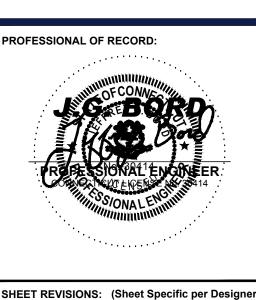
WEST HARTFORD, CT 06107 Phone: (860) 333-8900

www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE: UPDATE ISSUE DATE:

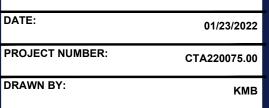
PROJECT MANAGER:

PERMIT SET



DATE: DESCRIPTION: 05/16/2023 **ZBA COMMENTS** 06/08/2023 P & Z SUBMISSION

SHEET TITLE: SITE LAYOUT PLAN



THIS PLAN TO BE UTILIZED FOR SITE

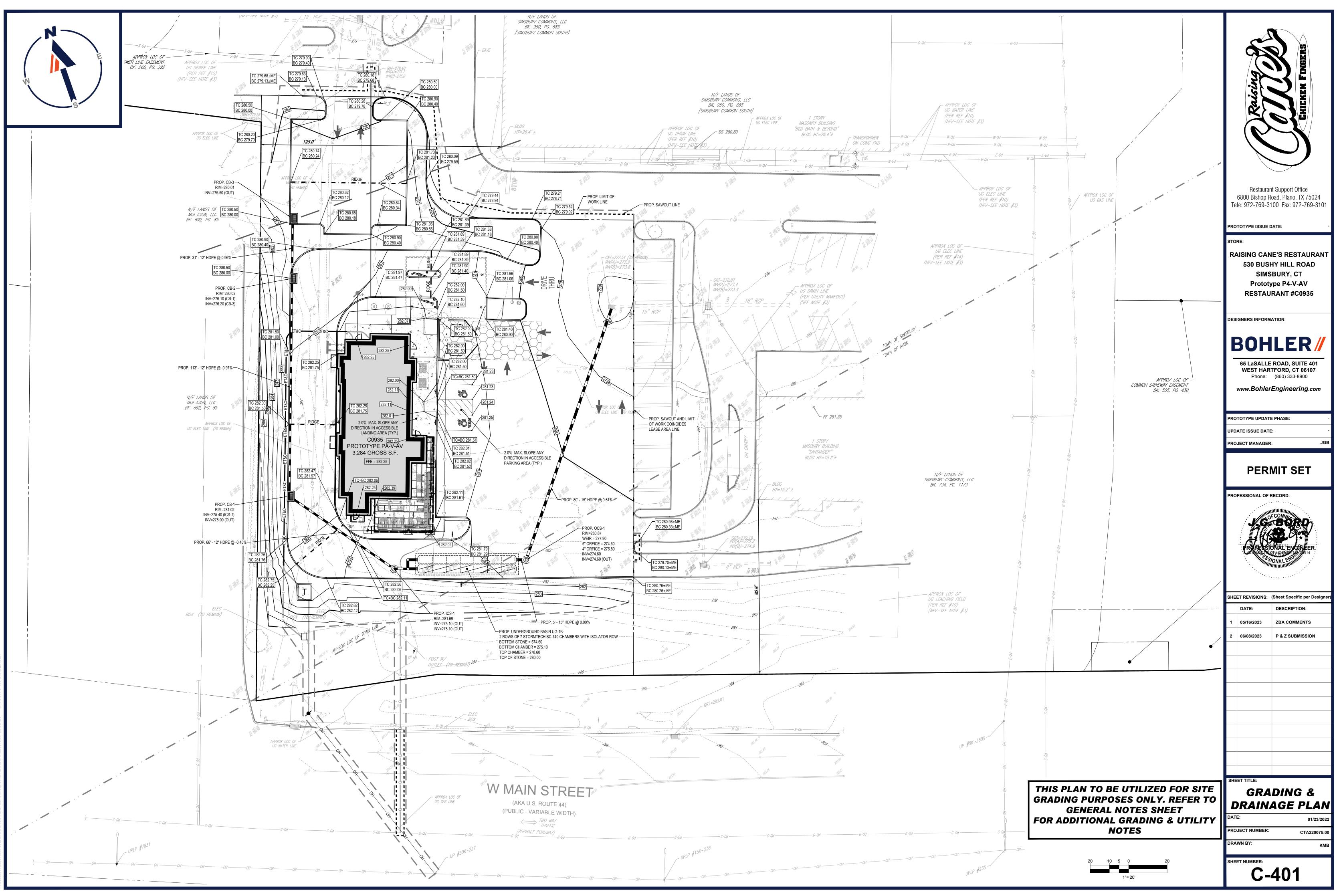
LAYOUT PURPOSES ONLY. REFER TO

GENERAL NOTES

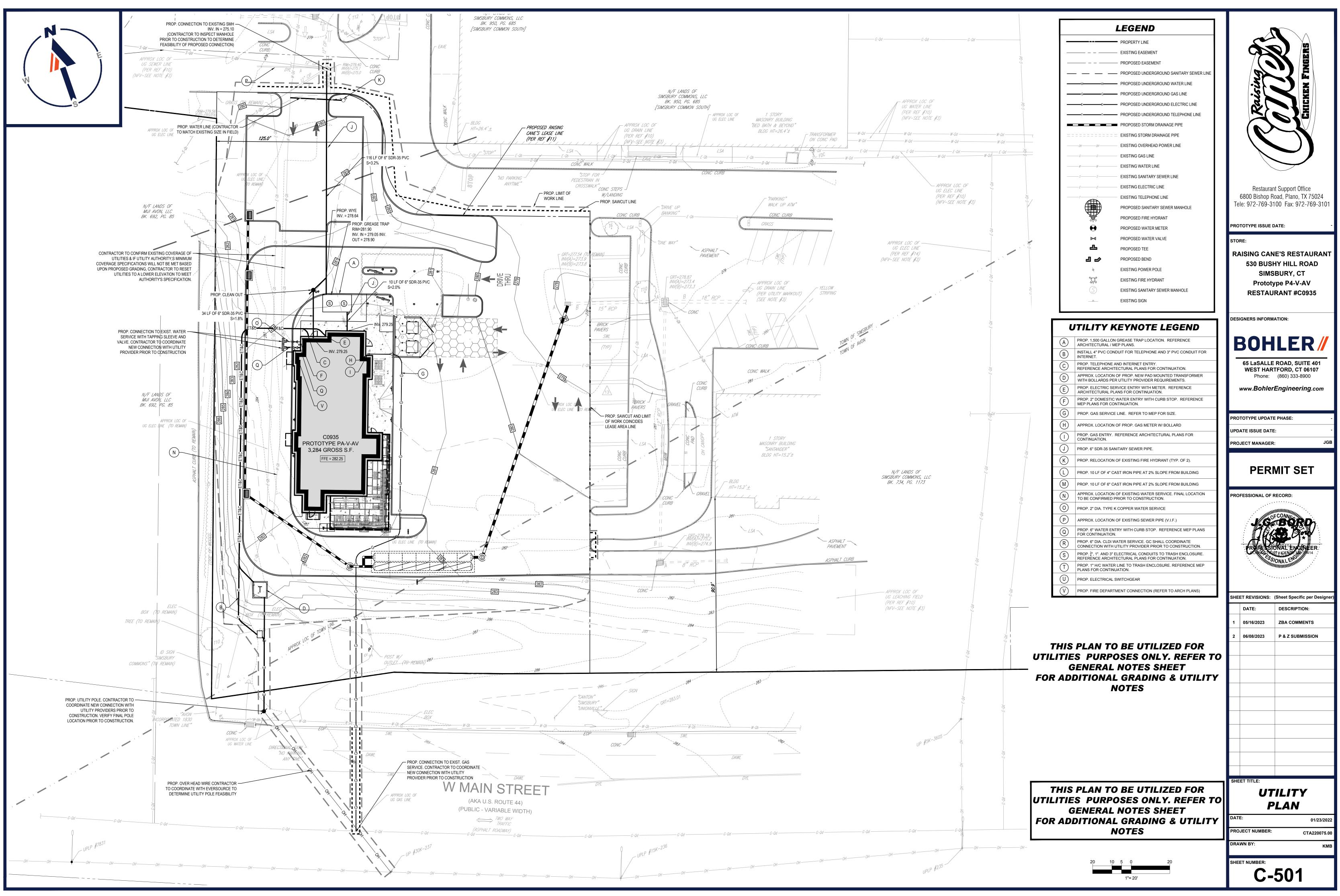
SHEET FOR ADDITIONAL NOTES

C-301

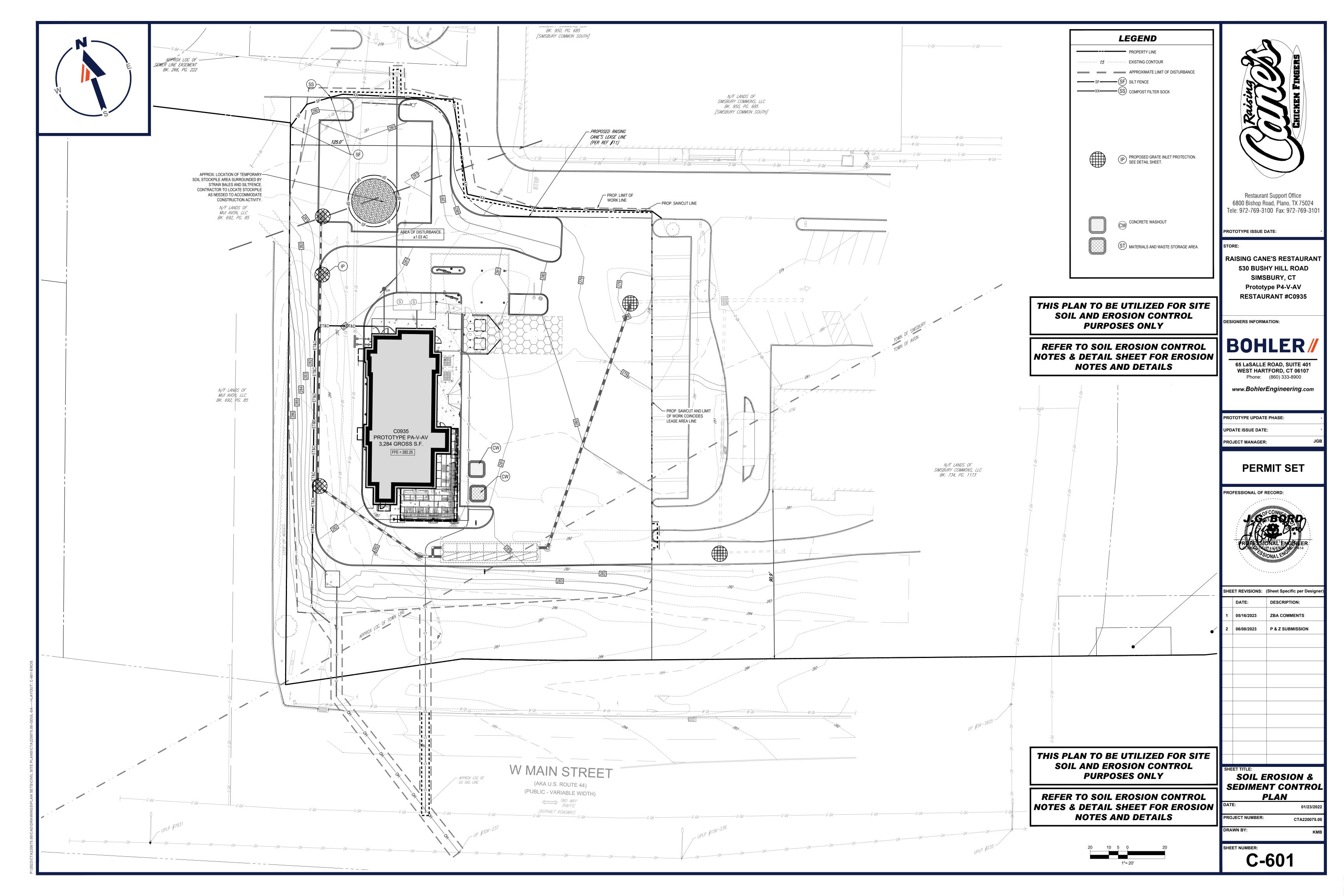
SHEET NUMBER:



TA220075.00\CAD\DRA\WINGS\PLAN SETS\CIVIL SITE PLANS\CTA220075.00-GDUL-0A----->LAYOUT: C-401-GRA



;TA220075.00\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CTA220075.00-GDUL-0A----->LAYOUT:



EROSION AND SEDIMENT CONTROL NOTES

BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.

ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.

- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL
- STANDARDS 10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
- 10.1. SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES. OR WHERE TIMING IS
- CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LBS PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER1,000 SF). FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 10.3.
- 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOD MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOD ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED. 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A
- SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% PERMANENTLY STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, BIODEGRADABLE COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
- TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" AND PROVIDE A MINIMUM STORAGE AREA OF 134 CY PER ACRE OF DRAINAGE AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES. MAINTAIN A 2:1 LENGTH TO WIDTH RATIO. AND NOT EXCEED AND EMBANKMENT HEIGHT OF 5 FT. HALF OF THE STORAGE VOLUME SHALL BE IN THE FORM OF WET STORAGE TO PROVIDE A STABLE SETTLING MEDIUM. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
- 14. STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE
- 15. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED
- 16. THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
- THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE FOUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
- 18. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF
- 20. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE. AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- 22. FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 1ST. LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND FITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED. IF THE EXPOSED AREA HAS BEEN LOAMED. FINAL GRADED AND IS SMOOTH. THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS
- 23. MULCHING REQUIREMENTS
- 23.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER
- 23.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- 23.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%
- 24. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN. 25. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

EROSION CONTROL NARRATIVE

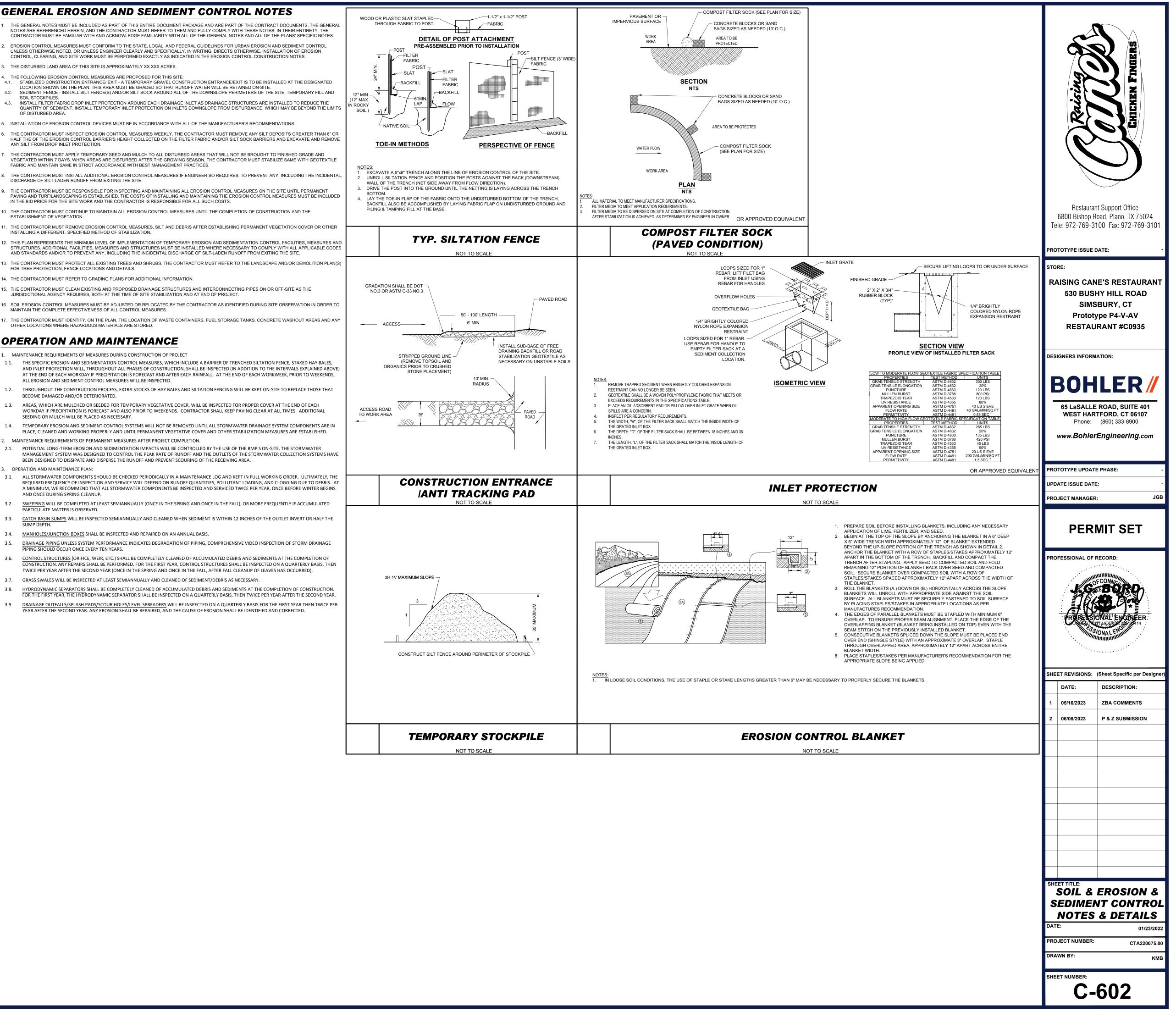
- 1. PURPOSE
- 1.1. THE PROPOSED WORK WILL CONSIST OF CONSTRUCTION NECESSARY TO BUILD A RESTAURANT WITH DRIVE THRU WITH ALL ASSOCIATED PARKING, LANDSCAPING, UTILITIES, AND ACCESSORY STRUCTURES.
- 2. DISTURBANCI 2.1. THE PROPOSED PROJECT WILL DISTURB APPROXIMATELY 1.04 ACRES OF LAND.
- 3. SITE SPECIFIC CONCERNS
- 4. PREVENTION OF POLLUTION AND SEDIMENT ENTERING DOWNSTREAM WATERCOURSE(S) BY MEANS OF STORMWATER QUALITY UNIT BEFORE ENTERING THE ROW SYSTEM
- CONSTRUCTION PHASING SHALL BE COMPLETED IN ONE PHASE AS INDICATED IN THE SEQUENCE BELOW (6.1)
- 6. CONSTRUCTION SCHEDULE (SUBJECT TO CHANGE DEPENDING ON MARKETS, FINANCING, PERMIT APPROVALS AND WEATHER CONDITIONS)
- 6.1. THE ANTICIPATED CONSTRUCTION START IS SPRING OF 2025, WITH COMPLETION ANTICIPATED 12 TO 18 MONTHS AFTER THE START DATE. 7. CONSTRUCTION SEQUENCE
- 7.1. THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- 7.1.1. INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (SEE SHEET C-601)
- 7.1.2. INSTALLATION OF EROSION CONTROL PERIMETER CONTROLS (STRAWBALES, SILT FENCE, COMPOST FILTER SOCK, TREE PROTECTION FENCE) WITHIN THE LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS (SEE SHEET C-601)
- 7.1.3. INSTALLATION OF INLET PROTECTION (FILTER SACKS OR STRAW BALES) IN STREET AND EXISTING INLETS (SEE SHEET C-601)
- 7.1.4. DEMOLITION OF EXISTING SITE STRUCTURES, PAVEMENT, AND AMENITIES (SEE SHEET C-201)
- 7.1.5. CLEARING AND GRUBBING IN AREAS DESIGNATED AS BEING REMOVED AS NECESSARY TO INSTALL TEMPORARY SWALES, SEDIMENT TRAPS AND/OR BASINS (SEE SHEET C-601) 7.1.6. INITIATE THE NECESSARY EARTHWORK TO REACH GRADES INDICATED ON THE PLANS. (SEE SHEET C-401). TEMPORARY STABILIZE ANY AREAS WITH
- SEEDING OR MULCH AS DETAILED IN THESE PLANS WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK IN DISTURBED AREAS WHERE THE SUSPENSION OF WORK IS EXPECTED TO BE MORE THAN 30 DAYS BUT LESS THAN 1 YEAR.
- 7.1.7. INSTALLATION OF BUILDING FOUNDATION AND CONSTRUCTION OF BUILDING. BUILDING CONSTRUCTION MAY COMMENCE UPON ACCEPTANCE OF BUILDING PAD BY THE OWNER. CONCRETE WASHOUT MUST BE INSTALLED PRIOR TO ANY CONCRETE BEING POURED ON SITE. INSTALLATION OF UTILITIES INCLUDING BUT NOT LIMITED TO STORMWATER, GAS, SANITARY, ELECTRIC, AND WATER. STORMWATER AND SANITARY
- UTILITIES SHOULD BE INSTALLED IN A DOWNSTREAM TO UPSTREAM MANNER. (SEE SHEET C-401 AND C-501) 7.1.9. CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICTED ON THE PLANS ALONG WITH STONE BASE COURSE IN THE DRIVEWAY AND
- PARKING AREAS (SEE SHEET C-301) 7.1.10. INITIATE FINAL GRADING AND PLACEMENT OF TOPSOIL IN ALL LANDSCAPED AND SLOPES AREAS. AS SOON AS SLOPES, CHANNELS, DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE THEY MUST BE STABILIZED AS DETAILED ON THE EROSION CONTROL AND/OR LANDSCAPE PLAN
- DEPENDING ON THE SEASON (SEE SHEET C-601, C-602, C-701). 7.1.11. INSTALL BITUMINOUS PAVEMENT AND CONCRETE INCLUDING SIDEWALKS
- 7.1.12. INSTALL ANY FINAL LANDSCAPE PLANTING WHICH HAVE NOT BEEN PREVIOUSLY INSTALLED. (SEE SHEET C-701)
- 7.1.13. CLEAR SITE OF DEBRIS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER OTHER POSSIBLE LOCAL, STATE AND FEDERAL PERMITS REQUIRED PERMITS
- 8.1. NONE REQUIRED
- CONSERVATION PRACTICES
- 9.1. CONSERVATION PRACTICES INCLUDE LIMITING THE SCOPE OF THE PROJECT TO MINIMIZE ACTIVITIES WHICH REQUIRES BARE SOILS TO BE EXPOSED. XX.XXX ACRES OF LAND DISTURBANCE IS PROPOSED FOR THIS PROJECT. 10. SUPPORT DOCUMENTS
- 10.1. NO SUPPORTING DOCUMENTS OR (DRAINAGE REPORT, BORING LOGS, TEST PIT LOGS, SOILS REPORTS, ETC.).
- 11. PERSON RESPONSIBLE FOR MAINTENANCE DURING CONSTRUCTION OF PROJECT
- CONTRACTOR OR PERSON SHALL BE NAMED AT PRECONSTRUCTION MEETING

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- 3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY XX XXX ACRES. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
- LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
- SOIL STOCKPILES
- OF DISTURBED AREA
- ANY SILT FROM DROP INLET PROTECTION
- FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
- DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE
- IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS. ESTABLISHMENT OF VEGETATION
- INSTALLING A DIFFERENT. SPECIFIED METHOD OF STABILIZATION
- AND STANDARDS AND/OR TO PREVENT ANY. INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
- 14 THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION
- JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJEC
- MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES
- OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED

OPERATION AND MAINTENANCE

- MAINTENANCE REQUIREMENTS OF MEASURES DURING CONSTRUCTION OF PROJECT ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED BECOME DAMAGED AND/OR DETERIORATED. 1.3. SEEDING OR MULCH WILL BE PLACED AS NECESSARY 1.4. 2. MAINTENANCE REQUIREMENTS OF PERMANENT MEASURES AFTER PROJECT COMPLETION. BEEN DESIGNED TO DISSIPATE AND DISPERSE THE RUNOFE AND PREVENT SCOURING OF THE RECEIVING AREA OPERATION AND MAINTENANCE PLAN: AND ONCE DURING SPRING CLEANUP ARTICULATE MATTER IS OBSERVED. 3.3. 3.4. MANHOLES/JUNCTION BOXES SHALL BE INSPECTED AND REPAIRED ON AN ANNUAL BASIS. PING SHOULD OCCUR ONCE EVERY TEN YEARS. 3.7. GRASS SWALES WILL BE INSPECTED AT LEAST SEMIANNUALLY AND CLEANED OF SEDIMENT/DEBRIS AS NECESSARY. 3.9.



16. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO

AND INLET PROTECTION WILL, THROUGHOUT ALL PHASES OF CONSTRUCTION, SHALL BE INSPECTED (IN ADDITION TO THE INTERVALS EXPLAINED ABOVE AT THE END OF EACH WORKDAY IF PRECIPITATION IS FORECAST AND AFTER EACH RAINFALL. AT THE END OF EACH WORKWEEK, PRIOR TO WEEKENDS,

WORKDAY IF PRECIPITATION IS FORECAST AND ALSO PRIOR TO WEEKENDS. CONTRACTOR SHALL KEEP PAVING CLEAR AT ALL TIMES. ADDITIONAL

PLACE, CLEANED AND WORKING PROPERLY AND UNTIL PERMANENT VEGETATIVE COVER AND OTHER STABILIZATION MEASURES ARE ESTABLISHED.

2.1. POTENTIAL LONG-TERM EROSION AND SEDIMENTATION IMPACTS WILL BE CONTROLLED BY THE USE OF THE BMP'S ON-SITE. THE STORMWATER

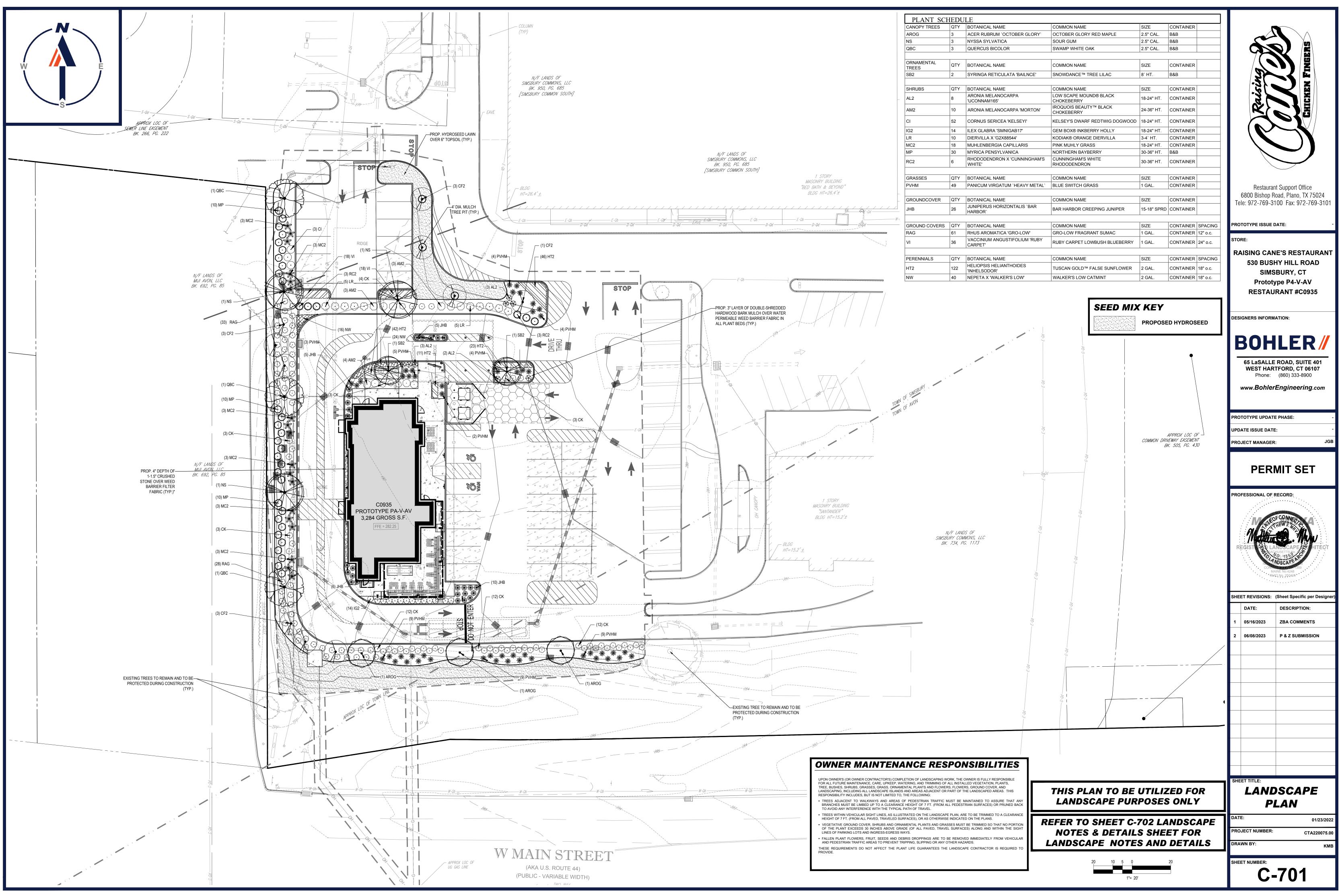
3.1. ALL STORMWATER COMPONENTS SHOULD BE CHECKED PERIODICALLY IN A MAINTENANCE LOG AND KEPT IN FULL WORKING ORDER. ULTIMATELY, THE REQUIRED FREQUENCY OF INSPECTION AND SERVICE WILL DEPEND ON RUNOFF QUANTITIES. POLLUTANT LOADING, AND CLOGGING DUE TO DEBRIS. A A MINIMUM, WE RECOMMEND THAT ALL STORMWATER COMPONENTS BE INSPECTED AND SERVICED TWICE PER YEAR, ONCE BEFORE WINTER BEGINS

SWEEPING WILL BE COMPLETED AT LEAST SEMIANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL), OR MORE FREQUENTLY IF ACCUMULATED

3.5. DRAINAGE PIPING UNLESS SYSTEM PERFORMANCE INDICATES DEGRADATION OF PIPING, COMPREHENSIVE VIDEO INSPECTION OF STORM DRAINAGE

3.6. CONTROL STRUCTURES (ORIFICE, WEIR, ETC.) SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF ONSTRUCTION. ANY REPAIRS SHALL BE PERFORMED. FOR THE FIRST YEAR, CONTROL STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS, THEN TWICE PER YEAR AFTER THE SECOND YEAR (ONCE IN THE SPRING AND ONCE IN THE FALL, AFTER FALL CLEANUP OF LEAVES HAS OCCURRED).

3.8. HYDRODYNAMIC SEPARATORS SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF CONSTRUCTION. FOR THE FIRST YEAR, THE HYDRODYNAMIC SEPARATOR SHALL BE INSPECTED ON A QUARTERLY BASIS, THEN TWICE PER YEAR AFTER THE SECOND YEAR. DRAINAGE OUTFALLS/SPLASH PADS/SCOUR HOLES/LEVEL SPREADERS WILL BE INSPECTED ON A QUARTERLY BASIS FOR THE FIRST YEAR THEN TWICE PER

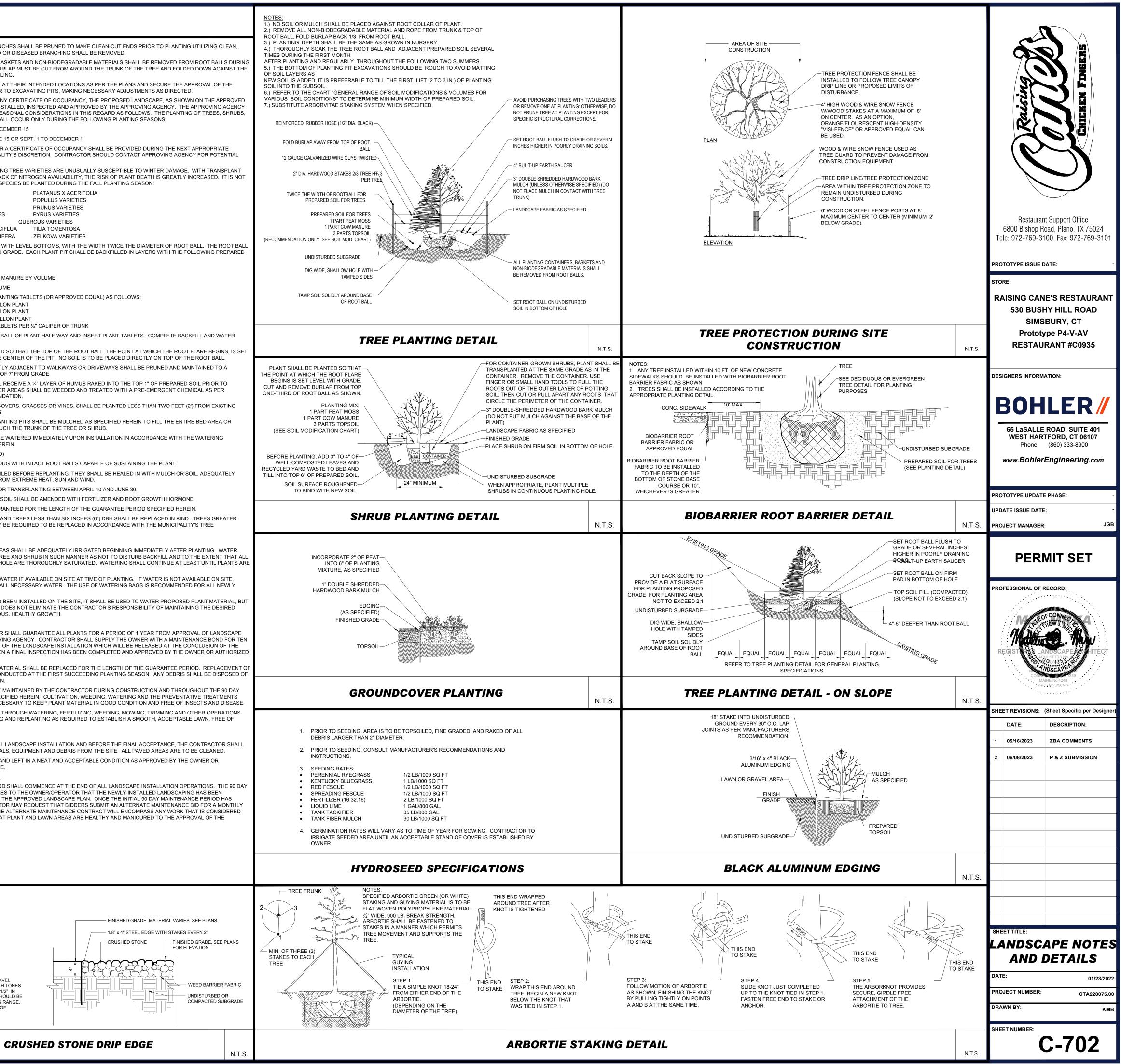


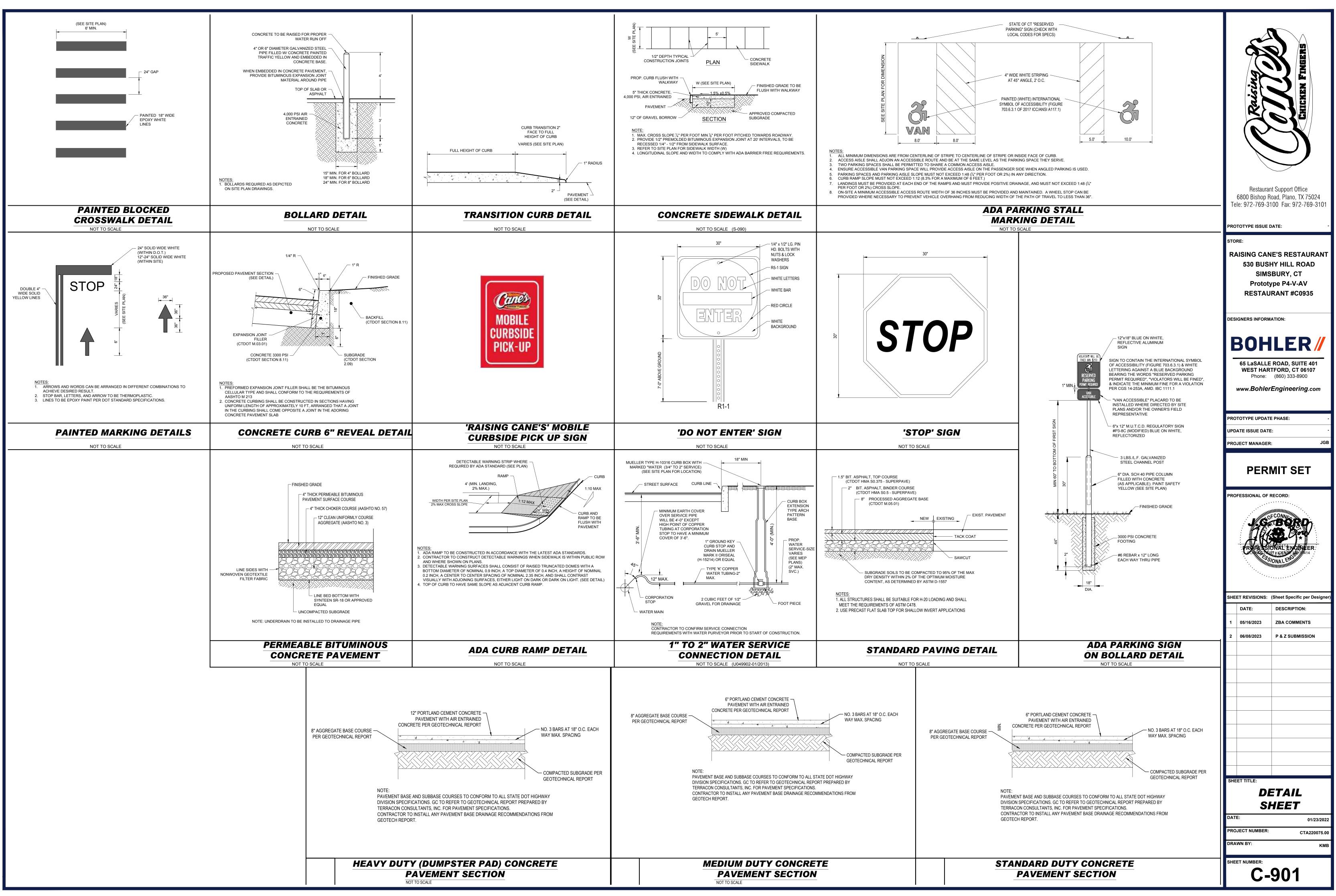
REES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	3	ACER RUBRUM `OCTOBER GLORY`	OCTOBER GLORY RED MAPLE	2.5" CAL.	B&B	
	3	NYSSA SYLVATICA	SOUR GUM	2.5" CAL.	B&B	
	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL.	B&B	
TAL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	2			-		
	2	SYRINGA RETICULATA 'BAILNCE'	SNOWDANCE™ TREE LILAC	8` HT.	B&B	
	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	8	ARONIA MELANOCARPA 'UCONNAM165'	LOW SCAPE MOUND® BLACK CHOKEBERRY	18-24" HT.	CONTAINER	
	10	ARONIA MELANOCARPA 'MORTON'	IROQUOIS BEAUTY™ BLACK CHOKEBERRY	24-36" HT.	CONTAINER	
	52	CORNUS SERICEA 'KELSEYI'	KELSEY'S DWARF REDTWIG DOGWOOD	18-24" HT.	CONTAINER	
	14	ILEX GLABRA 'SMNIGAB17'	GEM BOX® INKBERRY HOLLY	18-24" HT.	CONTAINER	
	10	DIERVILLA X 'G2X88544'	KODIAK® ORANGE DIERVILLA	3-4` HT.	CONTAINER	
	18	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	18-24" HT.	CONTAINER	
	30	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	30-36" HT.	B&B	
	6	RHODODENDRON X 'CUNNINGHAM'S WHITE'	CUNNINGHAM'S WHITE RHODODENDRON	30-36" HT.	CONTAINER	
	QTY	BOTANICAL NAME		SIZE	CONTAINER	
	49	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL.	CONTAINER	
OVER	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	26	JUNIPERUS HORIZONTALIS `BAR HARBOR`	BAR HARBOR CREEPING JUNIPER	-	CONTAINER	
OVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	61	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	1 GAL.	CONTAINER	12" o.c.
	36	VACCINIUM ANGUSTIFOLIUM 'RUBY CARPET'	RUBY CARPET LOWBUSH BLUEBERRY	1 GAL.	CONTAINER	24" o.c.
LS	QTY	BOTANICAL NAME		SIZE	CONTAINER	SPACING
	122	HELIOPSIS HELIANTHOIDES 'INHELSODOR'	TUSCAN GOLD™ FALSE SUNFLOWER	2 GAL.	CONTAINER	18" o.c.
	40	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	2 GAL.	CONTAINER	18" o.c.

LANDSCAPE SPECIFICATIONS

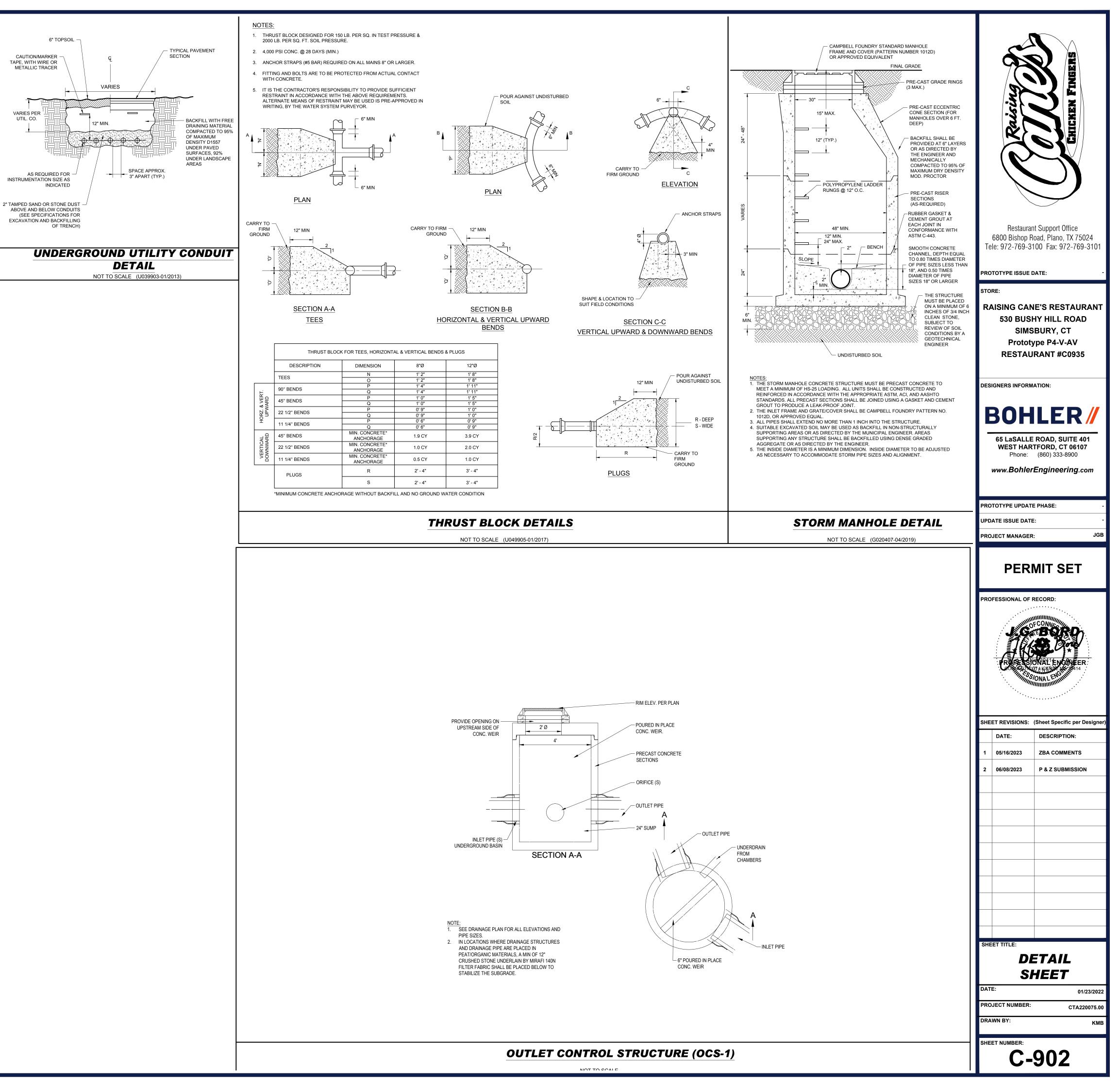
	E LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION,		ANY INJURED ROOTS OR BRANCHES SHALL BE PRU SHARP TOOLS. ONLY INJURED OR DISEASED BRANC
NEC	RMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT CESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.	9.4.	ALL PLANTING CONTAINERS, BASKETS AND NON-BIO PLANTING. NATURAL FIBER BURLAP MUST BE CUT F ROOT BALL PRIOR TO BACKFILLING.
-	 NERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT	9.5.	POSITION TREES AND SHRUBS AT THEIR INTENDED LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PIT
2.2. TOF 4.5-	TRANSPORTATION'S SPECIFICATIONS. PSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN -7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY	9.6.	PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF C LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERA
2.3. LAV LOC	DDS. VN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM <u>6"</u> THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE CAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS ICATED ON THE LANDSCAPE PLAN	9.6.1 9.6.2	
2.3.1. 2.3.2.	LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON	9.6.3	
	SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE. LCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A <u>3"</u> THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, LESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES /DETAILS.	9.7.	FURTHERMORE, THE FOLLOWING TREE VARIETIES A SHOCK AND THE SEASONAL LACK OF NITROGEN AV RECOMMENDED THAT THESE SPECIES BE PLANTED
2.5. FEF 2.5.1.	FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE		ACER RUBRUM PLATANU BETULA VARIETIES POPULUS CARPINUS VARIETIES PRUNUS
2.5.2.	SO THAT IT CAN BE KEPT DRY PRIOR TO USE. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.		CRATAEGUS VARIETIES PYRUS V KOELREUTERIA QUERCUS VAR LIQUIDAMBAR STYRACIFLUA TILIA TOI LIRIODENDRON TULIPIFERA ZELKOVA
2.6. PLA 2.6.1.	ANT MATERIAL ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).		PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOM SHALL REST ON UNDISTURBED GRADE. EACH PLAN SOIL MIXED THOROUGHLY:
2.6.2.	IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.	9.8.1 9.8.2	
2.6.3.	PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.	9.8.3 9.8.4	
2.6.4.	TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.	9.8 9.8	4.1.2 TABLETS PER 1 GALLON PLANT4.2.3 TABLETS PER 5 GALLON PLANT4.3.4 TABLETS PER 15 GALLON PLANT
2.6.5. 2.6.6.	ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6")		.4.4. LARGER PLANTS: 2 TABLETS PER ½" CALIPE FILL PREPARED SOIL AROUND BALL OF PLANT HALF THOROUGHLY.
2.0.0.	ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.		ALL PLANTS SHALL BE PLANTED SO THAT THE TOP (AT GROUND LEVEL AND IN THE CENTER OF THE PIT
2.6.7. 2.6.8.	SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.		MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYEF PLANTING. ALL GROUND COVER AREAS SHALL BE V
3.1. COI IS T	<u>AL WORK PROCEDURES</u> NTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE O BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY	9.13.	MANUFACTURER'S RECOMMENDATION. NO PLANT, EXCEPT GROUND COVERS, GRASSES OF STRUCTURES AND SIDEWALKS.
3.2. WA	DRED, STOCKPILED OR DISPOSED OF. STE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.		ALL PLANTING AREAS AND PLANTING PITS SHALL BE SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF T
4.1. BEF	REPARATIONS FORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE		ALL PLANTING AREAS SHALL BE WATERED IMMEDIA SPECIFICATIONS AS LISTED HEREIN. ANSPLANTING (WHEN REQUIRED)
4.2. ALL	OTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN. . EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY		
STF THE	MAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND RAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND E REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR ANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY.		IF PLANTS ARE TO BE STOCKPILED BEFORE REPLAN WATERED AND PROTECTED FROM EXTREME HEAT, PLANTS SHALL NOT BE DUG FOR TRANSPLANTING B
CO 4.3. CO	NTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE. NTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO TALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE	10.5.	UPON REPLANTING, BACKFILL SOIL SHALL BE AMEN TRANSPLANTS SHALL BE GUARANTEED FOR THE LE
BEC 5. <u>TREE P</u> I	GINNING OF WORK.		F TRANSPLANTS DIE, SHRUBS AND TREES LESS THA THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACEMENT GUIDELINES.
SHA	NTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE ALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. CAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.		<u>ITERING</u> NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQU SHALL BE APPLIED TO EACH TREE AND SHRUB IN SU
EQI	ORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED JAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS ALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.	11.2.	MATERIALS IN THE PLANTING HOLE ARE THOROUGH ESTABLISHED. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE
DEN SHA	IEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO MOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE ALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY S BEEN COMPLETED.		CONTRACTOR SHALL SUPPLY ALL NECESSARY WAT PLANTED TREES. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE
THE	NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN E TREE PROTECTION ZONE. DDIFICATIONS		MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWT ARANTEE
6.1. COI	DIFICATIONS NTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS ALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.	12.1.	THE LANDSCAPE CONTRACTOR SHALL GUARANTEE INSTALLATION BY THE APPROVING AGENCY. CONTR PERCENT (10%) OF THE VALUE OF THE LANDSCAPE
6.2. LAN OF	IDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE NTRACTOR DEPENDING ON SITE CONDITIONS.	12.2	GUARANTEE PERIOD AND WHEN A FINAL INSPECTIO REPRESENTATIVE. ANY DEAD OR DYING PLANT MATERIAL SHALL BE RE
6.3. THE OF	E FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED IL LABORATORY.		PLANT MATERIAL SHALL BE CONDUCTED AT THE FIR OFF-SITE, WITHOUT EXCEPTION. TREES AND SHRUBS SHALL BE MAINTAINED BY THE
6.3.1.	TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH		MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULT SHALL BE PERFORMED AS NECESSARY TO KEEP PL. LAWNS SHALL BE MAINTAINED THROUGH WATERING
6.3.2.	HIGHER THAN 7.5. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO	13. CLI	SUCH AS ROLLING, REGARDING AND REPLANTING A ERODED OR BARE AREAS.
6.3.3.	BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM	13.1.	UPON THE COMPLETION OF ALL LANDSCAPE INSTAL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND
7. <u>FINISHE</u>	UP TO 30% OF THE TOTAL MIX.		THE SITE SHALL BE CLEANED AND LEFT IN A NEAT A AUTHORIZED REPRESENTATIVE. INTENANCE (ALTERNATIVE BID):
TOF	LESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF PSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE. IDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE	14.1.	A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE MAINTENANCE PERIOD ENSURES TO THE OWNER/O MAINTAINED AS SPECIFIED ON THE APPROVED LAND
SUE 7.3. ALL SUF	BGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±). . LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF RFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT		EXPIRED, THE OWNER/OPERATOR MAY REQUEST TH MAINTENANCE CONTRACT. THE ALTERNATE MAINTI APPROPRIATE TO ENSURE THAT PLANT AND LAWN / OWNER/OPERATOR.
7.4. ALL	GINEER OR LANDSCAPE ARCHITECT. . PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE INTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.		
CLI	 NTRACTOR SHALL PROVIDE A <u>6"</u> THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR ENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO		
8.2. ON-	HIEVE THE DESIRED COMPACTED THICKNESS. -SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED T HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.		
UTI AS	NTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE LIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.		
CUI FOL	LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND LTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE LOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE DT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):		
8.4.1. 8.4.2.	20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER		
8.5. THE	E SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.	SPECIFIC	
	— OFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS	COLOR; SIZE; ST	" – 1 1/2" CRUSHED BLUESTONE GRAVEL COLORS WILL BE GREYS WITH BLUISH TONES ONE SIZES WILL RANGE FROM 1" – 1 1/2" IN
UNF	T POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN PLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.	UNIFORM SILT CO	T ONE DIMENSION. STONE SIZING SHOULD BE M WITH LITTLE VARIATION FROM THIS RANGE. NTENT; STONE NEEDS TO BE CLEAN OF AND SILT AT TIME OF DELIVERY.
CO	ANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL NDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN DESCRIPTION AND DRAFT CONDITION.		

TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.





VARIES PER UTIL. CO.



LEGAL DESCRIPTION

SIMSBURY COMMONS SOUTH

ALL THAT CERTAIN PIECE OR PARCEL OF LAND TOGETHER WITH THE BUILDINGS AND IMPROVEMENTS THEREON SITUATED IN THE TOWNS OF AVON AND SIMSBURY, COUNTY OF HARTFORD AND STATE OF CONNECTICUT, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT AT THE SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED WHICH POINT IS ALSO THE SOUTHWEST CORNER OF LAND NOW OR FORMERLY OF WALDMAN ASSOCIATES. INC. PARTNER AND WHICH POINT IS IN THE NORTHERLY STREET LINE OF WEST MAIN STREET ALSO KNOWN AS U.S. ROUTE 44. IN THE TOWN OF AVON, COUNTY OF HARTFORD, CONNECTICUT, SAID POINT OF BEGINNING IS LOCATED 72.06 FEET WHEN MEASURED N77°01'08"W FROM AN EXISTING CONNECTICUT HIGHWAY DEPARTMENT MERESTONE, SAID POINT ALSO BEING 28.45 FEET FROM A CONNECTICUT HIGHWAY DEPARTMENT MONUMENT POINT (NOT FOUND) WHEN MEASURED S77°01'08"E IN THE NORTHERLY STREET LINE OF WEST MAIN STREET;

THENCE, N77°01'08"W A DISTANCE OF 28.45 FEET TO A POINT;

THENCE, N71°18'45"W A DISTANCE OF 311.41 FEET TO A POINT OF CURVATURE;

THENCE, ALONG A CURVE TO THE RIGHT WHICH HAS A RADIUS OF 2,544.51 FEET AND A CENTRAL ANGLE OF 01°57'04" AN ARC LENGTH OF 86.66 FEET TO A POINT MARKED BY A CONNECTICUT HIGHWAY DEPARTMENT MERESTONE, SAID POINT ALSO LIES N70°20'14" W A DISTANCE OF 86.65 FEET FROM THE LAST COURSE HEREIN DESCRIBED:

THENCE, N79°05'17"W A DISTANCE OF 95.64 FEET TO A POINT AT THE SOUTHEAST CORNER OF LAND NOW OR FORMERLY OF MICHAEL A. FINE AND JAMES L. FINE, THE LAST FOUR COURSES BEING ALONG THE NORTHERLY STREET LINE OF WEST MAIN STREET;

THENCE, N19°42134"E A DISTANCE OF 300.97 FEET TO A POINT AT THE NORTHEAST CORNER OF LAND NOW OR FORMERLY OF MICHAEL A. AND JAMES L. FINE;

THENCE, N63°50'59"/V A DISTANCE OF 300.10 FEET ALONG LAND NOW OR FORMERLY OF MICHAEL A. AND JAMES L. FINE AND LAND NOW OR FORMERLY OF THE SHELL OIL COMPANY, PARTLY BY EACH TO THE POINT AT THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, SAID POINT ALSO LYING IN THE EASTERLY STREET LINE OF BUSHY HILL ROAD (CONNECTICUT ROUTE 167);

THENCE, N19°38'02"E A DISTANCE OF 379.21 FEET TO A CONNECTICUT HIGHWAY DEPARTMENT MERESTONE; THENCE, S70°23'12"E A DISTANCE OF 17.06 FEET TO A CONNECTICUT HIGHWAY DEPARTMENT MERESTONE; THENCE, N19°3754"E A DISTANCE OF 49.11 FEET TO A CONNECTICUT HIGHWAY DEPARTMENT MERESTONE MARKING A POINT OF CURVATURE;

THENCE, ALONG A CURVE TO THE RIGHT WHICH HAS A RADIUS OF 1,382.69 FEET AND A CENTRAL ANGLE OF 10°28'50" AN ARC LENGTH OF 252.92 FEET TO A POINT, SAID POINT BEING N24°52'31"E A DISTANCE OF 252.57 FEET FROM THE POINT OF CURVATURE, SAID POINT ALSO BEING THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, THE LAST FOUR COURSES BEING ALONG THE EASTERLY STREET LINE OF BUSHY HILL ROAD;

THENCE, S70°07'37"E A DISTANCE OF 209.61 FEET ALONG THE SOUTHERLY LINE OF THE SIMSBURY COMMONS NORTH PARCEL DESCRIBED IN THAT CERTAIN WARRANTY DEED GIVEN BY SIMSBURY COMMONS NORTH (E&A), LLC TO E&A / I&G SIMSBURY COMMONS LIMITED PARTNERSHIP, DATED THE DATE HEREOF AND RECORDED WITH THE SIMSBURY LAND RECORDS AND WITH THE AVON LAND RECORDS ON OR ABOUT THE DATE HEREOF (THE "SIMSBURY NORTH PARCEL") TO A POINT;

THENCE, N19°52'23"E A DISTANCE OF 62.08 FEET TO A POINT. THENCE, S70°12'53" E A DISTANCE OF 72.00 FEET TO A POINT. THENCE, 819°47'07"W A DISTANCE OF 46.00 FEE TO A POINT. THENCE, S70°12'53"E A DISTANCE OF 630.46 FEET TO A POINT IN THE WESTERLY LINE OF LAND NOW OR FORMERLY OF STEVEN J. AND JULIE M. PETERSON. THE LAST FIVE COURSES BEING ALONG THE SOUTHERLY LINE OF THE SIMSBURY COMMONS NORTH PARCEL.

THENCE, S20°14'47"W ALONG LAND NOW OR FORMERLY OF STEVEN J. AND JULIE M. PETERSON A DISTANCE OF 280.08 FEET TO A POINT IN THE NORTHERLY LINE OF LAND NOW OR FORMERLY OF WALDMAN ASSOCIATES, INC. PARTNER;

THENCE, N73°48'27"W A DISTANCE OF 100.00 FEET TO A POINT;

THENCE, S 19°50'27"W A DISTANCE OF 472.39 FEET TO A POINT; THENCE, N70°09'33"W A DISTANCE OF 36.00 FEET TO A POINT;

THENCE, S19°50'27"W A DISTANCE OF 220.40 FEET TO A POINT;

THENCE, S03°47'37"W A DISTANCE OF 27.65 FEET TO THE POINT AND PLACE OF BEGINNING, THE LAST FIVE COURSES BEING ALONG LAND NOW OR FORMERLY OF WALDMAN ASSOCIATES, INC. PARTNER.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF SIMSBURY, HARTFORD COUNTY, MAP B20.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 328 OF 675," MAP NUMBER 09003C0328F, MAP EFFECTIVE DATE: SEPTEMBER 26, 2008.
- MAP ENTITLED "BOUNDARY MAP PREPARED FOR KONOVER DEVELOPMENT CORP., FARMINGTON VALLEY MALL, US ROUTE 44 AT CONN. ROUTE 167, SIMSBURY / AVON, CONNECTICUT," PREPARED BY F.A. HESKETCH & ASSOCIATES, INC., DATED JANUARY 25, 1991. LAST REVISED JANUARY 21, 1993. ONE SHEET.
- MAP ENTITLED "RIGHT OF WAY MAP, TOWN OF AVON, HARTFORD-WINSTED ROAD, FROM THE SIMBSURY TOWN LINE SOUTHEASTERLY TO MOUNTAIN VIEW AVE," PREPARED BY THE CONNECTICUT STATE HIGHWAY DEPARTMENT, DATED JUNE 12, 1962. PROJECT NO. 4-04, SHEET 1 OF 6.
- MAP ENTITLED "RIGHT OF WAY MAP, TOWN OF SIMSBURY, ALBANY AVENUE, FROM THE CANTON TOWN LINE TO THE AVON TOWN LINE," PREPARED BY CONNECTICUT STATE HIGHWAY DEPARTMENT, DATED MAY 25, 1962. PROJECT NO. 128-13, SHEET 1 OF 1.
- MAP ENTITLED "RIGHT OF WAY MAP, TOWN OF SIMSBURY, BUSHY HILL ROAD, FROM ROUTE U.S. 44 NORTHEASTERLY TO WILDWOOD ROAD, ROUTE NO. 167," PREPARED BY CONNECTICUT STATE HIGHWAY DEPARTMENT, DATED JANUARY 10, 1950. PROJECT NO. 128-15, SHEET 1 OF 4.
- MAP ENTITLED "EASEMENT PLAN, CROWLEY'S CORNER INTERCEPTOR, SANITARY SEWER, SEWER COMMISSION, SIMSBURY, CONN.," PREPARED BY TIGHE & BOND CONSULTING ENGINEERS, DATED AUGUST, 1977. RECORDED WITH THE SIMSBURY LAND RECORDS OFFICE AS MAP #1983.
- MAP ENTITLED "RIGHT OF WAY SURVEY, TOWN OF SIMSBURY, MAP SHOWING EASEMENT ACQUIRED FROM AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION," PREPARED BY F.A. HESKETCH & ASSOCIATES, INC. DATED MAY, 1999. LAST REVISED OCTOBER 7, 1999. PROJECT NO. 128-000, SERIAL NO. 74, SHEET 1 OF 1.
- MAP ENTITLED "TOWNS OF AVON & SIMSBURY, MAP SHOWING EASEMENT ACQUIRED FROM SOCIETY FOR SAVINGS BY THE STATE OF CONNECTICUT, INTERSECTION IMPROVEMENTS OF ROUTES 167 & US 44," PREPARED BY CONNECTICUT STATE HIGHWAY DEPARTMENT, DATED SEPTEMBER, 1977. PROJECT NO. 128-100, SERIAL NO. 3, SHEET 2 OF 2.
- MAP ENTITLED "UTILITY PLAN, FARMINGTON VALLEY MALL, SIMSBURY / AVON, 10. CONNECTICUT," PREPARED BY F.A. HESKETCH & ASSOCIATES, INC., DATED AUGUST 27, 1998. LAST REVISED FEBRUARY 24, 1999. SHEET 1 OF 3.
- MAP ENTITLED "CONTEXT SITE PLAN, C935 ALBANY TURNPIKE & BUSHY 11. HILLS RD - SIMSBURY, CT," PREPARED BY BOHLER ENGINEERING, DATED MARCH 9, 2021. TWO SHEETS.
- MAP ENTITLED "FIELD SKETCH, 530 BUSHY HILL ROAD, SIMSBURY, CT," 12. PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED DECEMBER 19, 2022. SUE PROJECT #08-220025-00.
- 13. UNDERGROUND GAS MAPPING PROVIDED BY CONNECTICUT NATURAL GAS COMPANY.

THE STATE OF CONNECTICUT REQUIRES NOTIFICATION BY

EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB

THE EARTH'S SURFACE ANYWHERE IN THE STATE.

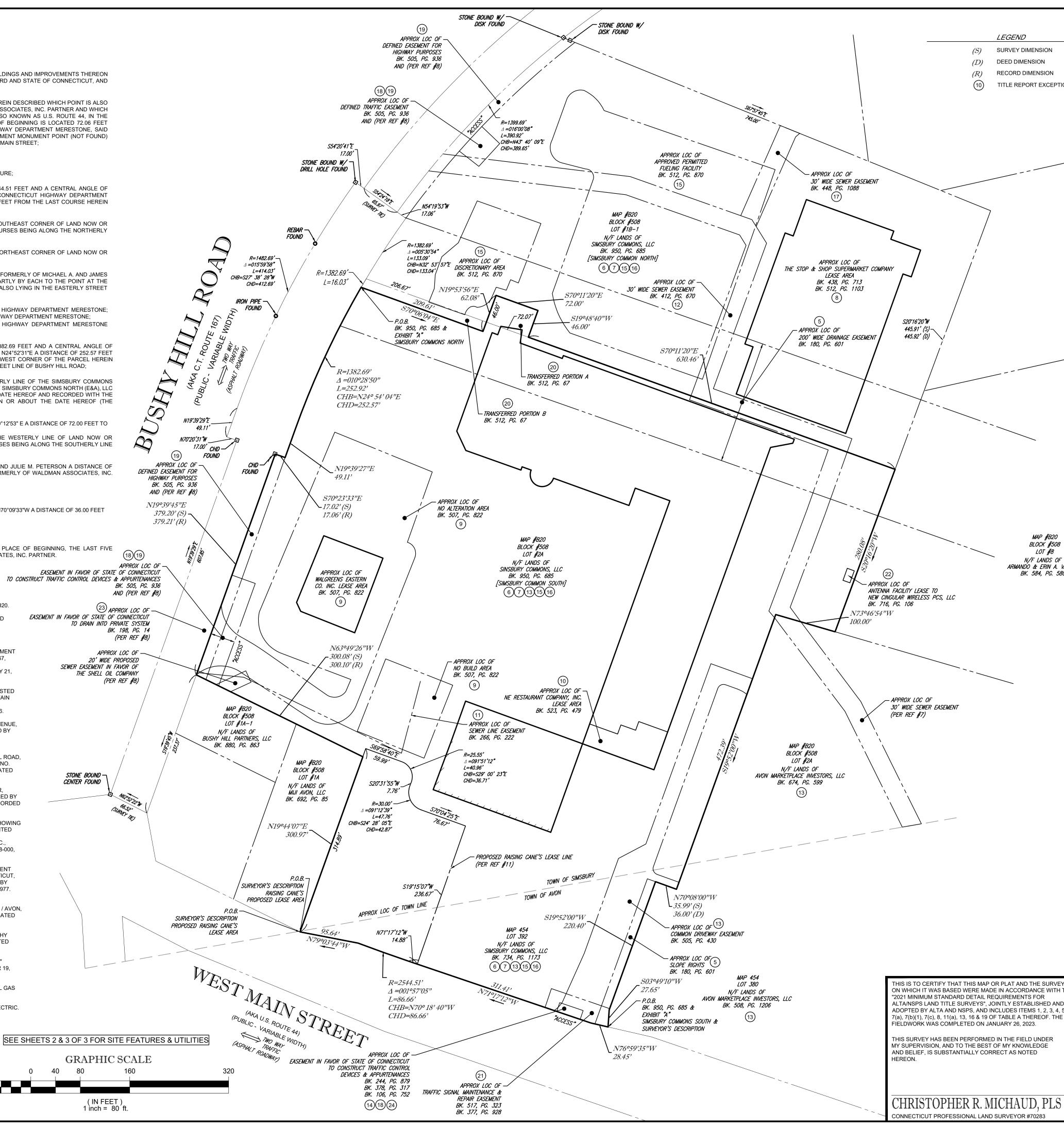
14. UNDERGROUND ELECTRIC MAPPING PROVIDED BY EVERSOURCE ELECTRIC.

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(S)	LEGEND SURVEY DIMENSION			EL
(D)	DEED DIMENSION		SYSTEM (NAD83)	Bushy HITLIN AND RA
(R) (10)	RECORD DIMENSION		TEM (P	SITE
			INATI	
			COORDINATE	G Sinabury Commons
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			STATE PI	Town of Arma 202 Uta Commens
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			CONN	e Rd Balle
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		NOTES:		LOCUS MAP NOT TO SCALE
				IRVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 SURVEY AS ATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B, EFFECTIVE DATE JUNE
		21, 199 THE M	96, PARTIALLY AMI IINIMUM STANDAR	ENDED OCTOBER 26, 2018. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH DS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON AUGUST
				CTICUT ASSOCIATION OF LAND SURVEYORS INC., THE BOUNDARY LINES SHOWN YON A RESURVEY OF THE SUBJECT PROPERTY.
			ERTY KNOWN AS L ECTICUT; MAP NO	LOT 1B AS SHOWN ON THE TOWN OF SIMSBURY, HARTFORD COUNTY, STATE OF . B20.
/		AREA	= 782,633 SQUARE	FEET OR 17.967 ACRES.
		MARK-	-OUTS, ABOVE GR	ROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY OUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS
		UTILIT	Y MARKOUT DOES	RENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND S NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. ON IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR
		LOCAT NOT G	FION, SIZE AND TY SUARANTEE THE U	PE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES TILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR
			DONED. OURCE OF UNDEF	RGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
				- UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT
		,	QUALITY LEVEL C	FIELD VERIFIED. - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING.
			QUALITY LEVEL B	- UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
		(QUALITY LEVEL A	- HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION
				SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
			ALL FOUR TYPES I	MAY NOT BE PRESENT ON THIS SURVEY.
	_			INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
· · · .	MAP #B20 BLOCK #508		-	PARED WITH REFERENCE TO A TITLE REPORT PREPARED BY OLD REPUBLIC NATIONAL G A FILE NO. 2106497, WITH AN EFFECTIVE DATE OF NOVEMBER 24, 2021, WHERE THE
	LOT #8 N/F LANDS OF ARMANDO & ERIN A. VARGAS	FOLLO		ELATED EXCEPTIONS APPEAR IN SCHEDULE B - SECTION 2:
	BK. 584, PG. 580	GENER		1 THROUGH 4 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A SEE SHEET 2 OF 2 FOR TITLE EXCEPTIONS.
20				ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS TSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER REF. #2.
		7. THE EX SURVE		DERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD
				RE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE,
			ANENT ADDITION, EYOR'S DESCRIPT	ION PREPARED PER CLIENT REQUEST.
		10. PROPE	ERTY HAS DIRECT	ACCESS TO WEST MAIN STREET & BUSHY HILL ROAD.
			E IS NO OBSERVAE IONS WITHIN REC	BLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ENT MONTHS.
		12. MONU	MENTATION NOT	SET PER CONTRACTUAL AGREEMENT.
ENT				SURVEYOR'S METES AND BOUNDS DESCRIPTION
				DPOSED RAISING CANE'S LEASE AREA IRTION OF MAP B20, BLOCK 508, LOT 1B TOWN OF SIMSBURY
				MAP 454, LOT 392 TOWN OF AVON
		BEGINNING AT A POINT		IARTFORD COUNTY, CONNECTICUT THERLY LINE OF WEST MAIN STREET (AKA US ROUTE 44; PUBLIC - VARIABLE
		WIDTH), SAID POINT BEI	ING A CORNER IN	COMMON WITH MAP B20, LOT 1A (N/F MIJI AVON, LLC), THENCE;
		OF 314.89 FEET, T	HENCE THROUGH	DT 1A, NORTH 19 DEGREES - 44 MINUTES - 07 SECONDS EAST, A DISTANCE THE INTERIOR OF LOT 392 THE FOLLOWING SIX (6) COURSES; 40 SECONDS EAST, A DISTANCE OF 59.99 FEET, THENCE;
_		3. ALONG A CURVE 1 MINUTES - 12 SEC	TO THE RIGHT, HA ONDS, AN ARC LE	VING A RADIUS OF 25.55 FEET, A CENTRAL ANGLE OF 91 DEGREES - 51 NGTH OF 40.96 FEET, A CHORD BEARING OF SOUTH 29 DEGREES - 00
		4. SOUTH 20 DEGREI	ES - 31 MINUTES -	ORD LENGTH OF 36.71 FEET TO A POINT, THENCE; 55 SECONDS WEST, A DISTANCE OF 7.76 FEET, THENCE; ING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 91 DEGREES - 12
		MINUTES - 39 SEC MINUTES - 05 SEC	ONDS, AN ARC LE ONDS EAST, A CH	NGTH OF 47.76 FEET, A CHORD BEARING OF SOUTH 24 DEGREES - 28 ORD LENGTH OF 42.87 FEET, THENCE;
		7. SOUTH 19 DEGREI	ES - 15 MINUTES -	25 SECONDS EAST, A DISTANCE OF 76.67 FEET, THENCE; 07 SECONDS WEST, A DISTANCE OF 236.67 FEET TO A POINT ALONG THE IREET, THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING THREE (3)
		COURSES; 8. NORTH 71 DEGRE	ES - 17 MINUTES -	12 SECONDS WEST, A DISTANCE OF 14.88 FEET, THENCE; VING A RADIUS OF 2.544.51 FEET, A CENTRAL ANGLE OF 01 DEGREES - 57
		MINUTES - 05 SEC	ONDS, AN ARC LE	NGTH OF 86.66 FEET, A CHORD BEARING OF NORTH 70 DEGREES - 18 IORD LENGTH OF 86.66 FEET, THENCE;
		10. NORTH 79 DEGREI OF BEGINNING.		44 SECONDS WEST, A DISTANCE OF 95.64 FEET TO THE POINT AND PLACE
			CONTAIN	
			3 2 UP	UPDATE PER ADDITIONAL TOPOGRAPHY J.D.O. J.P.M. C.R.M. 2-3-2023 DATE PER ADDITIONAL TOPOGRAPHY & UTILITY C.W. J.P.M. C.R.M. 1-23-2023
			1	LEASE LINE ADDED - R.J.K. C.E.L. 10-5-2022
	OR PLAT AND THE SURVEY		No. FIELD DATE	DESCRIPTION OF REVISION FIELD CREW DRAWN: APPROVED: DATE
SED WERE MAD	E IN ACCORDANCE WITH THE EQUIREMENTS FOR	\wedge	1-26-2022	ALTA/NSPS LAND TITLE SURVEY DAISING CANE'S DESTALIDANT II C
ID NSPS, AND IN	DINTLY ESTABLISHED AND NCLUDES ITEMS 1, 2, 3, 4, 5, F TABLE A THEREOF. THE	CONNECTION OF CONNECTION	FIELD BOOK NO.	RAISING CANE'S RESTAURANT, LLC 530 BUSHY HILL ROAD
	F TABLE A THEREOF. THE NUARY 26, 2023.	S 2 S S S S S S S S S S S S S S S S S S	21-16 MA FIELD BOOK PG.	MAP B20, BLOCK 508, LOT 1B TOWN OF SIMSBURY, HARTFORD COUNTY
D TO THE BEST	O IN THE FIELD UNDER OF MY KNOWLEDGE	*5 No 70203	37	STATE OF CONNECTICUT
FANTIALLY CORI	RECT AS NOTED	No. 70283	FIELD CREW B.S.B.	CONTROL POINT ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800
		SURVE	DRAWN:	A 5 5 0 C T A T E 5, T N C HAUPPAUGE, NY 631-580-2645 352 TURNPIKE ROAD MANHATTAN, NY 646-780-0411
		2-3-2023	R.J.K.	SOUTHBOROUGH, MA 01772 MT LAUREL, NJ 609-857-2099 508.948.3000 - 508.948.3003 FAX WARREN, NJ 908-668-0099

DATE

REVIEWED:

C.E.L.

PPROVED:

C.R.M.

SCALE

1"=80'

FILE NO.

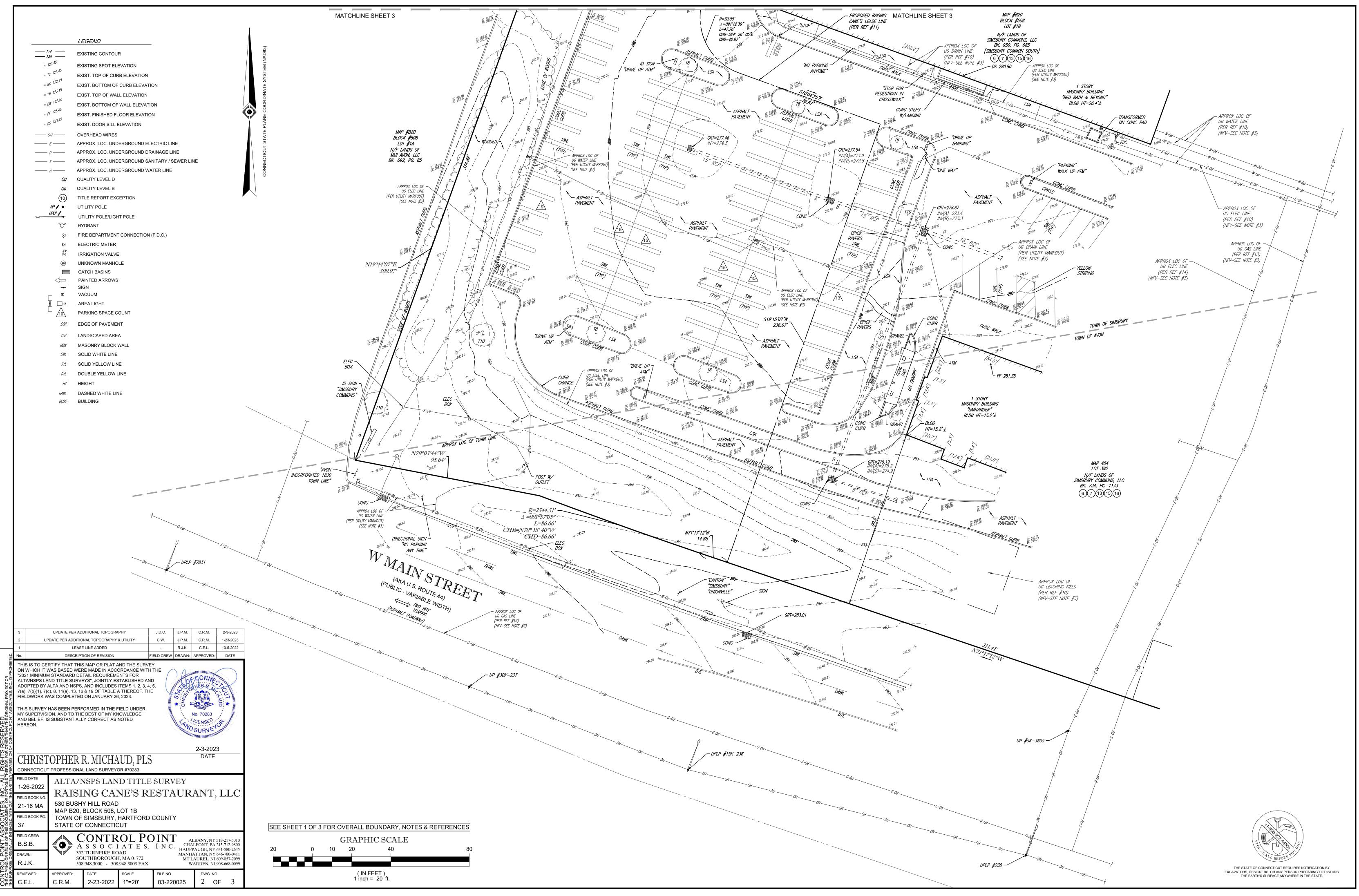
03-220025

DATE

2-23-2022

1 OF 3

DWG. NO.



	LEGEND	~	2		/ /
124 125	EXISTING CONTOUR	SYSTEM (NADR3)			/ /
× 123.45 × TC 123.45	EXISTING SPOT ELEVATION				
× TC ^{123.} × BC ^{122.95}				S.n.	
× BC 122 × TW 123.45	EXIST. BOTTOM OF CURB ELEVATION EXIST. TOP OF WALL ELEVATION				
× Hit × BW 122.95	EXIST. FOP OF WALL ELEVATION		5	APPROX LOC OF -	S-Qr (N
× FF 123.45	EXIST. FINISHED FLOOR ELEVATION			SEWER LINE EASEMENT BK. 266, PG. 222	
× DS 12 ^{3.45}	EXIST. DOOR SILL ELEVATION			(11)	APPROX LOC OF
—— ОН ——	OVERHEAD WIRES	STATE			UG SEWER LINE (PER REF #10)
———— <i>E</i> ————	APPROX. LOC. UNDERGROUND ELECTRIC LINE				(NFV–SEE NOTE ["] #3)
<i>D</i>	APPROX. LOC. UNDERGROUND DRAINAGE LINE				TC 278.93 TC 278.49
<i>S</i>	APPROX. LOC. UNDERGROUND SANITARY / SEWER LI APPROX. LOC. UNDERGROUND WATER LINE				
" Qd	QUALITY LEVEL D)		
Qb	QUALITY LEVEL B			40	
10	TITLE REPORT EXCEPTION				PROX LOC OF UG ELEC LINE ITY MARKOUT)
UP # 🔶 UPLP #				(5	SEE NOTE #3)
	UTILITY POLE/LIGHT POLE HYDRANT				
\$	FIRE DEPARTMENT CONNECTION (F.D.C.)				279.82+
EM	ELECTRIC METER			MAP #B20 BLOCK #508	279.97
<i>К</i> У Х	IRRIGATION VALVE			LOT #1A	APPROX LOC OF
(MH)				N/F LANDS OF MIJI AVON, LLC BK 602 BC 85	UG ELEC LINE (PER UTILITY MARKOUT) (SEE NOTE #3)
	CATCH BASINS PAINTED ARROWS			BK. 692, PG. 85	(SEE INUIE #3)
·	SIGN				
	AREA LIGHT PARKING SPACE COUNT				
EOP	EDGE OF PAVEMENT				
LSA	LANDSCAPED AREA				
MBW	MASONRY BLOCK WALL				
SWL	SOLID WHITE LINE				
SYL	SOLID YELLOW LINE				
DYL	DOUBLE YELLOW LINE				
HT					
DAWL BLDG	DASHED WHITE LINE BUILDING				
					BEGINNING AT A POINT ALONG WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59
					 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS 14 4. NORTH 79 DEGREES - 03 NORTHERLY LINE, RUNN DIVIDING LINE WITH MAP BUSHY HILL PARTNERS, 15 5. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE THE 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUND 8. SOUTH 70 DEGREES - 23
					 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS ' 4. NORTH 79 DEGREES - 03 NORTHERLY LINE, RUNN DIVIDING LINE WITH MAP BUSHY HILL PARTNERS, 5. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE THI 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUND 8. SOUTH 70 DEGREES - 23 9. NORTH 19 DEGREES - 39 10. ALONG A CURVE TO THE
					 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS 1 4. NORTH 79 DEGREES - 03 NORTHERLY LINE, RUNN DIVIDING LINE WITH MAP BUSHY HILL PARTNERS, 5. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE THI 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUND 8. SOUTH 70 DEGREES - 23 9. NORTH 19 DEGREES - 39 10. ALONG A CURVE TO THE MINUTES - 50 SECONDS, MINUTES - 04 SECONDS 8. RUNNING ALONG THE DI
					 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS 0 4. NORTH 79 DEGREES - 03 NORTHERLY LINE, RUNN DIVIDING LINE WITH MAP BUSHY HILL PARTNERS, 5. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE THI 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUND 8. SOUTH 70 DEGREES - 23 9. NORTH 19 DEGREES - 39 10. ALONG A CURVE TO THE MINUTES - 50 SECONDS, MINUTES - 50 SECONDS, MINUTES - 50 SECONDS, MINUTES - 04 SECONDS 11. SOUTH 70 DEGREES - 06
					 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 05 SECONDS, 4. NORTH 79 DEGREES - 03 NORTH HRLY LINE, RUNN DIVIDING LINE WITH MAP BUSHY HILL PARTNERS, 5. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE THI 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUNE 8. SOUTH 70 DEGREES - 39 10. ALONG A CURVE TO THE MINUTES - 04 SECONDS, MINUTES - 04 SECONDS I RUNNING ALONG THE DI FOLLOWING FIVE (5) COU 11. SOUTH 70 DEGREES - 36 12. NORTH 19 DEGREES - 53 13. SOUTH 70 DEGREES - 11
					 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS OF NORTH 79 DEGREES - 40 4. NORTH 79 DEGREES - 41 6. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 44 6. NORTH 19 DEGREES - 44 6. NORTH 19 DEGREES - 44 7. NORTH 19 DEGREES - 44 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUND 8. SOUTH 70 DEGREES - 39 HIGHWAY BOUND FOUND 8. SOUTH 70 DEGREES - 39 10. ALONG A CURVE TO THE MINUTES - 50 SECONDS, MINUTES - 04 SECONDS I RUNNING ALONG THE DI FOLLOWING FIVE (5) COU 11. SOUTH 70 DEGREES - 31 3. SOUTH 70 DEGREES - 48 15. SOUTH 70 DEGREES - 48
	PER ADDITIONAL TOPOGRAPHY J.D.O. J.P.M.	C.R.M. 2-3-2023			 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS 1 4. NORTH 79 DEGREES - 03 NORTHERLY LINE, RUNN DIVIDING LINE WITH MAP BUSHY HILL PARTNERS, 5. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE THI 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUND 8. SOUTH 70 DEGREES - 39 10. ALONG A CURVE TO THE MINUTES - 50 SECONDS, MINUTES - 04 SECONDS I RUNNING ALONG THE DI' FOLLOWING FIVE (5) COU 11. SOUTH 70 DEGREES - 53 13. SOUTH 70 DEGREES - 11 14. SOUTH 70 DEGREES - 11 16. ALONG THE DIVIDING LIN DEGREES - 16 MINUTES -
	PER ADDITIONAL TOPOGRAPHY J.D.O. J.P.M. DDITIONAL TOPOGRAPHY & UTILITY LEASE LINE ADDED - R.J.K.	C.R.M. 2-3-2023 C.R.M. 1-23-2023 C.E.L. 10-5-2022			 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 05 SECONDS, MINUTES - 40 SECONDS 'I 4. NORTH 79 DEGREES - 03 NORTHERLY LINE, RUNN DIVIDING LINE WITH MAP BUSHY HILL PARTNERS, 5. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE THI 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUND 8. SOUTH 70 DEGREES - 39 10. ALONG A CURVE TO THE MINUTES - 50 SECONDS, MINUTES - 50 SECONDS, MINUTES - 04 SECONDS I RUNNING ALONG THE DI' FOLLOWING FIVE (5) COU 11. SOUTH 70 DEGREES - 53 13. SOUTH 70 DEGREES - 11 14. SOUTH 70 DEGREES - 11 15. SOUTH 70 DEGREES - 11 16. ALONG THE DIVIDING LIN DEGREES - 16 MINUTES - WITH MAP B20, BLOCK 50 COURSES;
2 UPDATE PER A	DDITIONAL TOPOGRAPHY & UTILITY C.W. J.P.M.	C.R.M. 1-23-2023 C.E.L. 10-5-2022			 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG NORTH 76 DEGREES - 59 NORTH 71 DEGREES - 17 ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS (NORTH 79 DEGREES - 03 NORTHERLY LINE, RUNN DIVIDING LINE WITH MAP BUSHY HILL PARTNERS, NORTH 19 DEGREES - 44 NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE TH NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUND SOUTH 70 DEGREES - 39 ALONG A CURVE TO THE MINUTES - 50 SECONDS, MINUTES - 04 SECONDS RUNNING ALONG THE DI FOLLOWING FIVE (5) COU SOUTH 70 DEGREES - 66 NORTH 19 DEGREES - 11 SOUTH 70 DEGREES - 16 MINUTES - 16 MINUTES WITH MAP B20, BLOCK 56 COURSES; NORTH 73 DEGREES - 46 SOUTH 73 DEGREES - 52 LINE WITH SAID LOT 380
2 UPDATE PER A 1 DE No. DE THIS IS TO CERTIFY THA	DDITIONAL TOPOGRAPHY & UTILITY C.W. J.P.M. LEASE LINE ADDED - R.J.K.	C.R.M. 1-23-2023 C.E.L. 10-5-2022			 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALON 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS 4. NORTH 79 DEGREES - 03 NORTHERLY LINE, RUNN DIVIDING LINE WITH MAF BUSHY HILL PARTNERS, 5. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE OF BUSH SAID EASTERLY LINE TH 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUNI 8. SOUTH 70 DEGREES - 39 10. ALONG A CURVE TO THE MINUTES - 64 SECONDS, MINUTES - 64 SECONDS, MINUTES - 04 SECONDS, MINUTES - 04 SECONDS, SUNNING ALONG THE DI FOLLOWING FIVE (5) COI 11. SOUTH 70 DEGREES - 11 14. SOUTH 70 DEGREES - 11 15. SOUTH 70 DEGREES - 11 16. ALONG THE DIVIDING LIN DEGREES - 16 MINUTES - WITH MAP B20, BLOCK 50 COURSES; 17. NORTH 73 DEGREES - 46 18. SOUTH 70 DEGREES - 46 18. SOUTH 70 DEGREES - 46 18. SOUTH 70 DEGREES - 46 19. NORTH 70 DEGREES - 46 10. SOUTH 70 DEGREES - 46 11. SOUTH 70 DEGREES - 46 12. NORTH 73 DEGREES - 46 13. SOUTH 70 DEGREES - 46 14. SOUTH 19 DEGREES - 46 15. SOUTH 70 DEGREES - 46 16. SOUTH 70 DEGREES - 46 17. NORTH 73 DEGREES - 46 18. SOUTH 70 DEGREES - 52 LINE WITH SAID LOT 380 19. NORTH 70 DEGREES - 62
2 UPDATE PER A 1 DE THIS IS TO CERTIFY THA ON WHICH IT WAS BASE "2021 MINIMUM STANDAR ALTA/NSPS LAND TITLE ADOPTED BY ALTA AND	DDITIONAL TOPOGRAPHY & UTILITY C.W. J.P.M. LEASE LINE ADDED - R.J.K. SCRIPTION OF REVISION FIELD CREW DRAWN: T THIS MAP OR PLAT AND THE SURVEY	C.R.M. 1-23-2023 C.E.L. 10-5-2022 APPROVED: DATE			 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS 14 NORTH 79 DEGREES - 03 NORTH 79 DEGREES - 03 NORTH 79 DEGREES - 44 6. NORTH 63 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUSH SAID EASTERLY LINE THE T. NORTH 19 DEGREES - 39 10. ALONG A CURVE TO THE MINUTES - 50 SECONDS, MINUTES - 04 SECONDS F RUNNING ALONG THE DIV FOLLOWING FIVE (5) COU 11. SOUTH 70 DEGREES - 10 11. SOUTH 70 DEGREES - 11 14. SOUTH 19 DEGREES - 11 15. SOUTH 70 DEGREES - 11 16. ALONG THE DIVIDING LIN DEGREES - 16 MINUTES - WITH MAP B20, BLOCK 50 COURSES; 17. NORTH 73 DEGREES - 46 18. SOUTH 19 DEGREES - 52 LINE WITH SAID LOT 380 19. NORTH 70 DEGREES - 08
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2 UPDATE PER A 1 Description No. Description THIS IS TO CERTIFY THANON WHICH IT WAS BASE "2021 MINIMUM STANDAR ALTA/NSPS LAND TITLE ADOPTED BY ALTA AND ALTA/NSPS LAND TITLE ADOPTED BY ALTA AND TAIS SURVEY HAS BEEN MY SUPERVISION, AND TAND BELIEF, IS SUBSTAND THIS SURVEY HAS BEEN MY SUPERVISION, AND TAND BELIEF, IS SUBSTAND AND BELIEF, IS SUBSTAND AND BELIEF, IS SUBSTAND HEREON. AND BELIEF, IS SUBSTAND FIELD DATE ALTT 1-26-2022 FIELD BOOK NO. 21-16 MA MAP FIELD BOOK PG. TOWN 37 STAT	DDITIONAL TOPOGRAPHY & UTILITY C.W. J.P.M. LEASE LINE ADDED - R.J.K. SCRIPTION OF REVISION FIELD CREW DRAWN: T THIS MAP OR PLAT AND THE SURVEY D WERE MADE IN ACCORDANCE WITH THE RD DETAIL REQUIREMENTS FOR SURVEYS", JOINTLY ESTABLISHED AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 13, 16 & 19 OF TABLE A THEREOF. THE LETED ON JANUARY 26, 2023. PERFORMED IN THE FIELD UNDER THE BEST OF MY KNOWLEDGE WITHALLY CORRECT AS NOTED CRR. MICHAUD, PLS SIONAL LAND SURVEYOR #70283 A/NSPS LAND TITLE SURVEY ISING CANE'S RESTAUR USHY HILL ROAD 320, BLOCK 508, LOT 1B N OF SIMSBURY, HARTFORD COUNTY E OF CONNECTICUT	C.R.M. 1-23-2023 C.E.L. 10-5-2022 APPROVED: DATE CONNECTION HEBRING CONNECTION HEBRING CO	SEE SHEET 1 OF 20 0	3 FOR OVERALL BOU GRAPHIC 10 20	 WIDTH), SAID POINT BEING A LLC), THENCE RUNNING ALONG 1. NORTH 76 DEGREES - 59 2. NORTH 71 DEGREES - 17 3. ALONG A CURVE TO THE MINUTES - 05 SECONDS, MINUTES - 40 SECONDS / 4. NORTH 79 DEGREES - 03 NORTHERLY LINE, RUNN DIVIDING LINE WITH MAP BUSHY HILL PARTNERS, 5. NORTH 19 DEGREES - 44 6. NORTH 63 DEGREES - 49 EASTERLY LINE OF BUS- SAID EASTERLY LINE THE 7. NORTH 19 DEGREES - 39 HIGHWAY BOUND FOUNE 8. SOUTH 70 DEGREES - 39 10. ALONG A CURVE TO THE MINUTES - 04 SECONDS, MINUTES - 10 DEGREES - 11 10. ALONG THE DIVIDING LIN DEGREES - 16 MINUTES - WITH MAP B20, BLOCK 50 COURSES; 17. NORTH 73 DEGREES - 46 18. SOUTH 70 DEGREES - 52 LINE WITH SAID LOT 380' 19. NORTH 70 DEGREES - 52 LINE WITH SAID LOT 380' 19. NORTH 70 DEGREES - 49 OF BEGINNING.

FILE NO.

03-220025

1"=20'

2-23-202

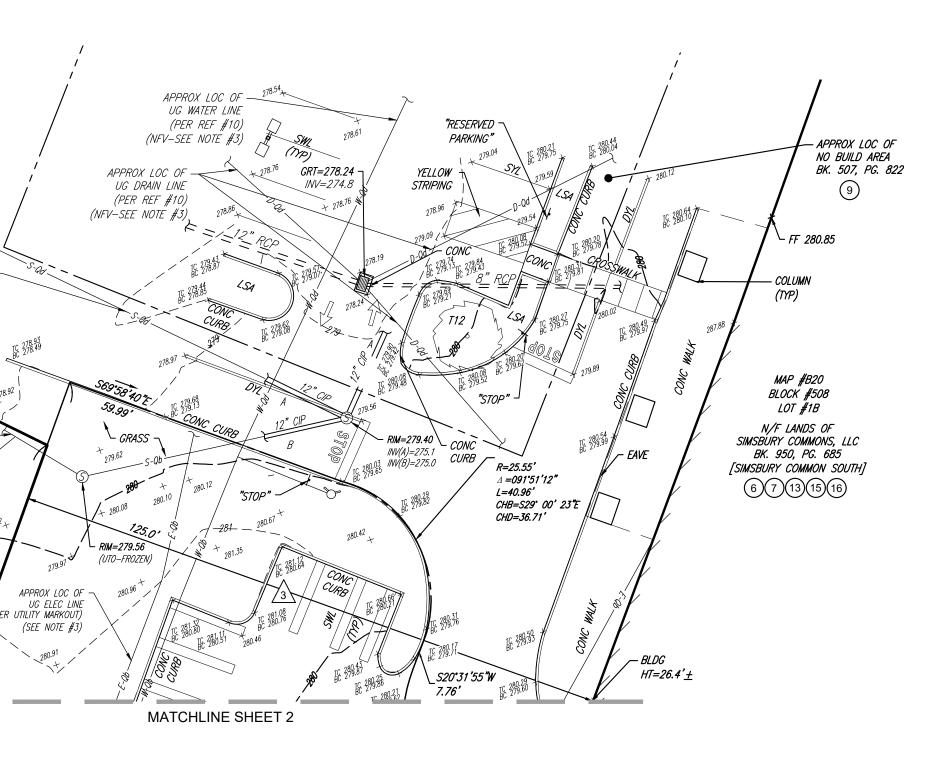
PROVE

C.R.M.

DWG, NO

OF

(IN FE	ET)
(IN FE 1 inch =	20	′ft.



200' WIDE DRAINAGE EASEMENT SHOWN HEREON.

NOTICE OF LEASE FROM ALLAN HUTENSKY, TRUSTEE TO SUBURBAN STORES CORPORATION DATED SIMSBURY LAND RECORDS AND IN VOLUME 445 AT PAGE 35 OF THE AVON LAND RECORDS; AS SUCH AVON LAND RECORDS; AS MODIFIED BY RECOGNITION AGREEMENT DATED DECEMBER 22, 1999 AND AND RECORDED IN VOLUME 572 AT PAGE 181 OF THE SIMSBURY LAND RECORDS: AS ASSIGNED AND 15, 2002 AND RECORDED IN VOLUME 595 AT PAGE 589 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445, PAGE 52 OF THE AVON LAND RECORDS; FVM REALTY CORPORATION TRANSFERRED ITS INTEREST BY VIRTUE OF A QUIT CLAIM DEED AND ASSIGNMENT FROM FVM REALTY CORPORATION TO SIMSBURY (F&A) LLC TO F&A/I&G SIMSBURY COMMONS LIMITED PARTNERSHIP DATED SEPTEMBER 4, 2004 AND

NOTICE OF LEASE FROM SIMON KONOVER TO SOCIETY FOR SAVINGS DATED FEBRUARY 22, 1971 AND THE SIMSBURY LAND RECORDS AND IN VOLUME 72, PAGE 215 OF THE AVON LAND RECORDS. (SEE LAND RECORDS) - BLANKET IN NATURE; SIMSBURY COMMONS NORTH & SOUTH SHOWN HEREON.

SURVEYOR'S METES AND BOUNDS DESCRIPTION MAP B20, BLOCK 508, LOT 1B TOWN OF SIMSBURY MAP 454, LOT 392 TOWN OF AVON HARTFORD COUNTY, CONNECTICUT

AT A POINT ALONG THE NORTHERLY LINE OF WEST MAIN STREET (AKA US ROUTE 44; PUBLIC - VARIABLE D POINT BEING A CORNER IN COMMON WITH MAP 454, LOT 380 (N/F AVON MARKETPLACE INVESTORS, CE RUNNING ALONG SAID NORTHERLY LINE THE FOLLOWING FOUR (4) COURSES;

H 76 DEGREES - 59 MINUTES - 35 SECONDS WEST, A DISTANCE OF 28,45 FEET, THENCE: H 71 DEGREES - 17 MINUTES - 12 SECONDS WEST, A DISTANCE OF 311.41 FEET, THENCE:

G A CURVE TO THE RIGHT, HAVING A RADIUS OF 2,544.51 FEET, A CENTRAL ANGLE OF 01 DEGREES - 57 TES - 05 SECONDS, AN ARC LENGTH OF 86.66 FEET, A CHORD BEARING OF NORTH 70 DEGREES - 18 TES - 40 SECONDS WEST, A CHORD LENGTH OF 86.66 FEET TO A POINT OF NON-TANGENCY, THENCE; H 79 DEGREES - 03 MINUTES - 44 SECONDS WEST, A DISTANCE OF 95.64 FEET. THENCE DEPARTING SAID HERLY LINE, RUNNING PASSING THROUGH THE SIMSBURY-AVON TOWN LINE, RUNNING ALONG THE ING LINE WITH MAP B20, BLOCK 508, LOT 1A (N/F MIJI AVON, LLC) & MAP B20, BLOCK 508, LOT 1A-1 (N/F Y HILL PARTNERS, LLC) THE FOLLOWING TWO (2) COURSES; H 19 DEGREES - 44 MINUTES - 07 SECONDS EAST, A DISTANCE OF 300.97 FEET, THENCE: H 63 DEGREES - 49 MINUTES - 26 SECONDS WEST, A DISTANCE OF 300.08 FEET TO A POINT ALONG THE

ERLY LINE OF BUSHY HILL ROAD (AKA CONN. ROUTE 167; PUBLIC - VARIABLE WIDTH), THENCE ALONG EASTERLY LINE THE FOLLOWING FOUR (4) COURSES; H 19 DEGREES - 39 MINUTES - 45 SECONDS EAST, A DISTANCE OF 379.20 FEET TO A CONNECTICUT NAY BOUND FOUND, THENCE;

H 70 DEGREES - 23 MINUTES - 33 SECONDS EAST. A DISTANCE OF 17.02 FEET. THENCE: H 19 DEGREES - 39 MINUTES - 27 SECONDS EAST, A DISTANCE OF 49.11 FEET, THENCE; G A CURVE TO THE RIGHT, HAVING A RADIUS OF 1,382.69 FEET, A CENTRAL ANGLE OF 10 DEGREES - 28 TES - 50 SECONDS, AN ARC LENGTH OF 252.92 FEET, A CHORD BEARING OF NORTH 24 DEGREES - 54 TES - 04 SECONDS EAST, A CHORD LENGTH OF 252.57 FEET, THENCE DEPARTING SAID EASTERLY LINE, IING ALONG THE DIVIDING LINE WITH MAP B20, BLOCK 508, LOT 1B-1 (N/F SIMSBURY COMMONS, LLC) THE

H 70 DEGREES - 06 MINUTES - 04 SECONDS EAST, A DISTANCE OF 209.61 FEET, THENCE; H 19 DEGREES - 53 MINUTES - 56 SECONDS EAST, A DISTANCE OF 62.08 FEET, THENCE; H 70 DEGREES - 11 MINUTES - 20 SECONDS EAST, A DISTANCE OF 72.00 FEET, THENCE; H 19 DEGREES - 48 MINUTES - 40 SECONDS WEST A DISTANCE OF 46 00 FEET. THENCE H 70 DEGREES - 11 MINUTES - 20 SECONDS EAST. A DISTANCE OF 630.46 FEET. THENCE:

G THE DIVIDING LINE WITH MAP B20, BLOCK 508, LOT 8 (N/F ARMANDO & ERIN A. VARGAS), SOUTH 20 EES - 16 MINUTES - 20 SECONDS WEST, A DISTANCE OF 280.08 FEET, THENCE ALONG THE DIVIDING LINE MAP B20, BLOCK 508, LOT 2A (N/F AVON MARKETPLACE INVESTORS, LLC) THE FOLLOWING TWO (2)

H 73 DEGREES - 46 MINUTES - 54 SECONDS WEST, A DISTANCE OF 100.00 FEET, THENCE; H 19 DEGREES - 52 MINUTES - 00 SECONDS, A DISTANCE OF 472.39 FEET, THENCE ALONG THE DIVIDING WITH SAID LOT 380 THE FOLLOWING THREE (3) COURSES; H 70 DEGREES - 08 MINUTES - 00 SECONDS WEST, A DISTANCE OF 35.99 FEET, THENCE;

H 19 DEGREES - 52 MINUTES - 00 SECONDS WEST A DISTANCE OF 220 40 FEET. THENCE H 03 DEGREES - 49 MINUTES - 10 SECONDS WEST, A DISTANCE OF 27.65 FEET TO THE POINT AND PLACE

CONTAINING 782,633 SQUARE FEET OR 17.967 ACRES

DATED OCTOBER 20, 1969 AND RECORDED IN VOLUME 180, PAGE 601 OF THE SIMSBURY LAND RECORDS -

TERMS AND CONDITIONS CONTAINED IN THAT CERTAIN LEASE BETWEEN ALAN HUTENSKY TRUSTEE AS LANDLORD AND SUBURBAN STORES CORPORATION, AS TENANT DATED APRIL 14, 1970 AS SET FORTH IN NOVEMBER 16, 1970 AND RECORDED IN VOLUME 187 AT PAGE 262 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 69 AT PAGE 268 OF THE AVON LAND RECORDS: AS AMENDED BY AMENDMENT DATED MAY 1, 1993 AND RECORDED IN VOLUME 411 AT PAGE 64 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 277 AT PAGE 625 OF THE AVON LAND RECORDS; AS FURTHER AMENDED BY SECOND AMENDMENT OF LEASE DATED DECEMBER 22, 1993 AND RECORDED IN VOLUME 595 AT PAGE 569 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445 AT PAGE 32 OF THE AVON LAND RECORDS: AS THE INTEREST OF D&L STORES CORP. ("D&L" AS SUCCESSOR-IN-INTEREST TO SUBURBAN) WAS ASSIGNED TO FVM REALTY CORPORATION ("FVM REALTY") BY ASSIGNMENT OF LEASE DATED SEPTEMBER 21, 1994 AND RECORDED IN VOLUME 595 AT PAGE 572 OF THE ASSIGNMENT OF LEASE WAS AMENDED PURSUANT TO AN AMENDMENT TO ASSIGNMENT OF LEASE BETWEEN D&L AND FVM REALTY DATED AS OF SEPTEMBER 1, 1997 AND RECORDED IN VOLUME 595 AT PAGE 578 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445 AT PAGE 41 OF THE AVON LAND RECORDS; AS ASSIGNED AND ASSUMED BY ASSIGNMENT AND ASSUMPTION OF LEASE BY AND BETWEEN THREE D DEPARTMENTS, INC. AND BED BATH AND BEYOND, INC. DATED OCTOBER 28, 1999 AND RECORDED IN VOLUME 520 AT PAGE 151 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 380 AT PAGE 771 OF THE AVON LAND RECORDS: AS AMENDED AND RESTATED BY AMENDED AND RESTATED NOTICE OF LEASE DATED DECEMBER 22, 1999 AND RECORDED IN VOLUME 520 AT PAGE 157 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 380 AT PAGE 777 OF THE RECORDED IN VOLUME 520 AT PAGE 163 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 380 AT PAGE 783 OF THE AVON LAND RECORDS: AS AMENDED BY AMENDMENT TO AMENDED AND RESTATED NOTICE OF LEASE DATED JANUARY 2, 2000 AND RECORDED IN VOLUME 572 AT PAGE 177 OF THE SIMSBURY LAND RECORDS; AS FURTHER AMENDED BY AMENDMENT TO RECOGNITION AGREEMENT DATED JANUARY 2, 2002 ASSUMED BY VIRTUE OF A QUIT CLAIM DEED TO SIMSBURY COMMONS SOUTH (E&A), LLC DATED NOVEMBER

COMMONS SOUTH (E&A), LLC DATED NOVEMBER 15, 2002 AND RECORDED IN VOLUME 595 AT PAGE 595 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445 AT PAGE 58 OF THE AVON LAND RECORDS; AS FURTHER ASSIGNED AND ASSUMED BY ASSIGNMENT AND ASSUMPTION OF LEASE BY SIMSBURY COMMONS SOUTH RECORDED IN VOLUME 676 AT PAGE 606 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 510 AT PAGE 949 OF THE AVON LAND RECORDS; AS AMENDED BY SECOND AMENDMENT TO AMENDED AND RE-STATED NOTICE TO LEASE DATED JANUARY 27, 2012 AND RECORDED IN VOLUME 829 AT PAGE 130 OF THE SIMSBURY LAND RECORDS. (SEE SUBORDINATION. NON-DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN HOMETOWN BANK AND BED BATH & BEYOND INC. DATED NOVEMBER 21, 2019 AND RECORDED NOVEMBER 13, 2020 IN VOLUME 952, PAGE 84 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 553 OF THE AVON LAND RECORDS.) - BLANKET IN NATURE; SIMSBURY COMMONS NORTH & SOUTH SHOWN HEREON.

RECORDED IN VOLUME 188, PAGE 354 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 70, PAGE 279 OF THE AVON LAND RECORDS AND NOTICE OF COMMENCEMENT DATE OF LEASE BY AND BETWEEN SIMON KONOVER AND SOCIETY FOR SAVINGS DATED JUNE 30, 1971 AND RECORDED IN VOLUME 191, PAGE 376 OF SUBORDINATION, NON- DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN SIMSBURY COMMONS, LLC HOMETOWN BANK AND SANTANDER BANK, N.A. DATED NOVEMBER 21, 2019 AND RECORDED JANUARY 13, 2020 IN VOLUME 952, PAGE 14 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 483 OF THE AVON

- EASEMENTS SET FORTH IN A QUITCLAIM DEED FROM NEWTOWN MACDONALD TO ALLAN HUTENSKY, TRUSTEE (8) SHORT FORM AND NOTICE OF AMENDMENT AND RESTATEMENT OF LEASE DATED DECEMBER 15, 1992 AND RECORDED IN VOLUME 405 AT PAGE 181 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 272 AT PAGE 713 OF THE AVON LAND RECORDS; ASSIGNMENT AND ASSUMPTION OF LEASE BY AND AMONG SIMON KONOVER, FVM-NORTH LIMITED PARTNERSHIP AND THE STOP & SHOP SUPERMARKET COMPANY DATED DECEMBER 14. 1994 AND RECORDED IN VOLUME 438 AT PAGE 713 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 302 AT PAGE 829 OF THE AVON LAND RECORDS; AGREEMENT BY AND BETWEEN SIMON KONOVER, FVM-NORTH LIMITED PARTNERSHIP AND THE STOP & SHOP SUPERMARKET COMPANY DATED DECEMBER 14, 1994 AND RECORDED IN VOLUME 438 AT PAGE 719 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 302 AT PAGE 835 OF THE AVON LAND RECORDS; SUBORDINATION, RECOGNITION AND CONSENT BY THE STOP & SHOP SUPERMARKET COMPANY TO AVON SIMSBURY MALL ASSOCIATED LIMITED PARTNERSHIP, FVM-NORTH LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP DATED JULY 22, 1999 AND RECORDED IN VOLUME 512 AT PAGE 884 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 373 AT PAGE 183 OF THE AVON LAND RECORDS. SEE ALSO REAFFIRMATION AGREEMENT DATED JULY 26. 1999 AND RECORDED IN VOLUME 512 AT PAGE 1103 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 373 AT PAGE 484 OF THE AVON LAND RECORDS (SEE SUBORDINATION NON-DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN HOMETOWN BANK. THE STOP & SHOP SUPERMARKET COMPANY LLC AND SIMSBURY COMMONS. LLC DATED NOVEMBER 21, 2019 AND RECORDED JANUARY 13, 2020 IN VOLUME 952, PAGE 1 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 470 OF THE AVON LAND RECORDS.) - STOP & SHOP LEASE AREA SHOWN HEREON.
 - MEMORANDUM OF AMENDED AND RESTATED LEASE BETWEEN FVM-SOUTH LIMITED PARTNERSHIP AND WALGREEN EASTERN CO., INC. DATED MARCH 26, 1999 AND RECORDED IN VOLUME 507 AT PAGE 822 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 368 AT PAGE 370 OF THE AVON LAND RECORDS. (CONSENT AND NON-DISTURBANCE AGREEMENT RECORDED MAY 19, 1999 IN VOLUME 509, PAGE 290 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 369, PAGE 872 OF THE AVON LAND RECORDS.) (SEE SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN HOMETOWN BANK, SIMSBURY COMMONS, LLC AND WALGREEN EASTERN CO., INC. DATED NOVEMBER 21, 2019 AND RECORDED JANUARY 13, 2020 IN VOLUME 952, PAGE 115 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 584 OF THE AVON LAND RECORDS.) -WALGREEN'S LEASE AREA SHOWN HEREON.
 - NOTICE OF LEASE BETWEEN FVM-SOUTH LIMITED PARTNERSHIP (LANDLORD) AND NE RESTAURANT COMPANY, INC. (TENANT) DATED JANUARY 20, 2000 AND RECORDED IN VOLUME 523 AT PAGE 479 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 383 AT PAGE 853 OF THE AVON LAND RECORDS. TENANT'S INTEREST IN THE LEASE WAS ASSIGNED AND ASSUMED BY BRINKER CONNECTICUT CORPORATION BY VIRTUE OF THE ASSIGNMENT AND ASSUMPTION OF LEASES DATED APRIL 12, 2001 AND RECORDED IN VOLUME 542 AT PAGE 90 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 401 AT PAGE 942 OF THE AVON LAND RECORDS: ASSIGNED TO PEPPER DINING INC. BY ASSIGNMENT RECORDED MAY 19, 2008 IN, VOLUME 756, PAGE 613 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 575, PAGE 764 OF THE AVON LAND RECORDS. (SEE SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN PEPPER DINING, INC., HOMETOWN BANK, AND SIMSBURY COMMONS LLC DATED NOVEMBER 21, 2019 AND RECORDED JANUARY 13. 2020 IN VOLUME 952, PAGE 106 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 575 OF THE AVON LAND RECORDS AND IN VOLUME 197 AT PAGE 797 OF THE SIMSBURY LAND RECORDS - LEASE AREA SHOWN HEREON.
 - 1) EASEMENT FROM SIMON KONOVER TO R.H.C. ASSOCIATES AND FRANCHISE REALTY INTERSTATE CORPORATION DATED MAY 9, 1983 AND RECORDED IN VOLUME 266, PAGE 222 OF THE SIMSBURY LAND RECORDS - SEWER LINE EASEMENT SHOWN HEREON.
 - 12) SEWER LINE EASEMENT TO THE TOWN OF SIMSBURY DATED MAY 14, 1993 AND RECORDED IN VOLUME 412 AT PAGE 670 OF THE SIMSBURY LAND RECORDS - 30' WIDE SEWER EASEMENT SHOWN HEREON.
 - EASEMENT AND DEVELOPMENT AGREEMENT BETWEEN SIMON KONOVER AND JON T. LORENSON DATED AUGUST 3, 1990 AND RECORDED IN VOLUME 375 AT PAGE 245 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 240 AT PAGE 668 OF THE AVON LAND RECORDS: AS RE-RECORDED ON JANUARY 18, 1991 IN, VOLUME 242 AT PAGE 421 OF THE AVON LAND RECORDS; AS AMENDED BY AMENDMENT DATED AUGUST 2, 1992 AND RECORDED IN VOLUME 404 AT PAGE 78 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 270 AT PAGE 923 OF THE AVON LAND RECORDS; AS FURTHER AMENDED DATED DECEMBER 13, 1993 AND RECORDED IN VOLUME 423 AT PAGE 984 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 289 AT PAGE 695 OF THE AVON LAND RECORDS (SEE CERTIFICATE RECORDED DECEMBER 30, 1993 IN VOLUME 423 AT PAGE 934 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 289 AT PAGE 655 OF THE AVON LAND RECORDS); AS FURTHER AMENDED BY THIRD AMENDMENT TO EASEMENT AND DEVELOPMENT AGREEMENT DATED MARCH 11, 1999 AND RECORDED IN VOLUME 505 AT PAGE 430 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 365 AT PAGE 935 OF THE AVON LAND RECORDS - COMMON DRIVEWAY EASEMENT SHOWN HEREON.
 - (14) ORDER BY THE STATE OF CONNECTICUT TRAFFIC COMMISSION DATED FEBRUARY 20, 1991 AND RECORDED IN VOLUME 378 AT PAGE 317 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 244 AT PAGE 877 OF THE AVON LAND RECORDS - TRAFFIC EASEMENTS SHOWN HEREON
 - (15) LETTER AND TRAFFIC INVESTIGATION REPORT OF THE STATE OF CONNECTICUT TRAFFIC COMMISSION DATED FEBRUARY 27, 1992 AND RECORDED IN VOLUME 391 AT PAGE 754 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 259. PAGE 794 OF THE AVON LAND RECORDS. OF THE AVON LAND RECORDS AND AMENDED AND RESTATED RECIPROCAL EASEMENT AGREEMENT DATED DECEMBER 14, 1994 AND RECORDED IN, VOLUME 438 AT PAGE 674 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 302 AT PAGE 787 OF THE AVON LAND RECORDS (SEE SUBORDINATION BY AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP DATED JUNE 30, 1995 AND RECORDED IN VOLUME 444, PAGE 428 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 308, PAGE 782 OF THE AVON LAND RECORDS): AS ASSIGNED BY ASSIGNMENT AND ASSUMPTION OF LEASES AND CONSTRUCTION, OPERATION AND RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN SIMON KONOVER (ASSIGNOR) AND SIMON KONOVER AND SK COMMERCIAL CORPORATION (ASSIGNEE) DATED APRIL 13, 1995 AND RECORDED IN VOLUME 444 AT PAGE 263 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 308 AT PAGE 611 OF THE AVON LAND RECORDS: AS FURTHER ASSIGNED BY ASSIGNMENT TO AVON MALL ASSOCIATES LIMITED PARTNERSHIP DATED JUNE 30, 1995 AND RECORDED IN VOLUME 444 AT PAGE 326 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 308 AT PAGE 665 OF THE AVON LAND RECORDS: (CONSENT AND SUBORDINATION BY THE STOP AND SHOP SUPERMARKET COMPANY RECORDED IN VOLUME 448 AT PAGE 1094 OF THE SIMSBURY LAND RECORDS) AS AMENDED BY FIRST AMENDMENT TO AMENDED AND RESTATED CONSTRUCTION, OPERATION AND RECIPROCAL EASEMENT AGREEMENT DATED JULY 9, 1999 AND RECORDED IN VOLUME 512 AT PAGE 870 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 373 AT PAGE 169 OF THE AVON LAND RECORDS; AS ASSIGNED BY QUIT CLAIM DEED AND ASSIGNMENT TO SIMSBURY COMMONS SOUTH (E&A), LLC DATED NOVEMBER 15, 2002 AND RECORDED NOVEMBER 21, 2002 IN VOLUME 595, PAGE 584 AND IN VOLUME 595, PAGE 589 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445, PAGE 5 OF THE AVON LAND RECORDS - TRAFFIC EASEMENTS, FUELING FACILITY & SIMSBURY COMMONS NORTH & SOUTH SHOWN HEREON.
 - (16) DECLARATION OF UNIFIED SITE PLAN BY SIMON KONOVER, FVM-NORTH LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP DATED DECEMBER 14, 1994 AND RECORDED IN VOLUME 438 AT PAGE 702 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 302 AT PAGE 817 OF THE AVON LAND RECORDS -APPROVAL OF SITE PLAN MODIFICATION; SIMSBURY COMMONS NORTH & SOUTH SHOWN HEREON.
 - (17) SEWER EASEMENT FROM AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP TO THE TOWN OF SIMSBURY DATED OCTOBER 18, 1995 AND RECORDED IN VOLUME 448 AT PAGE 1088 OF THE SIMSBURY LAND RECORDS; (SEE CONSENT AND SUBORDINATION BY FVM-NORTH LIMITED PARTNERSHIP RECORDED IN VOLUME 448 AT PAGE 1094 OF THE SIMSBURY LAND RECORDS. (CONSENT AND SUBORDINATION BY THE STOP AND SHOP SUPERMARKET COMPANY RECORDED IN VOLUME 448 AT PAGE 1096 OF THE SIMSBURY LAND RECORDS) - 30' WIDE SEWER EASEMENT SHOWN HEREON.
 - (18) ORDER BY THE STATE OF CONNECTICUT STATE TRAFFIC COMMISSION DATED JANUARY 20, 1999 AND RECORDED APRIL 14, 1999 IN VOLUME 507, PAGE 281 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 367, PAGE 1023 OF THE AVON LAND RECORDS - TRAFFIC EASEMENTS SHOWN HEREON.
 - (19) EASEMENT FROM AVON/SIMSBURY ASSOCIATES LIMITED PARTNERSHIP, FVM-NORTH LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP TO THE STATE OF CONNECTICUT DATED MARCH 16, 1999 AND RECORDED IN VOLUME 505 AT PAGE 936 OF THE SIMSBURY LAND RECORDS - EASEMENTS FOR HIGHWAY PURPOSES SHOWN HEREON.
 - (20) BOUNDARY LINE AGREEMENT AND DECLARATION BY AND AMONG AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP, FVM-NORTH LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP DATED JULY 7, 1999 AND RECORDED IN VOLUME 512 AT PAGE 67 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 372 AT PAGE 390 OF THE AVON LAND RECORDS - TRANSFERRED PORTIONS A & B SHOWN HEREON.
 - (21) EASEMENT FROM AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP, FVM-NORTH LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP TO THE STATE OF CONNECTICUT DATED OCTOBER 18, 1999 AND RECORDED IN VOLUME 517 AT PAGE 323 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 377 AT PAGE 928 OF THE AVON LAND RECORDS - TRAFFIC SIGNAL MAINTENANCE EASEMENT SHOWN HEREON.
 - (22) MEMORANDUM OF LEASE BETWEEN E&A/I&G SIMSBURY COMMONS LIMITED PARTNERSHIP AND NEW CINGULAR WIRELESS PCS, LLC DATED SEPTEMBER 23, 2005 AND RECORDED JUNE 21, 2006 IN VOLUME 716 PAGE 106 OF THE SIMSBURY LAND RECORDS - CELL TOWER LEASE AREA SHOWN HEREON.
 - (23) DRAINAGE EASEMENT FROM SOCIETY FOR SAVINGS TO THE STATE OF CONNECTICUT DATED JUNE 2, 1972 AND RECORDED IN VOLUME 198 AT PAGE 14 OF THE SIMSBURY LAND RECORDS - DRAINAGE RIGHTS SHOWN HEREON.
 - (24) EASEMENT FROM SOCIETY FOR SAVINGS TO THE STATE OF CONNECTICUT DATED JUNE 2, 1978 AND RECORDED IN VOLUME 106 AT PAGE 752 OF THE AVON LAND RECORDS AND IN VOLUME 235 AT PAGE 920 OF THE SIMSBURY LAND RECORDS - TRAFFIC EASEMENT SHOWN HEREON.

