

# PROPOSED SITE PLAN DOCUMENTS

FOR



## PROPOSED RESTAURANT W/ DRIVE-THRU

LOCATION OF SITE:  
530 BUSHY HILL ROAD, TOWN OF SIMSBURY  
HARTFORD COUNTY, CT  
MAP #B20, BLOCK #508, LOT #001-B

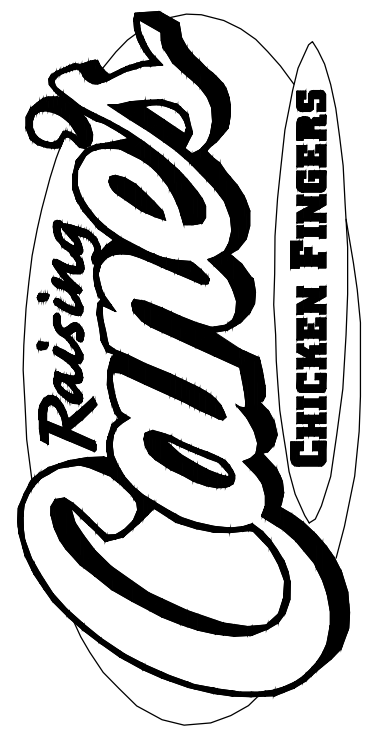
### REFERENCES

BOUNDARY & TOPOGRAPHIC SURVEY:  
CONTROL POINT ASSOCIATES, INC.  
352 TURNPIKE ROAD, SOUTHBOROUGH, MA 01772  
DATE: 02/23/2022  
REVISED: 02/23/2023

GEOTECHNICAL INVESTIGATION REPORT:  
TERRACON CONSULTANTS, INC.  
ROCKY HILL, CT  
DATE: 12/12/2022

ARCHITECTURAL PLAN:  
ADA ARCHITECTS, INC.  
17710 DETROIT AVENUE, CLEVELAND, OHIO 44107  
DATE: 11/14/2022  
REVISED: 04/27/2023

\*THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE:

STORE:  
RAISING CANE'S RESTAURANT  
530 BUSHY HILL ROAD  
SIMSBURY, CT  
Prototype P4-V-AV  
RESTAURANT #C0935

DESIGNERS INFORMATION:

**BOHLER //**  
65 LaSALLE ROAD, SUITE 401  
WEST HARTFORD, CT 06107  
Phone: (860) 333-8900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

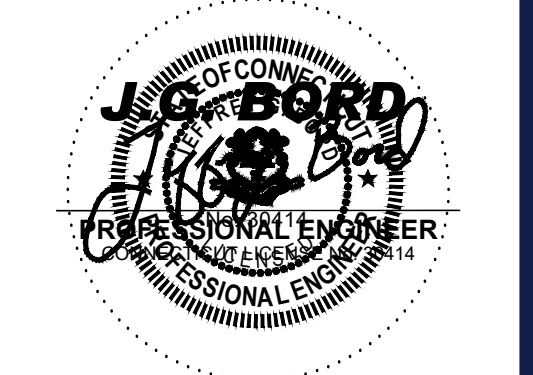
PROTOTYPE UPDATE PHASE:

UPDATE ISSUE DATE:

PROJECT MANAGER: JOB

### PERMIT SET

PROFESSIONAL OF RECORD:

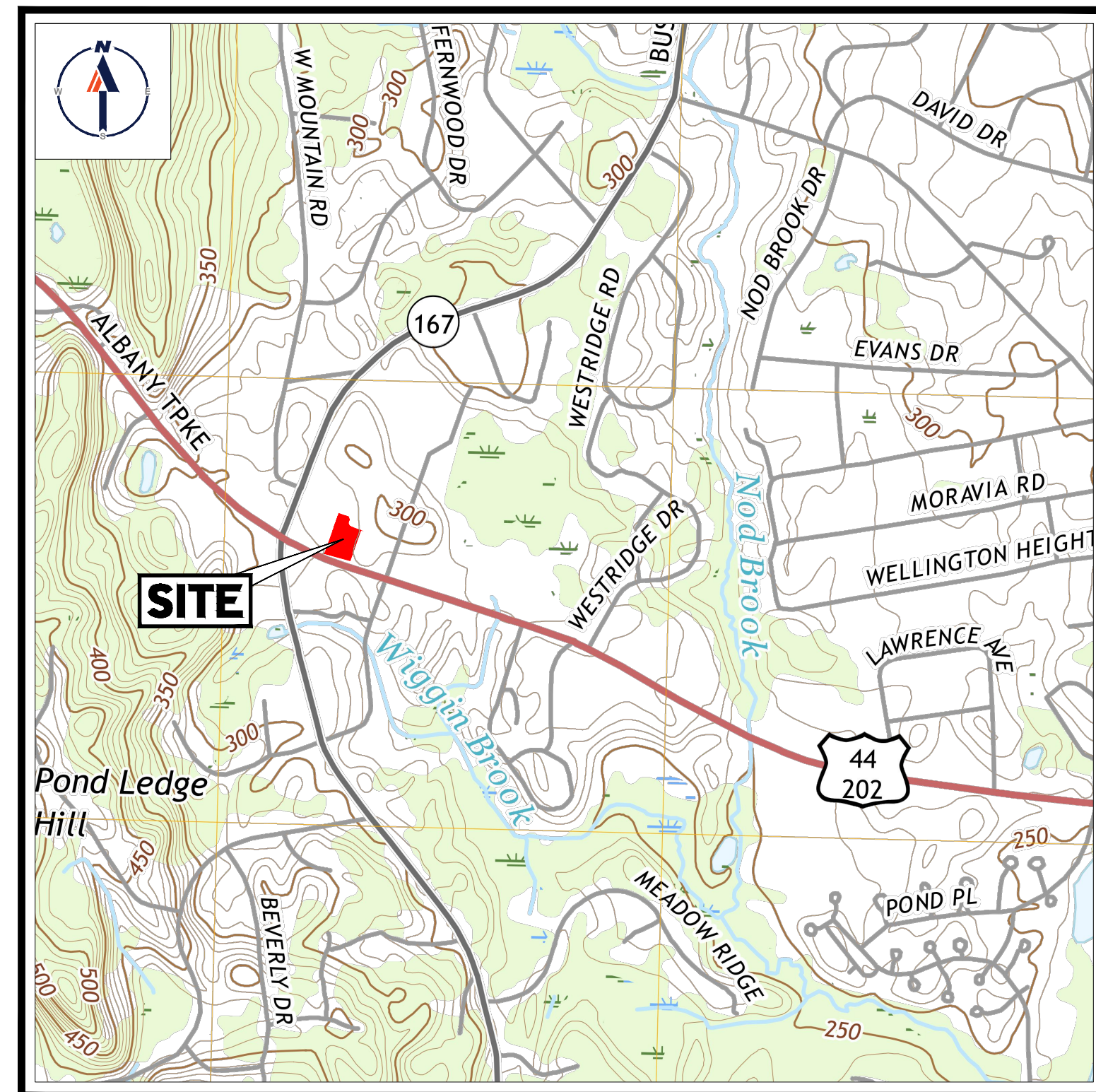


SHEET REVISIONS: (Sheet Specific per Designer)

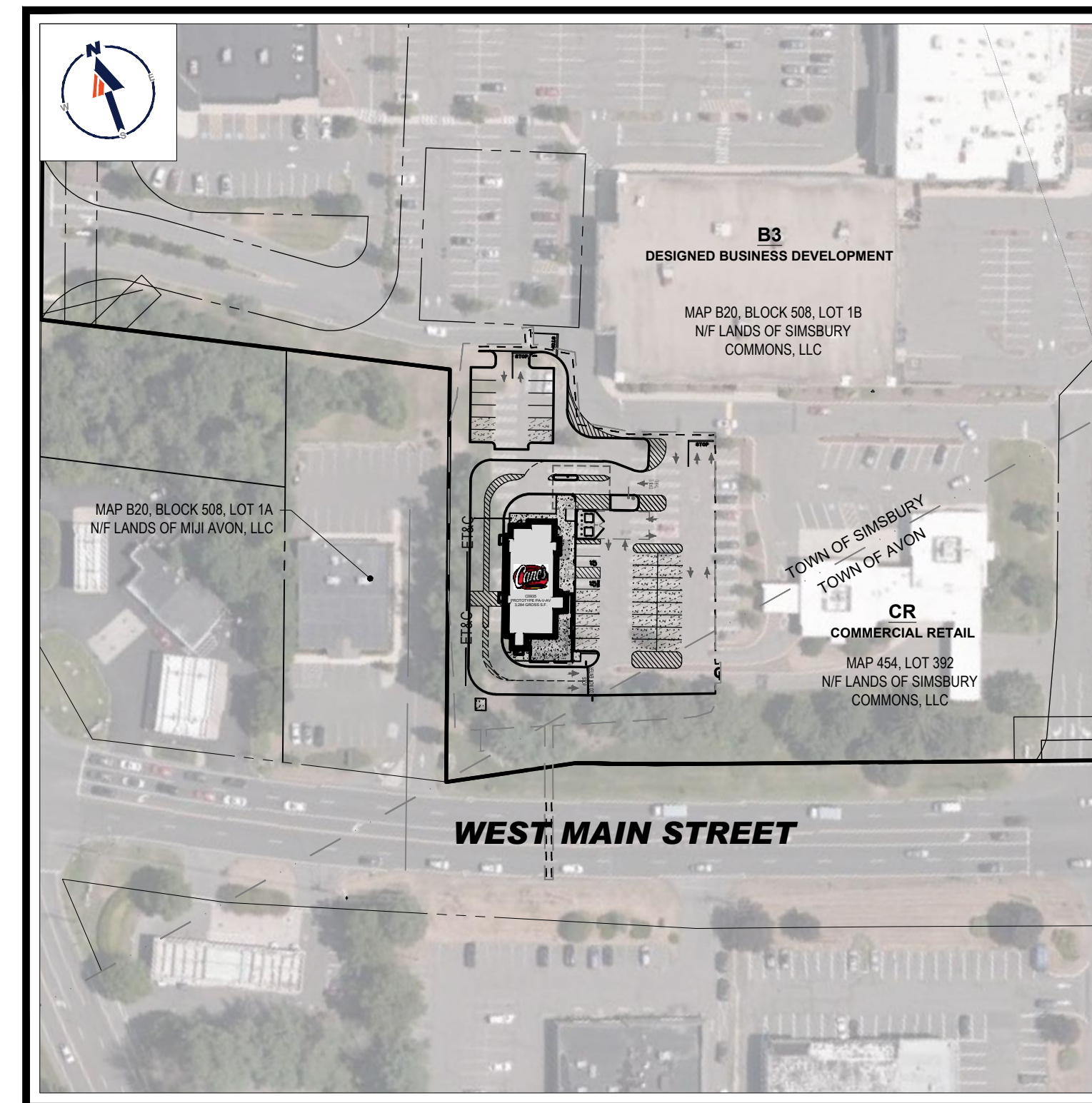
DATE:	DESCRIPTION:
05/16/2023	ZBA COMMENTS
06/08/2023	P & Z SUBMISSION

### DRAWING SHEET INDEX

SHEET INDEX	
SHEET TITLE	NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING & DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
SOIL EROSION & SEDIMENT CONTROL PLAN	C-601
SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES & DETAILS	C-702
DETAIL SHEET	C-901
DETAIL SHEET	C-902
REFERENCE PLANS	
ALTA/NSP LAND TITLE SURVEY (BY OTHERS)	3 SHEETS



**USGS MAP**  
SCALE: 1" = 1,000'  
SOURCE: 2021 AVON QUADRANGLE



**SITE MAP**  
SCALE: 1" = 100'  
SOURCE: 2022 MICROSOFT CORPORATION

PREPARED BY

**BOHLER //**

SHEET TITLE:

**COVER SHEET**

DATE: 01/23/2022

PROJECT NUMBER: CTA22075.00

DRAWN BY: KMB

SHEET NUMBER:

**C-101**



## GENERAL NOTES

- THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER, IN WRITING, IF ANY ACTUAL, SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS AND CONDITIONS OF THE NOTATION, DRAWINGS, ADDITIONAL NOTES AND SPECIFICATIONS TO THESE PLANS. ALL SPECIFICATIONS AND REQUIREMENTS FOR GENERAL NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS TO THESE PLANS, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTORS SOLE AND COMPLETE RESPONSIBILITY.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE), THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.

THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME.

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THE CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS FOR RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/POINT, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

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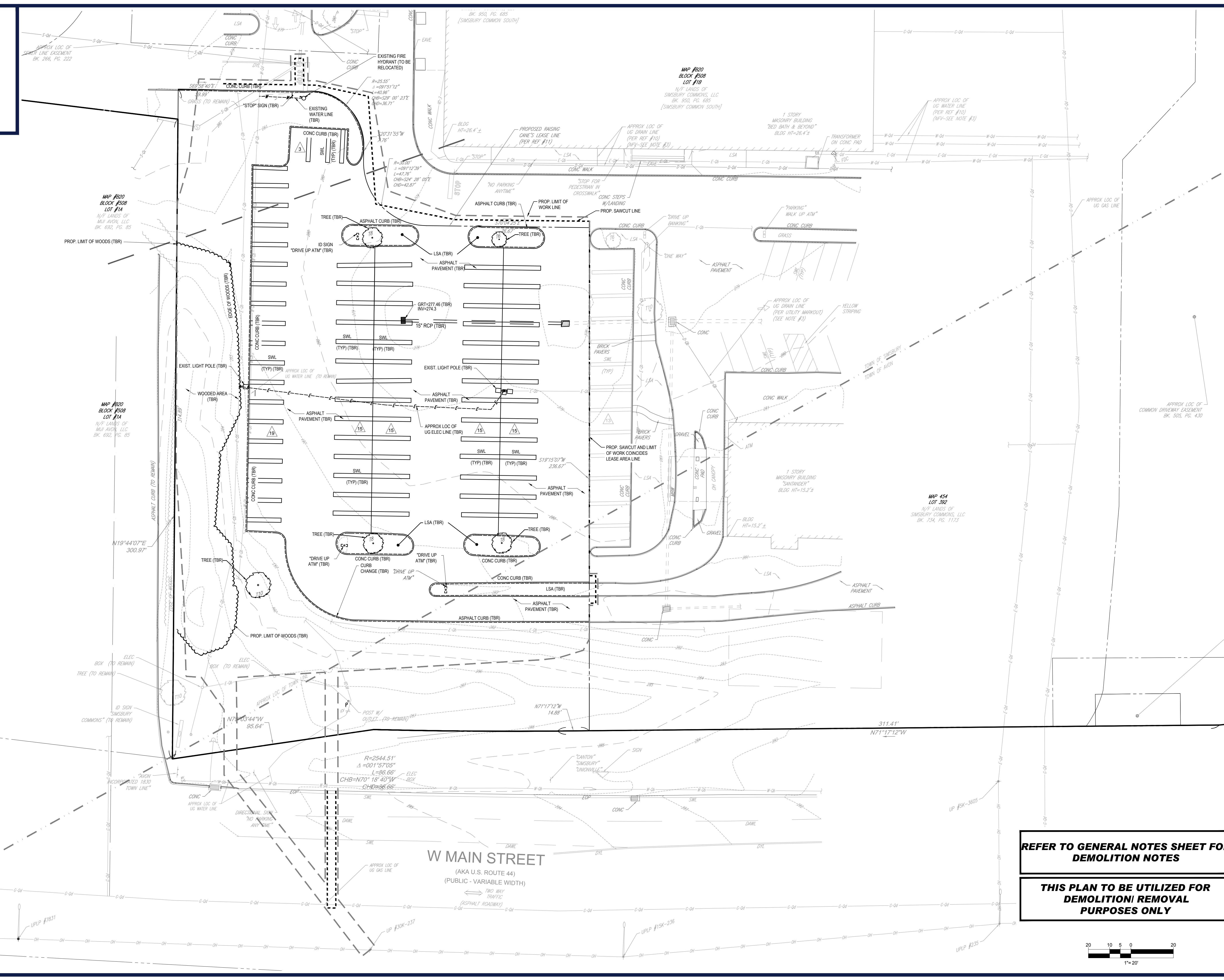
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## GENERAL DEMOLITION NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS AND OTHER AREAS. THE CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITIES(PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND DEMOLITION ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ANY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN.
- THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS INCLUDING WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK. THE CONTRACTOR MUST REVIEW THE CONSTRUCTION DOCUMENTS TO IDENTIFY ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITIES(PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC.
- THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OFF SITE. THE CONTRACTOR, AT THE CONTRACTORS SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTORS REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REFERRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE EXCAVATOR, BACKFILL, AND OVERPAVEMENT CONTRACTORS SOLE AND COMPLETE RESPONSIBILITY.
- ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST COMPLY WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MAY INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, AND OTHER SAFETY MEASURES REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.
- PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE WORK OR WORK WHICH IS TO BE DEMOLISHED. ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD BY BOHLER, IN WRITING. ALL CONCERNS OR QUESTIONS CONCERNING THE WORK OR WORK WHICH IS TO BE DEMOLISHED, MUST BE ADDRESSED WITHIN THE SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES HAVE BEEN IDENTIFIED AND REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST:
  - OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT. SITE WORK, AND FINISHED SURFACES.
  - NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK.
  - INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED.
  - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION.
  - LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
  - PROTECT AND MAINTAIN ALL OPERATING UTILITIES AND SERVICES THROUGHOUT ANY DEMOLITION ACTIVITIES.
  - ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE TO BE OBTAINED BY THE PROJECT. THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF SUCH TERMINATION OF SERVICE. THE CONTRACTOR'S RESPONSIBILITY, IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND EXPENSIVE REQUIREMENTS.
  - ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED BY THE UTILITY COMPANY. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
  - IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF THE DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER, OF THE DISCOVERY OF SUCH MATERIALS TO PURSUE APPROPRIATE ACTION.
  - THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN INSTRUCTIONS OF THE ENGINEER OF RECORD.
- DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
- THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE DEMOLITION AND BACKFILLING REQUIREMENTS OF THE JURISDICTION AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND BOHLER, IN WRITING.
- EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR MUST LOCATE, IDENTIFY, AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE.
- IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND SURFACES TO REMOVE ALL DUST AND DIRT. THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISTURBANCE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTORS SOLE COST.
- PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO, THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION. THIS RECORD SET MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK. ALL OF WHICH IS AT THE CONTRACTORS SOLE COST.
- THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTING, CLEANING AND REMOVAL ARE AT THE CONTRACTORS SOLE COST.
- THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IF REQUIRED, DO EXPLORATORY TEST PITS TO CONFIRM EXACT LOCATION AND DEPTH OF UTILITIES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER WITH ANY CONFLICTS AS NEEDED TO COORDINATE FINAL LOCATION OF ALL PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL INSPECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN FOR THE PROJECTS RE-USE TO VERIFY SUITABILITY FOR SAME. IF STRUCTURES CAN NOT BE REUSED THEN THE CONTRACTOR SHALL PROVIDE A NEW STRUCTURE. THE CONTRACTOR SHALL COORDINATE SUCH WORK WITH THE APPLICABLE UTILITY PROVIDER.
- CONTRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS, DELETERIOUS MATERIALS, AND/OR DEBRIS THAT IMPEDS THE WORK SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL REVIEW THE PLANS VERSUS THE LOCATION OF EXISTING STRUCTURES, UTILITIES AND APPURTENANCES IN THE FIELD TO CONFIRM ACCURACY OF SAME, AND VERIFY ITEMS TO BE REMOVED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY EXISTING STRUCTURES, APPURTENANCES, AND UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO, DRAIN, WATER, SEWER, STEAM, IRRIGATION, GAS, TELECOM AND ELECTRIC.
- THE CONTRACTOR SHALL MAINTAIN, ADJUST OR ABANDON EXISTING MONITORING WELLS IN ACCORDANCE WITH THE DIRECTION OF THE ENVIRONMENTAL CONSULTANT (TYP.)
- WHERE THE LIMIT OF WORK COINCIDES WITH PROPERTY LINE, TREE LINE, PROPOSED SAWCUT OR NEARBY THEREOF IT IS SHOWN ADJACENT TO THESE FEATURES FOR GRAPHICAL CLARITY.
- EXISTING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION UNLESS CLEARLY INDICATED OTHERWISE. REASONABLE CARE AND CAUTION SHALL BE EXERCISED TO PREVENT CONSTRUCTION FROM RESULTING IN PERMANENT DAMAGE AND SELECTIVE PRUNING MAY BE REQUIRED TO ENSURE THAT NO CONFLICT WITH DEVELOPMENT.
- CONTRACTOR SHALL REPAIR/REPLACE ANY TRAFFIC LOOP DETECTORS THAT ARE DAMAGED DURING CONSTRUCTION WITHIN EXISTING OR PROPOSED RIGHTS OF WAYS. ANY SUCH WORK MUST BE PERFORMED BY A LICENSED, DOT APPROVED SIGNAL CONTRACTOR. ANY DAMAGED LOOPS OR OTHER SIGNAL EQUIPMENT MUST BE REPAIRED IMMEDIATELY AFTER THE WORK IS COMPLETE. THE SIGNAL CONTRACTOR MUST BE AVAILABLE TO MAKE ANY TEMPORARY SIGNAL CHANGES IF REQUESTED BY DOT AND/OR THE MUNICIPALITY.
- THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO DETERMINE THE EXACT SIZE, DEPTH AND LOCATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED AT THE EXISTING MAIN AND/OR PROPERTY LINE. THESE SERVICES ARE TO BE TERMINATED IN ACCORDANCE WITH MUNICIPAL, STATE TRANSPORTATION DEPARTMENT REQUIREMENTS.

PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE WORK OR WORK WHICH IS TO BE DEMOLISHED. ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD BY BOHLER, IN WRITING. ALL CONCERNS OR QUESTIONS CONCERNING THE WORK OR WORK WHICH IS TO BE DEMOLISHED, MUST BE ADDRESSED WITHIN THE SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.





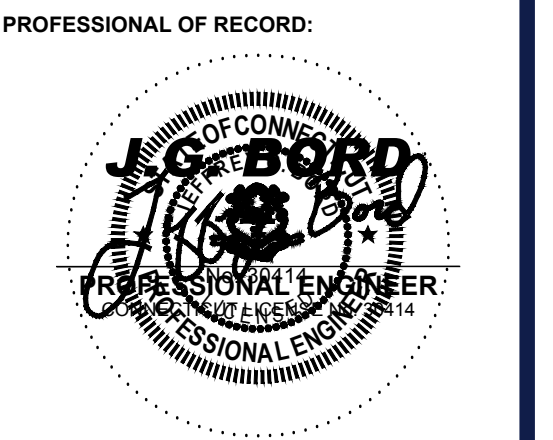
Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE: \_\_\_\_\_  
 STORE:  
**RAISING CANE'S RESTAURANT**  
**530 BUSHY HILL ROAD**  
**SIMSBURY, CT**  
 Prototype P4-V-AV  
**RESTAURANT #C0935**

DESIGNERS INFORMATION:  
**BOHLER**  
 65 LaSALLE ROAD, SUITE 401  
 WEST HARTFORD, CT 06107  
 Phone: (860) 333-8900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

PROTOTYPE UPDATE PHASE: \_\_\_\_\_  
 UPDATE ISSUE DATE: \_\_\_\_\_  
 PROJECT MANAGER: **JOB**

**PERMIT SET**



SHEET REVISIONS: (Sheet Specific per Designer)

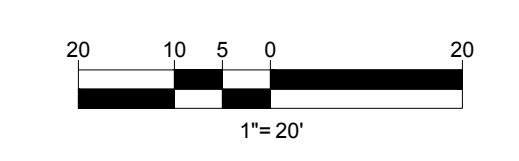
DATE:	DESCRIPTION:
1 05/16/2023	ZBA COMMENTS
2 06/08/2023	P & Z SUBMISSION

DATE:	DESCRIPTION:
1 05/16/2023	ZBA COMMENTS
2 06/08/2023	P & Z SUBMISSION

SHEET TITLE:  
**DEMOLITION PLAN**  
 DATE: 01/23/2022  
 PROJECT NUMBER: CTA220075.00  
 DRAWN BY: KMB

SHEET NUMBER:  
**C-201**

**REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES**  
**THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY**



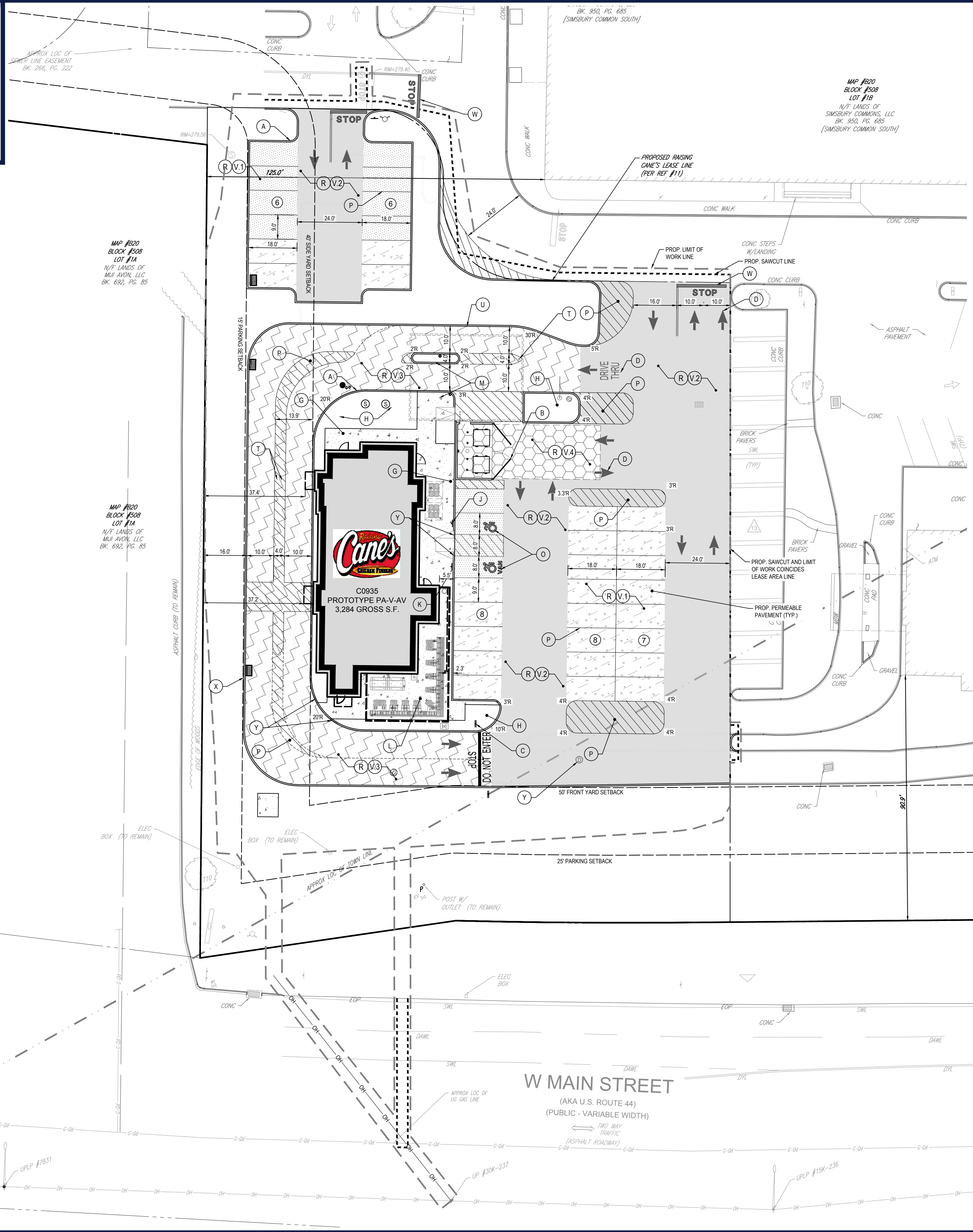
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ZONING ANALYSIS TABLE					
ZONING DISTRICT	SIMSBURY: DESIGNATED BUSINESS DEVELOPMENT (B-3)				
REQUIRED PERMIT	AVON: COMMERCIAL RETAIL (CR)				
ZONE CRITERIA	SIMSBURY REQUIRED	AVON REQUIRED	EXISTING	PROPOSED LEASE AREA	PROPOSED OVERALL
LOT AREA	N/A	N/A	N/A	52,494 SF	782,633 SF
MAX. BLDG COVERAGE	N/A	25%	0%	3,284 SF / 52,494 SF = 6.2%	188,942 SF / 782,633 SF = 24.0%
MIN. FRONT SETBACK	50 FT	75 FT	N/A	87.0 FT	46 FT (AVON)
MIN. SIDE SETBACK	40 FT	20 FT	N/A	37.2 FT / 37.4 FT (V)	9.5 FT (E)
MIN. REAR SETBACK	50 FT	25 FT	N/A	N/A	9.5 FT
MIN. PARKING SETBACK	FRONT: 25 FT SIDE: 15 FT	N/A	N/A	15 FT	15 FT
MAX. BUILDING HEIGHT	40 FT	35 FT	N/A	-	-
MAX. IMPER. COVERAGE	40%	50%	656,599 SF / 782,633 SF = 83.9%	30,152 SF / 52,494 SF = 57.4%	656,432 SF / 782,633 SF = 83.8%
PARKING SPACES	22 (1)	N/A (1)	873	35	781
ACCESS. PARKING SPACES	1 (1)	N/A (1)	22	2	24
PARKING STALL CRITERIA	USE/CATEGORY: RESTAURANT				
STANDARD: 9 FT x 18 FT	REQUIRED PARKING: 3.3 PARKING SPACES PER EACH 500 SF OF GFA				
COMPACT: 8 FT x 16 FT	CALCULATION: 3,295 / 500 = 6.59 x 3.3 = 22 SPACES				

(1) TABLE CALCULATED BASED ON LEASE AREA  
 (V) MINIMUM SIDE YARD SETBACK AS SPECIFIED IN SECTION 4.3 DIMENSIONAL REQUIREMENTS OF THE ZONING REGULATIONS. MINIMUM REQUIRED IS 40 FT WHERE 19.2 FT & 37.1 FT ARE PROPOSED.



### PAVEMENT LEGEND

- V.1 STANDARD DUTY ASPHALT PAVEMENT  
REFERENCE PAVEMENT DETAILS
- V.2 HEAVY DUTY ASPHALT PAVEMENT  
REFERENCE PAVEMENT DETAILS
- V.3 MEDIUM DUTY CONCRETE PAVEMENT  
INTEGRAL COLOR 860 GRAPHIC (IRON OXIDE) REFERENCE PAVEMENT DETAILS
- V.4 HEAVY DUTY CONCRETE PAVEMENT  
(DUMPSTER ENCLOSURE) REFER TO CONSTRUCTION DETAILS DETAILS
- PROPOSED PRIVATE SIDEWALK PAVEMENT  
REFER TO CONSTRUCTION DETAILS
- PROPOSED PERMEABLE PAVEMENT

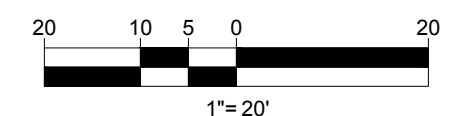
### PAINT STRIPING LEGEND

SWSL4 SINGLE WHITE SOLID LINE 4 IN. WIDE

### LEGEND

- A PROP. CURB
- B PROP. RECYCLING / TRASH DUMPSTER LOCATION. REFER TO ARCH PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY.
- C PROP. "STOP" AND "DO NOT ENTER" SIGNS
- D PROP. DIRECTIONAL PAVEMENT MARKING
- E EXIST. CONCRETE SIDEWALK
- F
- G
- H PROP. LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS.
- I PROP. SITE LIGHTING. REFER TO LIGHTING PLANS FOR DETAILS.
- J PROP. ACCESSIBLE PARKING SIGN.
- K PROP. VAN ACCESSIBLE PARKING SIGN.
- L PROP. CONCRETE PATIO WITH OUTDOOR SEATING.
- M PROP. DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCH. PLANS FOR DETAILS.
- N
- O PROP. ACCESSIBLE PARKING SPACES & STRIPING (SEE DETAIL)
- P PROP. PAVEMENT STRIPING. SEE PAINT STRIPING LEGEND ON THIS SHEET.
- Q APPROX. LOCATION OF PROP. PAD MOUNTED TRANSFORMER. REFER TO SHEET C-501 - UTILITY PLAN.
- R PROP. ASPHALT PAVEMENT
- S PROP. SAWCUT LINE
- T PROP. BOLLARD IN CURB. REFER TO ARCH. PLANS FOR DETAILS.
- U ORDER BOARD CANOPY
- V PROP. "STOP" SIGN AND BAR
- X PROP. CATCH BASIN
- Y PROP. DRAINAGE MANHOLE

**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES**



Restaurant Support Office  
 6800 Bishop Road, Plano, TX 75024  
 Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE: \_\_\_\_\_  
 STORE:  
**RAISING CANE'S RESTAURANT**  
**530 BUSHY HILL ROAD**  
**SIMSBURY, CT**  
 Prototype P4-V-AV  
**RESTAURANT #C0935**

DESIGNERS INFORMATION:  
**BOHLER**  
 65 LaSALLE ROAD, SUITE 401  
 WEST HARTFORD, CT 06107  
 Phone: (860) 333-8900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

PROTOTYPE UPDATE PHASE: \_\_\_\_\_  
 UPDATE ISSUE DATE: \_\_\_\_\_  
 PROJECT MANAGER: **JOB**

## PERMIT SET



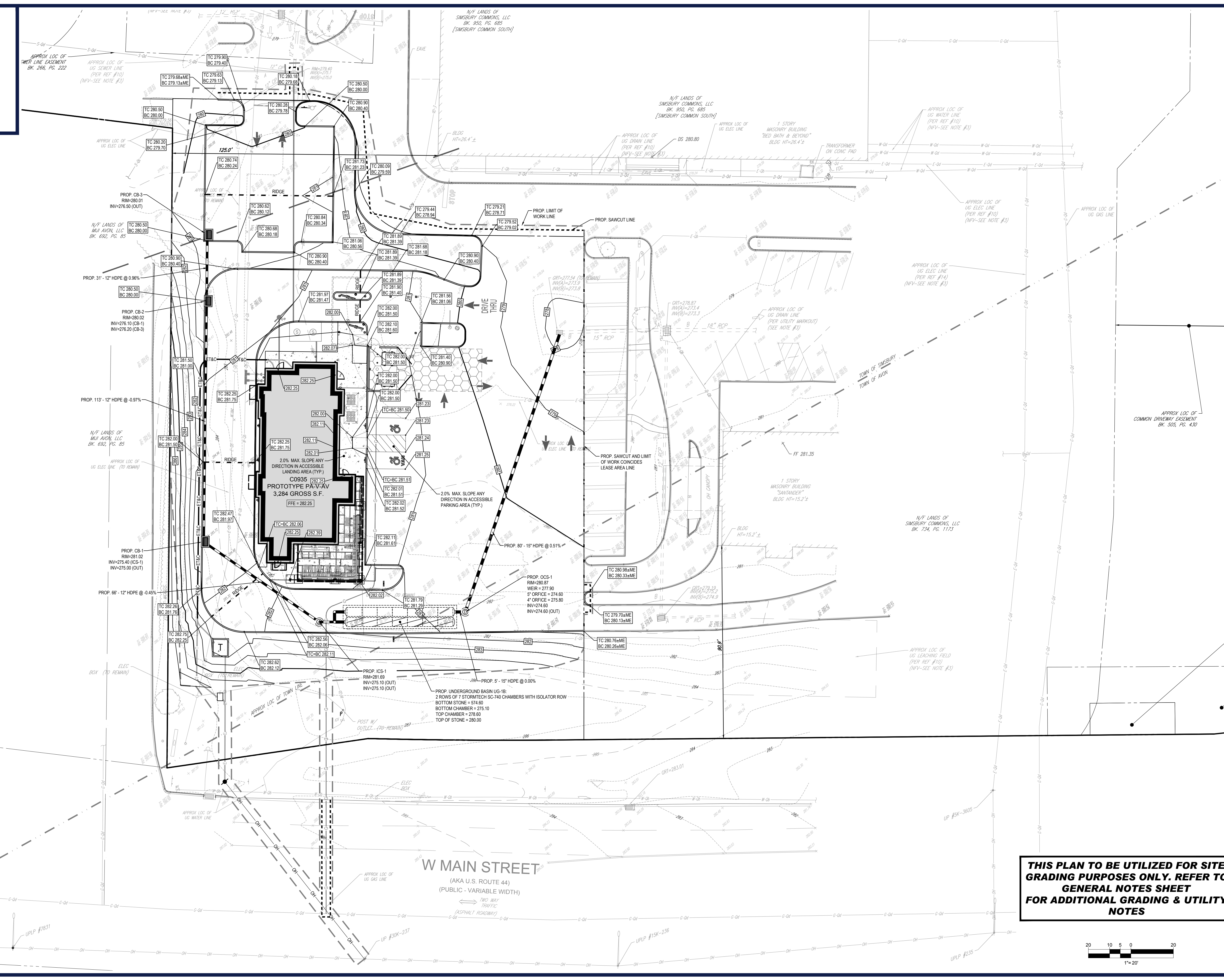
SHEET REVISIONS: (Sheet Specific per Designer)

DATE:	DESCRIPTION:
1 05/16/2023	ZBA COMMENTS
2 06/08/2023	P & Z SUBMISSION

SHEET TITLE:  
**SITE LAYOUT PLAN**  
 DATE: 01/23/2022  
 PROJECT NUMBER: CTA220075.00  
 DRAWN BY: KMB  
 SHEET NUMBER:  
**C-301**

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PROTOTYPE UPDATE PHASE:  
UPDATE ISSUE DATE:  
PROJECT MANAGER: JGB

### PERMIT SET



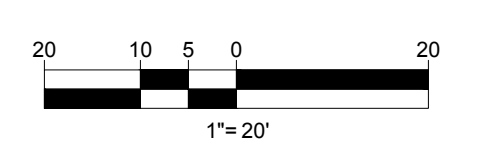
SHEET REVISIONS: (Sheet Specific per Designer)

DATE:	DESCRIPTION:
05/16/2023	ZBA COMMENTS
06/08/2023	P & Z SUBMISSION

SHEET TITLE:  
**GRADING & DRAINAGE PLAN**  
DATE: 01/23/2022  
PROJECT NUMBER: CTA220075.00  
DRAWN BY: KMB

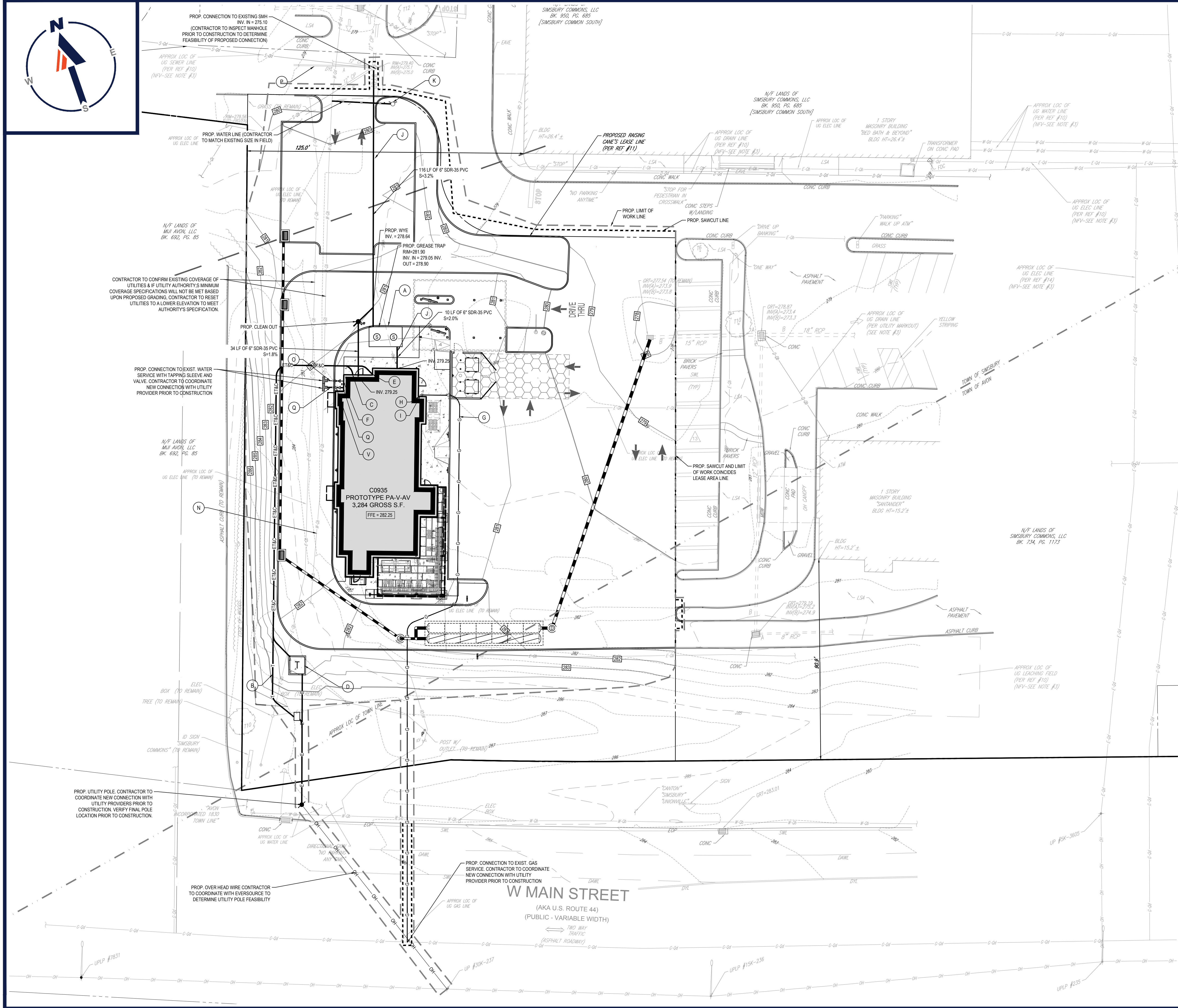
SHEET NUMBER:  
**C-401**

**THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES**



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**LEGEND**

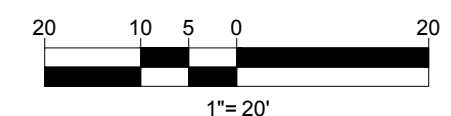
- PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- PROPOSED UNDERGROUND SANITARY SEWER LINE
- PROPOSED UNDERGROUND WATER LINE
- PROPOSED UNDERGROUND GAS LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED UNDERGROUND TELEPHONE LINE
- PROPOSED STORM DRAINAGE PIPE
- - - EXISTING STORM DRAINAGE PIPE
- - - EXISTING OVERHEAD POWER LINE
- - - EXISTING GAS LINE
- - - EXISTING WATER LINE
- - - EXISTING SANITARY SEWER LINE
- - - EXISTING ELECTRIC LINE
- - - EXISTING TELEPHONE LINE
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED WATER METER
- ⊙ PROPOSED WATER VALVE
- ⊙ PROPOSED TEE
- ⊙ PROPOSED BEND
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING SIGN

**UTILITY KEYNOTE LEGEND**

- (A) PROP. 1500 GALLON GREASE TRAP LOCATION. REFERENCE ARCHITECTURAL / MEP PLANS.
- (B) INSTALL 4" PVC CONDUIT FOR TELEPHONE AND 3" PVC CONDUIT FOR INTERNET.
- (C) PROP. TELEPHONE AND INTERNET ENTRY. REFERENCE ARCHITECTURAL PLANS FOR CONTINUATION.
- (D) APPROX. LOCATION OF PROP. NEW PAD MOUNTED TRANSFORMER WITH BOLLARDS PER UTILITY PROVIDER REQUIREMENTS.
- (E) PROP. ELECTRIC SERVICE ENTRY WITH METER. REFERENCE ARCHITECTURAL PLANS FOR CONTINUATION.
- (F) PROP. 2" DOMESTIC WATER ENTRY WITH CURB STOP. REFERENCE MEP PLANS FOR CONTINUATION.
- (G) PROP. GAS SERVICE LINE. REFER TO MEP FOR SIZE.
- (H) APPROX. LOCATION OF PROP. GAS METER W/ BOLLARD.
- (I) PROP. GAS ENTRY. REFERENCE ARCHITECTURAL PLANS FOR CONTINUATION.
- (J) PROP. 6" SDR-35 SANITARY SEWER PIPE.
- (K) PROP. RELOCATION OF EXISTING FIRE HYDRANT (TYP. OF 2).
- (L) PROP. 10 LF OF 4" CAST IRON PIPE AT 2% SLOPE FROM BUILDING.
- (M) PROP. 10 LF OF 6" CAST IRON PIPE AT 2% SLOPE FROM BUILDING.
- (N) APPROX. LOCATION OF EXISTING WATER SERVICE. FINAL LOCATION TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- (O) PROP. 2" DIA. TYPE K COPPER WATER SERVICE.
- (P) APPROX. LOCATION OF EXISTING SEWER PIPE (V.I.F.).
- (Q) PROP. 6" WATER ENTRY WITH CURB STOP. REFERENCE MEP PLANS FOR CONTINUATION.
- (R) PROP. 6" DIA. CLDI WATER SERVICE. GC SHALL COORDINATE CONNECTION WITH UTILITY PROVIDER PRIOR TO CONSTRUCTION.
- (S) PROP. 3", 1" AND 3" ELECTRICAL CONDUITS TO TRASH ENCLOSURE. REFERENCE ARCHITECTURAL PLANS FOR CONTINUATION.
- (T) PROP. 1" HD WATER LINE TO TRASH ENCLOSURE. REFERENCE MEP PLANS FOR CONTINUATION.
- (U) PROP. ELECTRICAL SWITCHGEAR.
- (V) PROP. FIRE DEPARTMENT CONNECTION (REFER TO ARCH PLANS).

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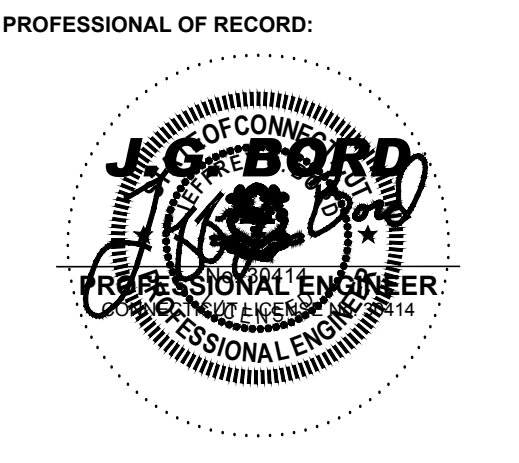
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PROTOTYPE UPDATE PHASE:  
UPDATE ISSUE DATE:  
PROJECT MANAGER: **JOB**

**PERMIT SET**



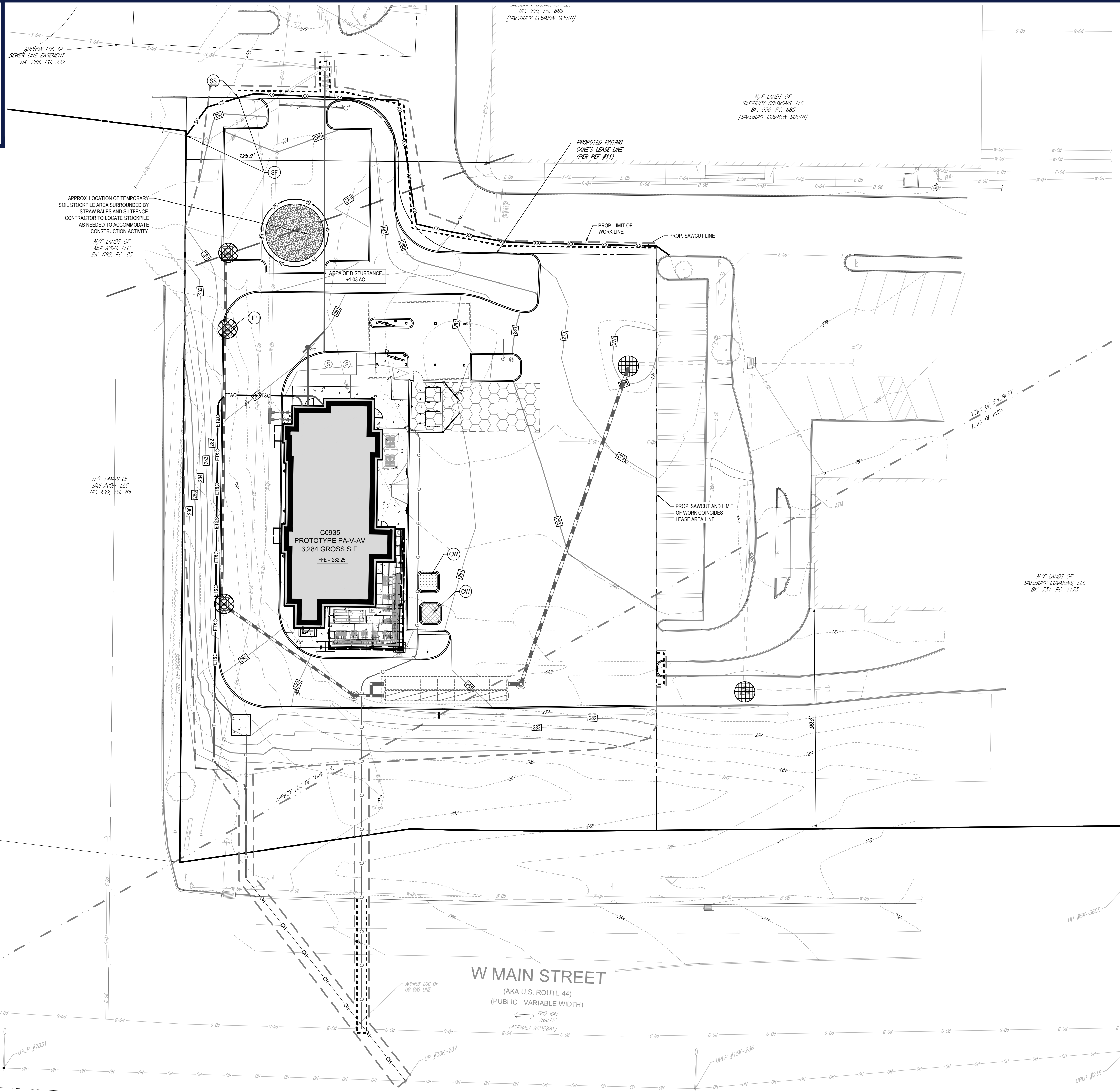
SHEET REVISIONS: (Sheet Specific per Designer)

DATE:	DESCRIPTION:
05/16/2023	ZBA COMMENTS
06/08/2023	P & Z SUBMISSION

SHEET TITLE:  
**UTILITY PLAN**  
DATE: 01/23/2022  
PROJECT NUMBER: CTA220075.00  
DRAWN BY: **KMB**  
SHEET NUMBER:  
**C-501**

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**LEGEND**

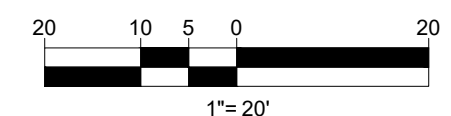
- PROPERTY LINE
- - - 15 - - - EXISTING CONTOUR
- - - APPROXIMATE LIMIT OF DISTURBANCE
- SF SILT FENCE
- SS COMPOST FILTER SOCK
- IP PROPOSED GRATE INLET PROTECTION SEE DETAIL SHEET.
- CW CONCRETE WASHOUT
- ST MATERIALS AND WASTE STORAGE AREA

**THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY**

**REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS**

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PROTOTYPE ISSUE DATE: \_\_\_\_\_

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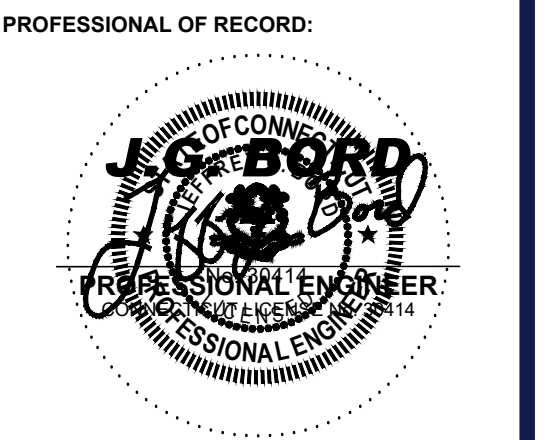
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PROTOTYPE UPDATE PHASE: \_\_\_\_\_

UPDATE ISSUE DATE: \_\_\_\_\_

PROJECT MANAGER: \_\_\_\_\_ JGB

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DATE:	DESCRIPTION:
05/16/2023	ZBA COMMENTS
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DATE:	DESCRIPTION:
01/23/2022	

SHEET TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

DATE: 01/23/2022

PROJECT NUMBER: CTA220075.00

DRAWN BY: KMB

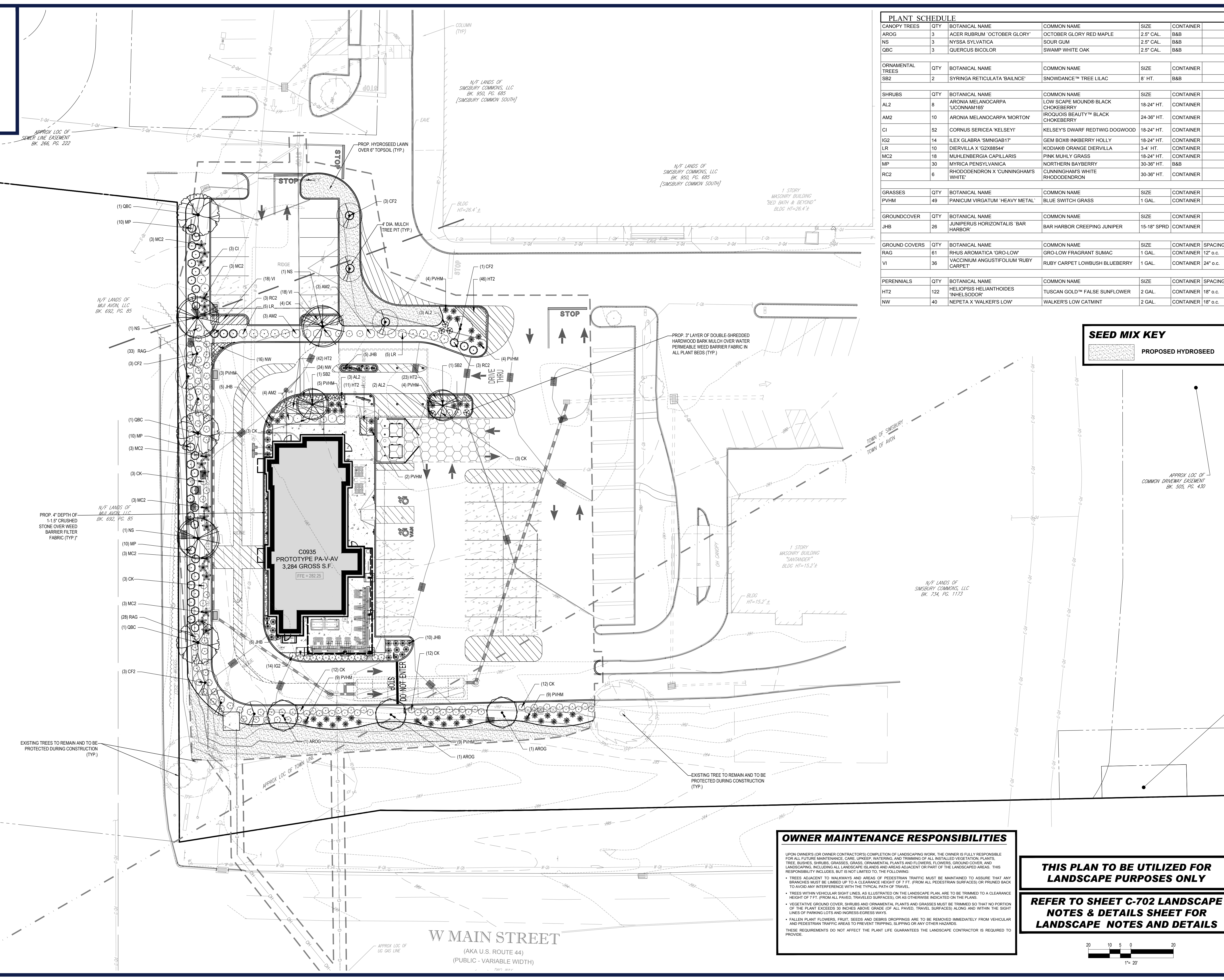
SHEET NUMBER:  
**C-601**

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PLANT SCHEDULE						
CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
AROG	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5' CAL.	B&B	
NS	3	NYSSA SYLVATICA	SOUR GUM	2.5' CAL.	B&B	
QBC	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5' CAL.	B&B	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
SB2	2	SYRINGA RETICULATA 'BALANCE'	SNOWDANCE™ TREE LILAC	8' HT.	B&B	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
AL2	8	ARONIA MELANOCARPA 'UCONNAMI85'	LOW SCAPE MOUND® BLACK CHOKEBERRY	18-24" HT.	CONTAINER	
AM2	10	ARONIA MELANOCARPA 'MORTON'	IRROUJUS BEAUTY™ BLACK CHOKEBERRY	24-36" HT.	CONTAINER	
CI	52	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF REDTWIG DOGWOOD	18-24" HT.	CONTAINER	
IG2	14	ILEX GLABRA 'SMNIGAB17'	GEM BOX® INKBERRY HOLLY	18-24" HT.	CONTAINER	
LR	10	DIERVILLA X 'G2X88544'	KODIAK® ORANGE DIERVILLA	3-4' HT.	CONTAINER	
MC2	18	MULLENBERGIA CAPILLARIS	PINK MURPHY GRASS	18-24" HT.	CONTAINER	
MP	30	MYRTICA PENNSYLVANICA	NORTHERN BAYBERRY	30-36" HT.	B&B	
RC2	6	RHOODODENDRON X 'CUNNINGHAM'S WHITE'	CUNNINGHAM'S WHITE RHOODODENDRON	30-36" HT.	CONTAINER	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
PVHM	49	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL.	CONTAINER	
GROUND COVER	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
JHB	26	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD	CONTAINER	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
RAG	61	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	1 GAL.	CONTAINER	12" o.c.
VI	36	VACCINIUM ANGUSTIFOLIUM 'RUBY CARPET'	RUBY CARPET LOWBUSH BLUEBERRY	1 GAL.	CONTAINER	24" o.c.
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
HT2	122	HELIOPSIS HELIANTHOIDES 'INHELSDOR'	TUSCAN GOLD™ FALSE SUNFLOWER	2 GAL.	CONTAINER	18" o.c.
NW	40	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	2 GAL.	CONTAINER	18" o.c.

SEED MIX KEY	
	PROPOSED HYDROSEED



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 PROJECT MANAGER: JGB

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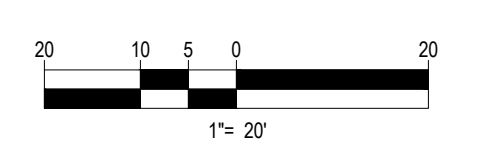
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DATE:	DESCRIPTION:
05/16/2023	ZBA COMMENTS
06/08/2023	P & Z SUBMISSION

SHEET TITLE:  
**LANDSCAPE PLAN**  
 DATE: 01/23/2022  
 PROJECT NUMBER: CTA220075.00  
 DRAWN BY: KMB  
 SHEET NUMBER: **C-701**

**OWNER MAINTENANCE RESPONSIBILITIES**  
 UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION: PLANTS, TREE BODIES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:  
 • TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.  
 • TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PAVED, TRAVEL SURFACES, OR AS OTHERWISE INDICATED ON THE PLANS.  
 • VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.  
 • FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.  
 THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**  
**REFER TO SHEET C-702 LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS**



**W MAIN STREET**  
 (AKA U.S. ROUTE 44)  
 (PUBLIC - VARIABLE WIDTH)

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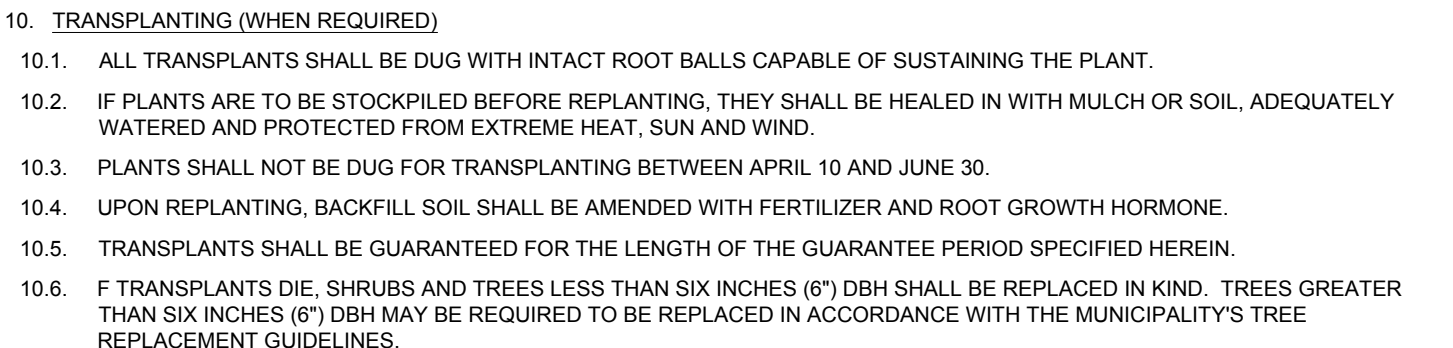
**LANDSCAPE SPECIFICATIONS**

- SCOPE OF WORK
  - THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS & EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- MATERIALS
  - GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
  - TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
  - LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN
    - LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
    - SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE-FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
  - MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.
  - FERTILIZER
    - FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
    - FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
  - PLANT MATERIAL
    - ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
    - IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
    - PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
    - TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
    - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
    - CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
    - SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
    - TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- GENERAL WORK PROCEDURES
  - CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
  - WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- SITE PREPARATIONS
  - BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
  - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
  - CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- TREE PROTECTION
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
  - A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISI-FENCE", OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
  - WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
  - AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- SOIL MODIFICATIONS
  - CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
  - LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
  - THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
    - TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
    - TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
    - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- FINISHED GRADING
  - UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
  - LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
  - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
  - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- TOPSOILING
  - CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
  - ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
  - ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):
    - 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER
    - 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
  - THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
- PLANTING
  - INSOFARE THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
  - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

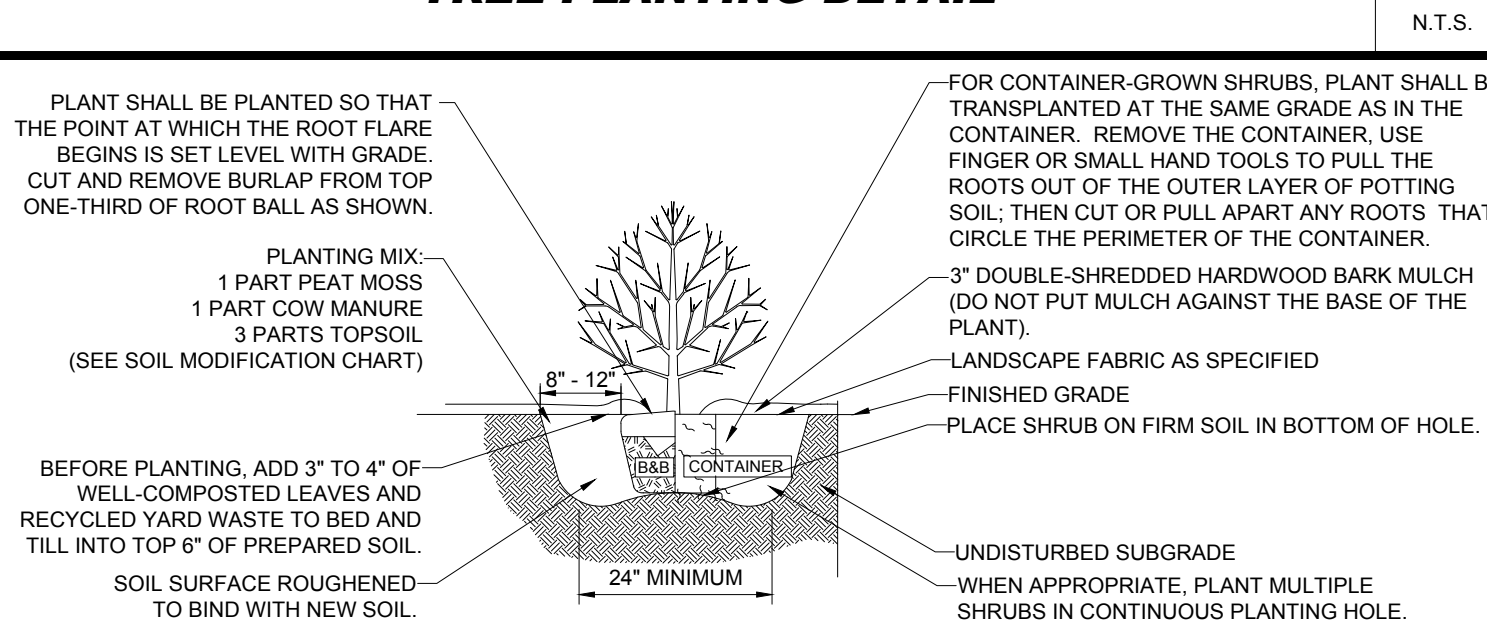
- ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
- POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
  - PLANTS: MARCH 15 TO DECEMBER 15
  - LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
- FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
 

ACER RUBRUM	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PYRUS VARIETIES
KOELREUTERIA	QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA	TILIA TOMENTOSA
LIRIODENDRON TULIPEFERA	ZELKOVA VARIETIES
- PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
  - 1 PART PEAT MOSS
  - 1 PART COMPOSTED COW MANURE BY VOLUME
  - 3 PARTS TOPSOIL BY VOLUME
  - 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
    - 2 TABLETS PER 1 GALLON PLANT
    - 3 TABLETS PER 5 GALLON PLANT
    - 4 TABLETS PER 15 GALLON PLANT
    - LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
- FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
- ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
- ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
- GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
- NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
- ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

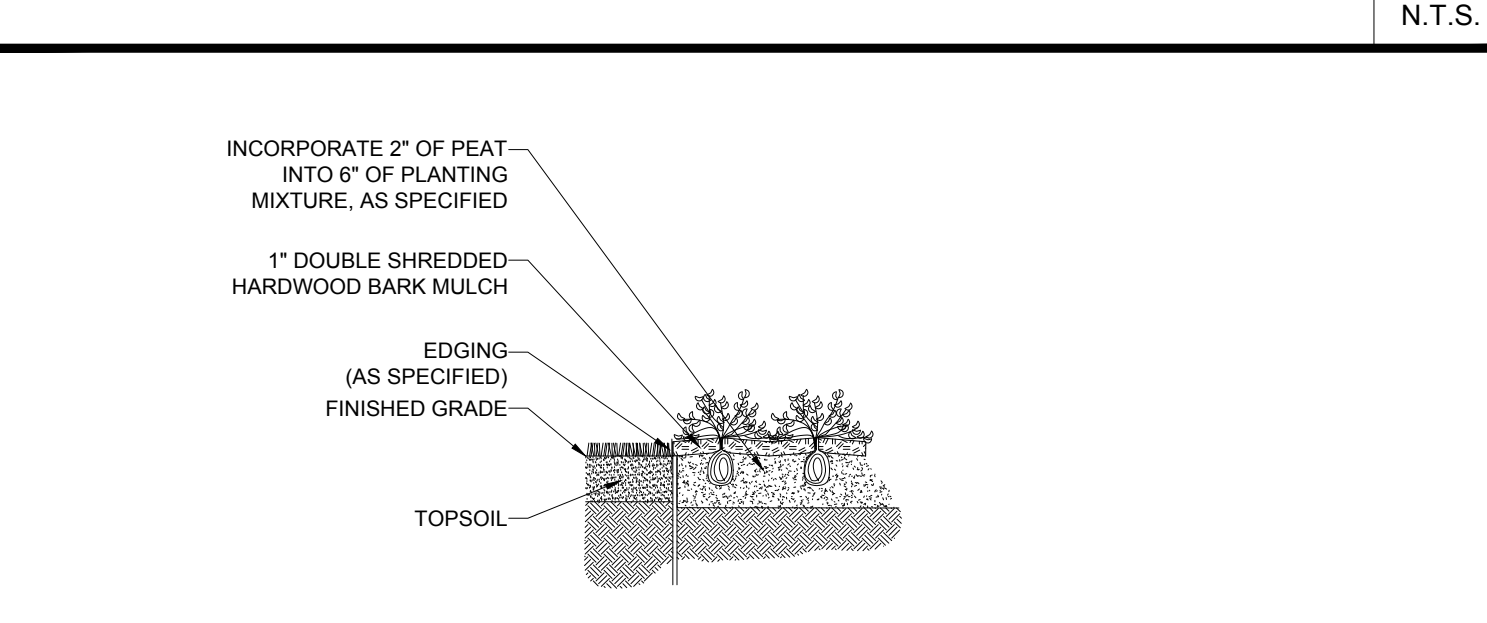
- TRANSPLANTING (WHEN REQUIRED)
  - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
  - IF PLANTS ARE TO BE STOCKPILED BEFORE PLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
  - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
  - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
  - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
  - TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
- WATERING
  - NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
  - SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
  - IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
- GUARANTEE
  - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
  - ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
  - TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
  - LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOVING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- CLEANUP
  - UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
  - THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- MAINTENANCE (ALTERNATIVE BID)
  - A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.



**TREE PLANTING DETAIL**



**SHRUB PLANTING DETAIL**

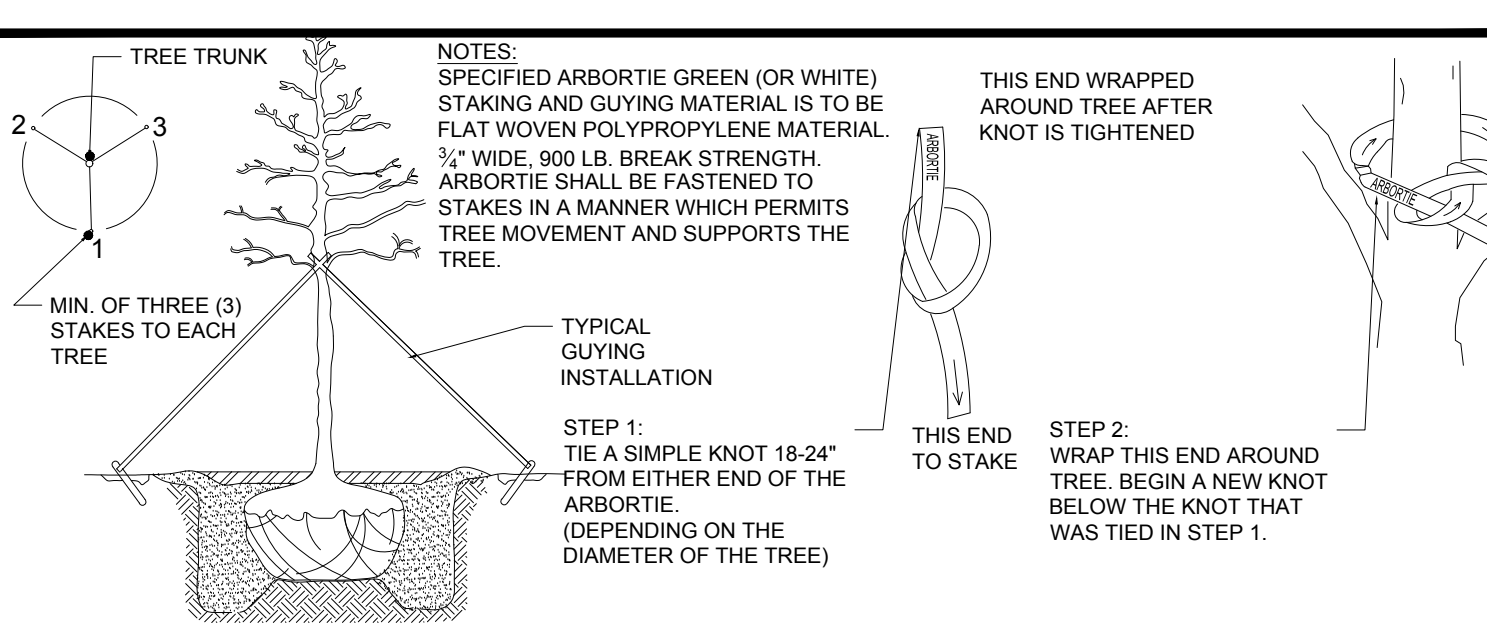


**GROUND COVER PLANTING**

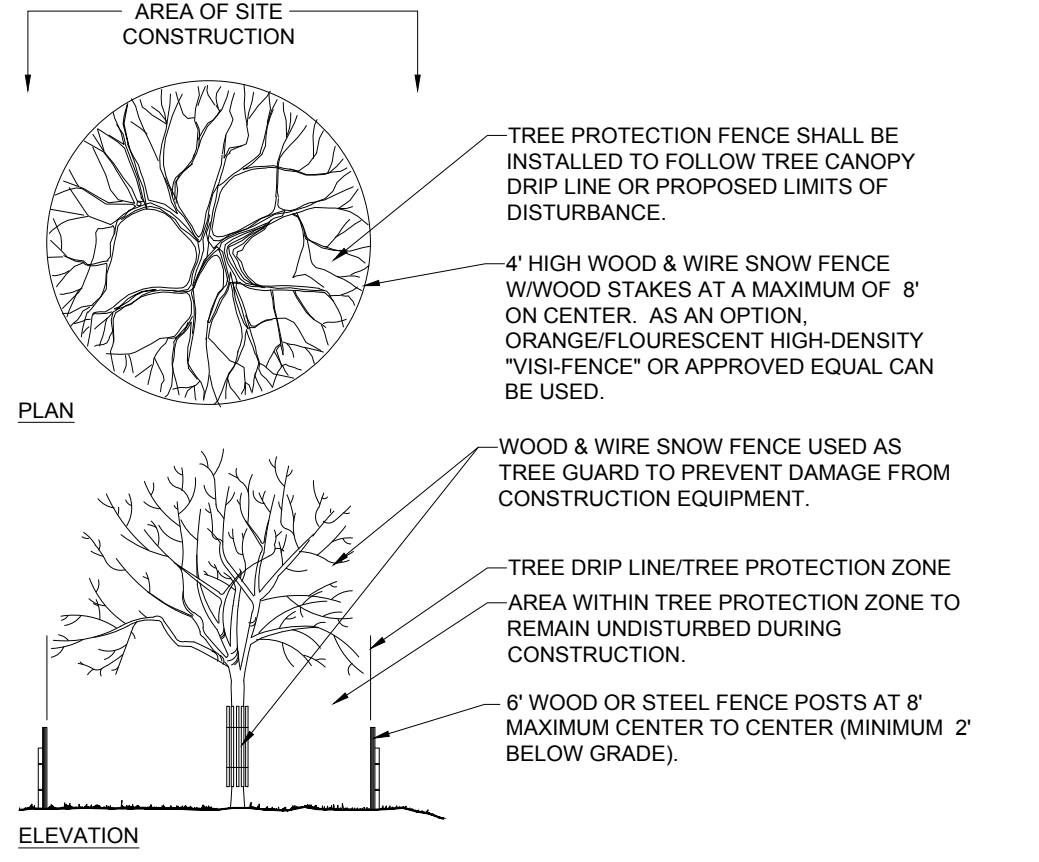
- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:
 

PERENNIAL RYEGRASS	1/2 LB/1000 SQ FT
KENTUCKY BLUEGRASS	1 LB/1000 SQ FT
RED FESCUE	1/2 LB/1000 SQ FT
SPREADING FESCUE	1/2 LB/1000 SQ FT
FERTILIZER (16.32.16)	2 LB/1000 SQ FT
LIQUID LIME	1 GAL/800 GAL
TANK TACKIFIER	35 LB/800 GAL
TANK FIBER MULCH	30 LB/1000 SQ FT
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

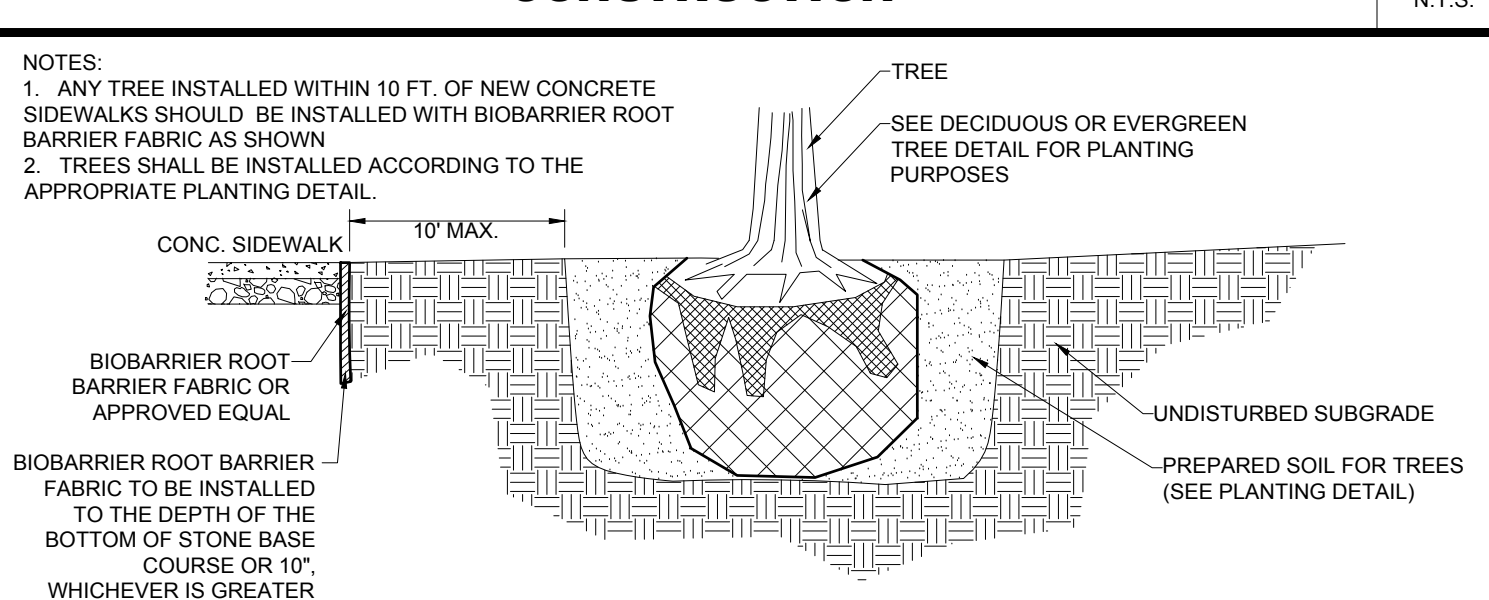
**HYDROSEED SPECIFICATIONS**



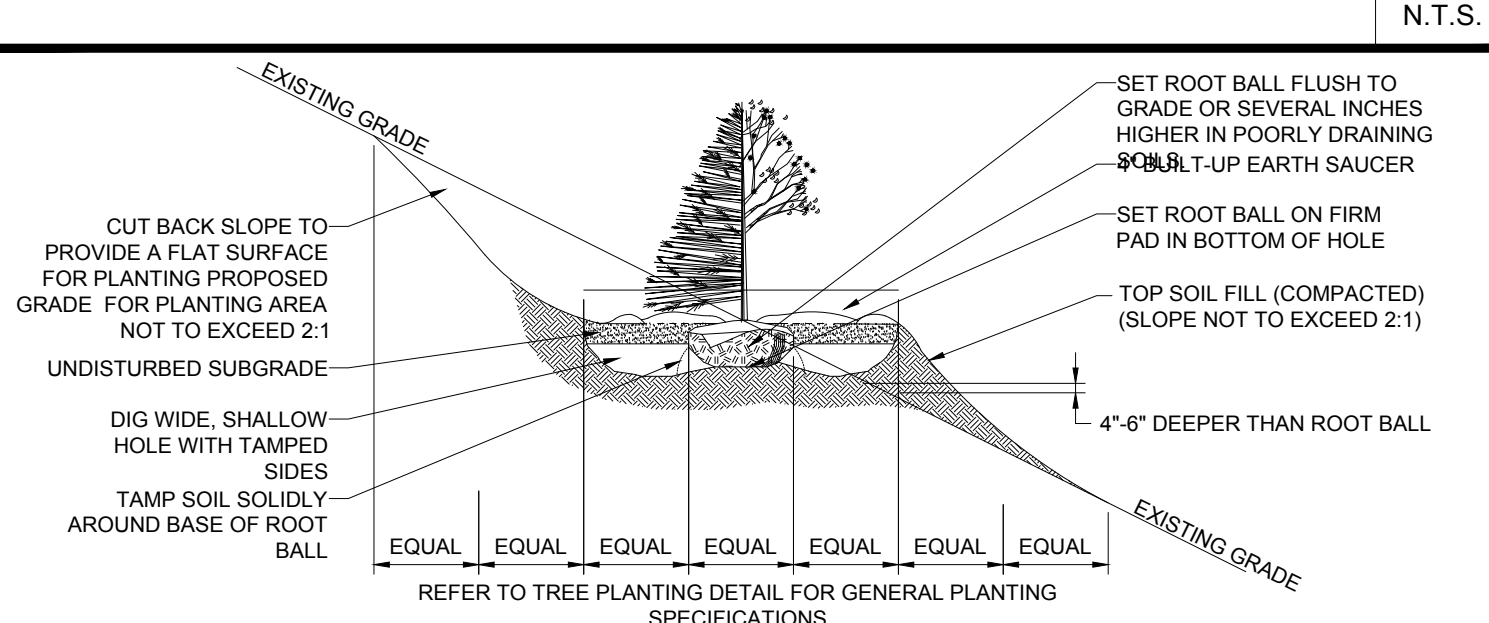
**ARBORVITAE STAKING DETAIL**



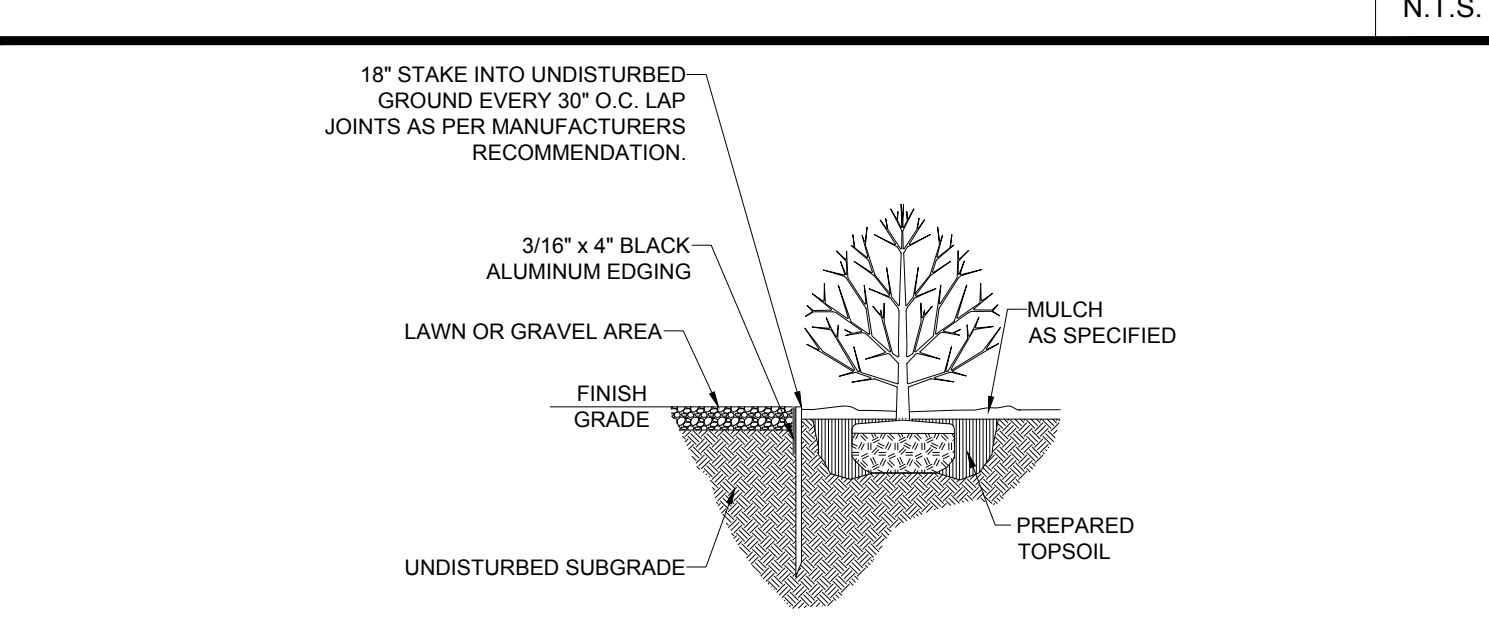
**TREE PROTECTION DURING SITE CONSTRUCTION**



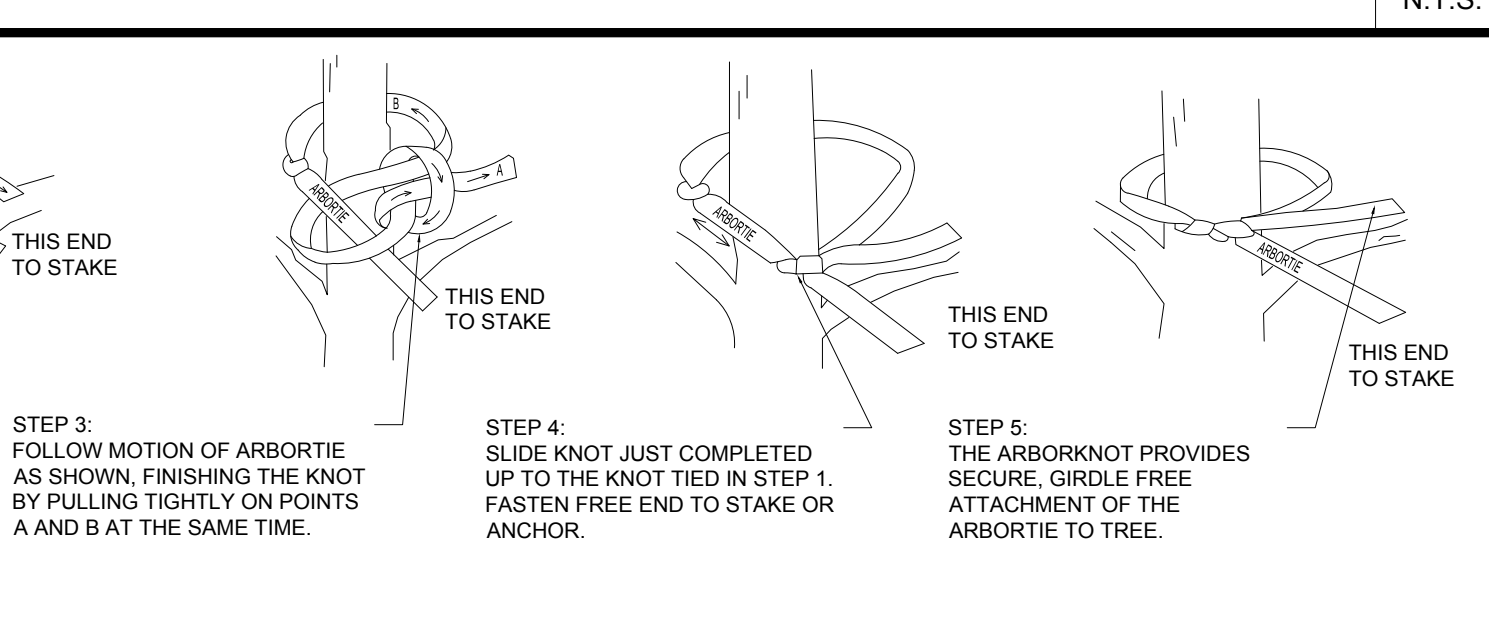
**BIOBARRIER ROOT BARRIER DETAIL**



**TREE PLANTING DETAIL - ON SLOPE**



**BLACK ALUMINUM EDGING**



**ARBORVITAE STAKING DETAIL**



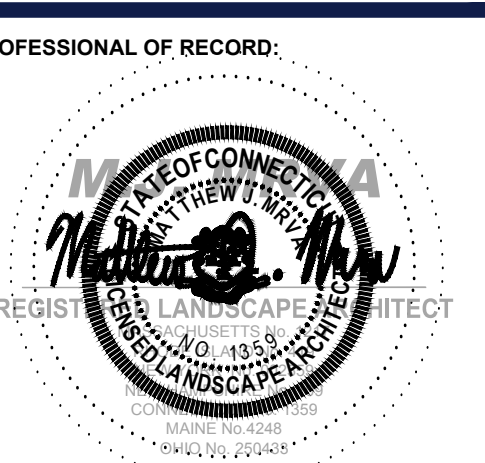
Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE: -  
STORE:  
**RAISING CANE'S RESTAURANT**  
530 BUSHY HILL ROAD  
SIMSBURY, CT  
Prototype P4-V-AV  
RESTAURANT #C0935

DESIGNERS INFORMATION:  
**BOHLER**  
65 LaSALLE ROAD, SUITE 401  
WEST HARTFORD, CT 06107  
Phone: (860) 333-8900  
www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE: -  
UPDATE ISSUE DATE: -  
PROJECT MANAGER: JGB

**PERMIT SET**



SHEET REVISIONS: (Sheet Specific per Designer)

DATE:	DESCRIPTION:
05/16/2023	ZBA COMMENTS
06/08/2023	P & Z SUBMISSION

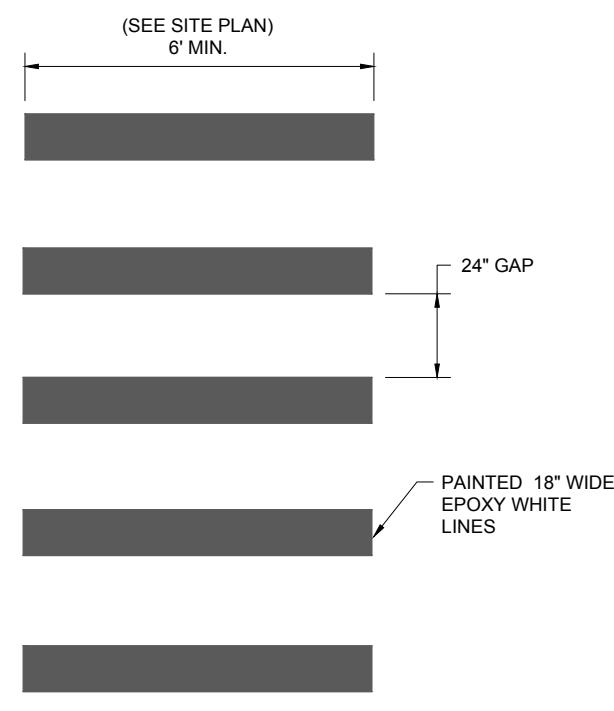
**LANDSCAPE NOTES AND DETAILS**

DATE: 01/23/2022  
PROJECT NUMBER: CTA22007.00  
DRAWN BY: KMB

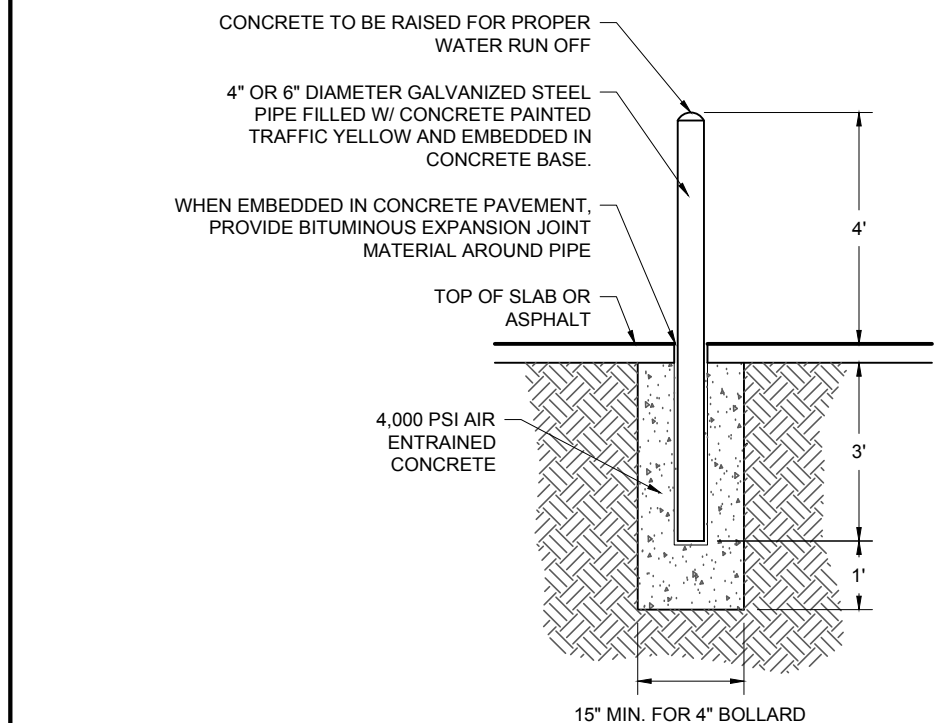
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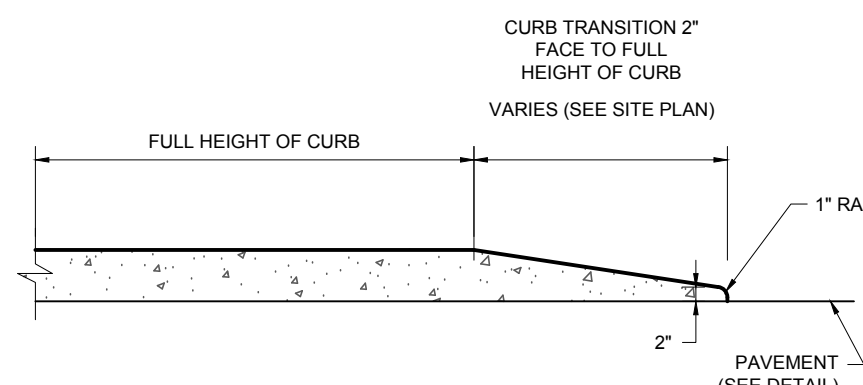




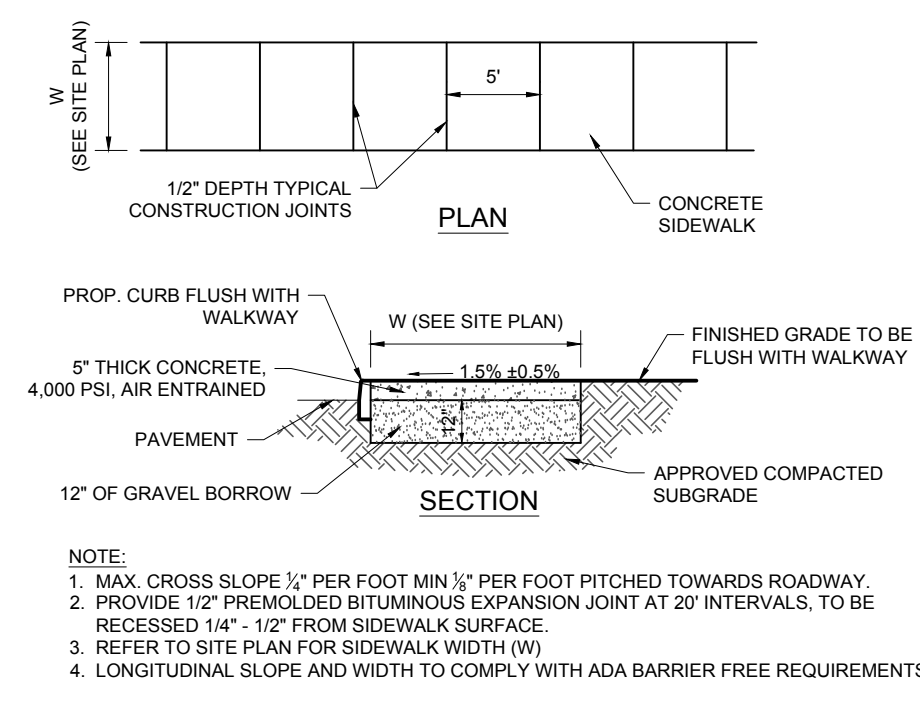
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NOT TO SCALE



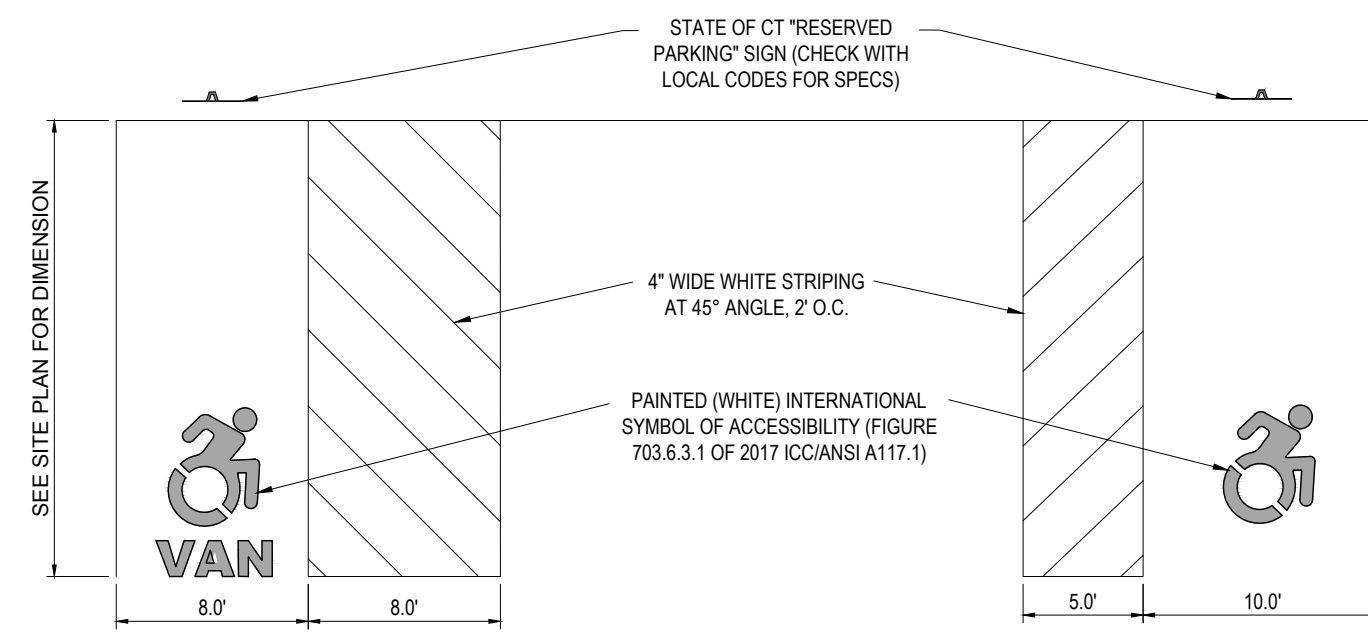
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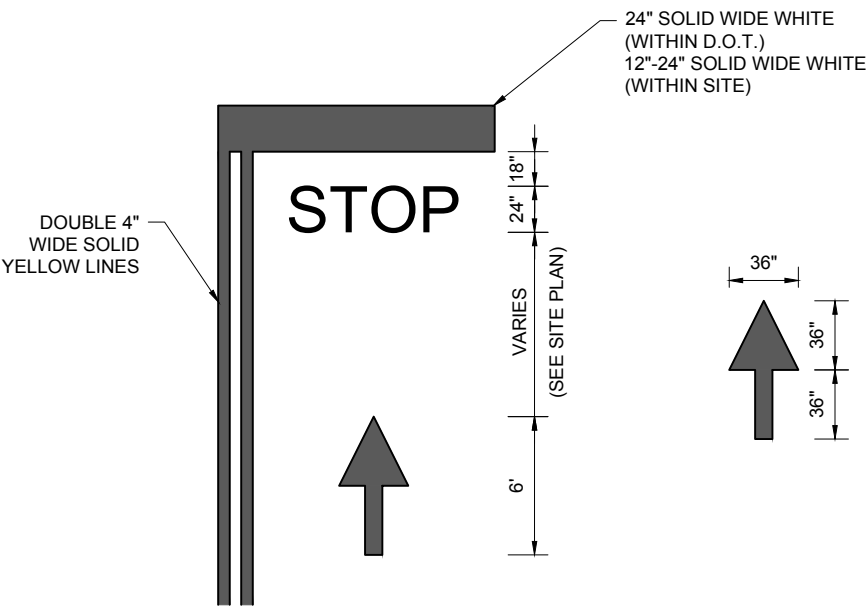
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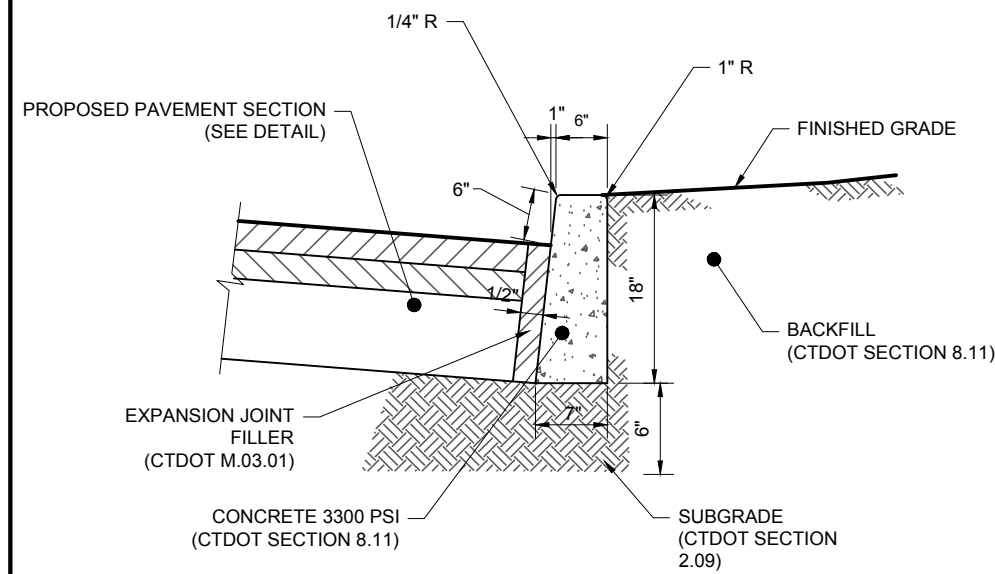
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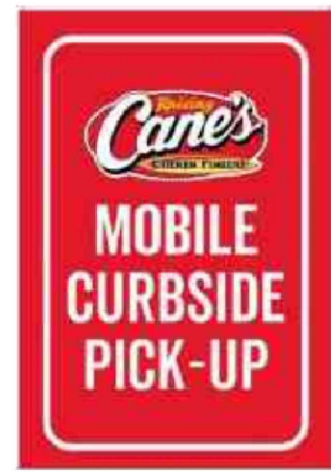
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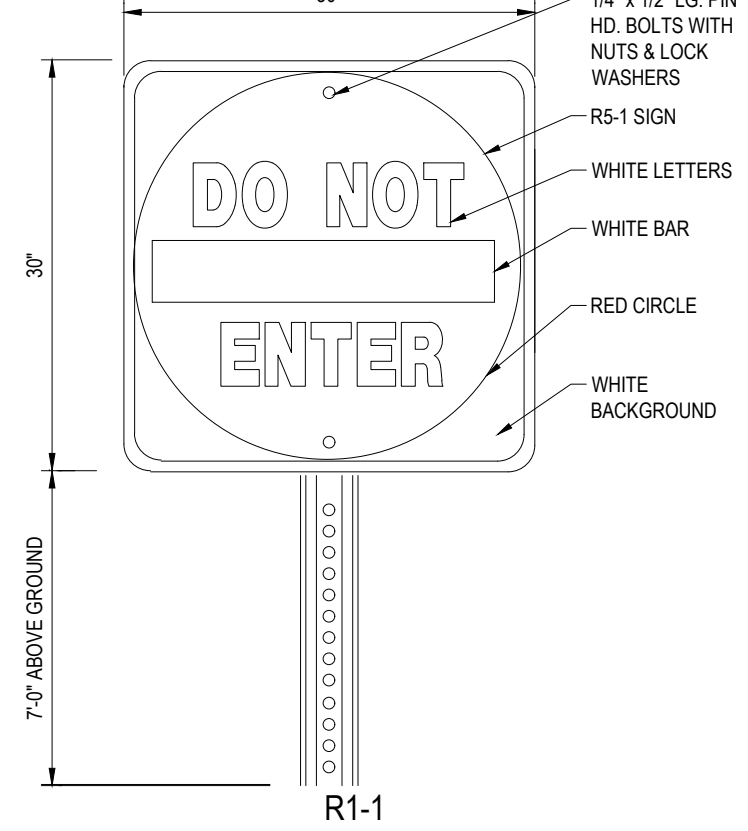
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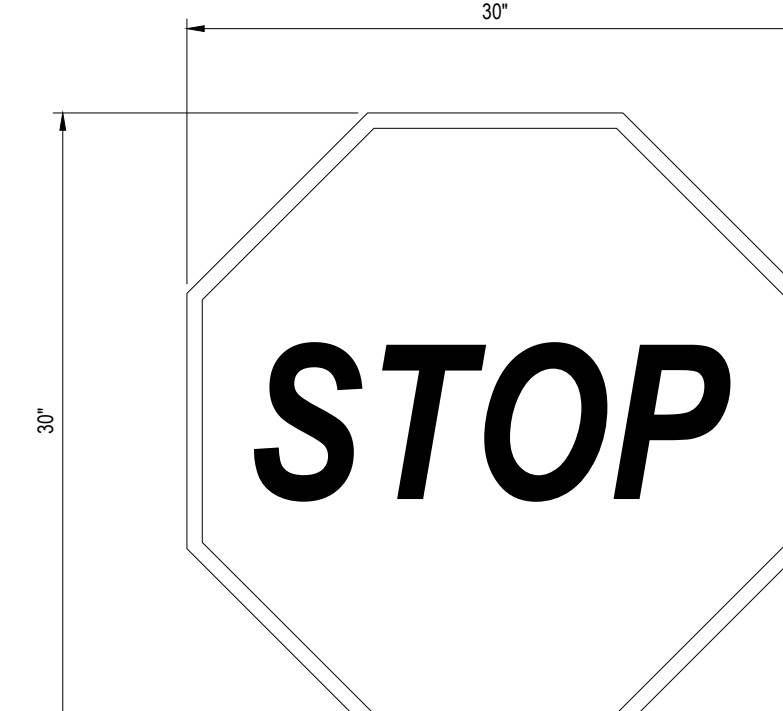
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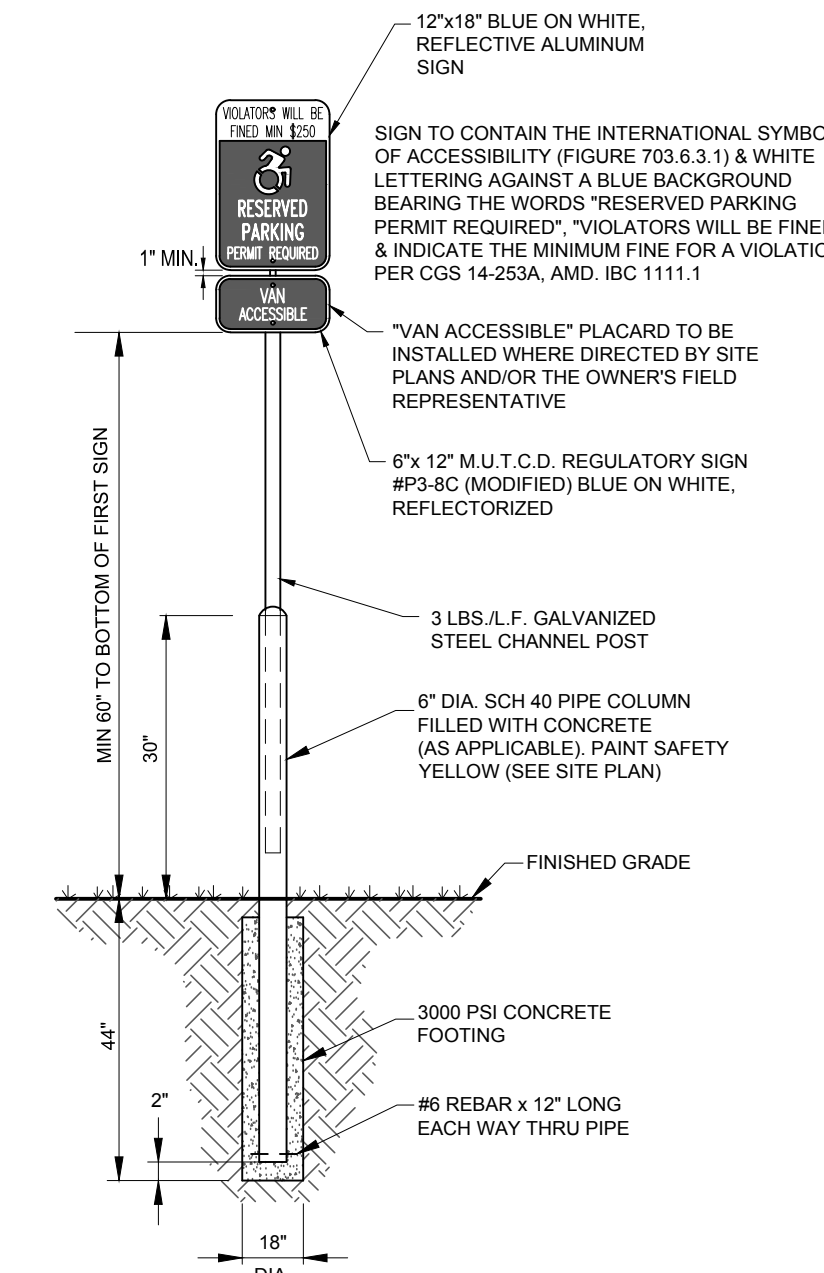
**'RAISING CANE'S' MOBILE CURBSIDE PICK-UP SIGN**  
NOT TO SCALE



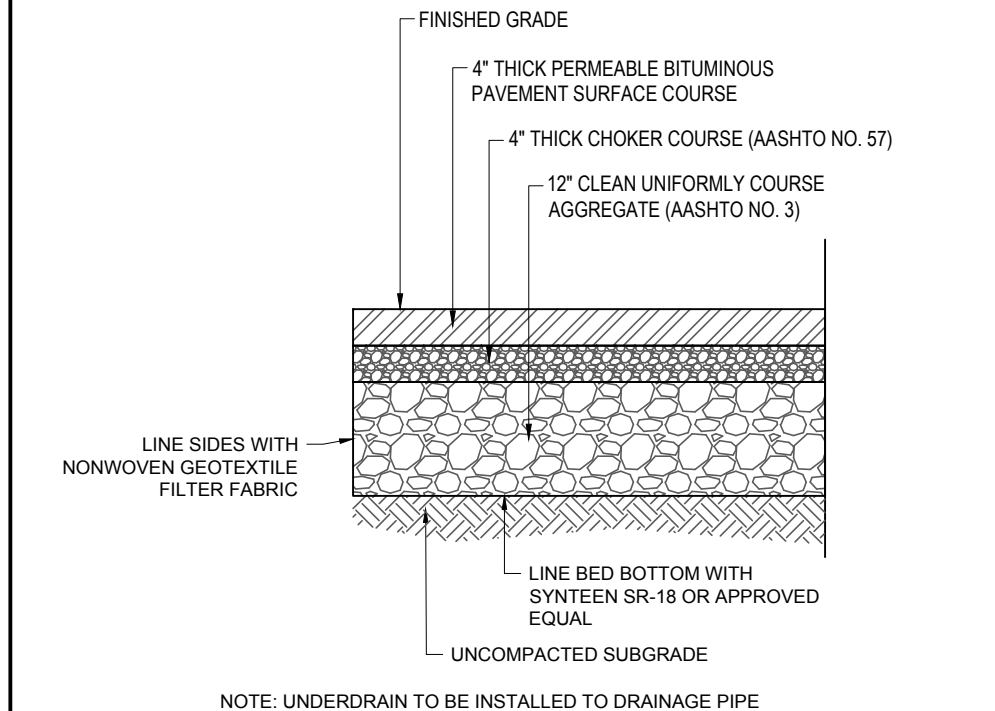
**'DO NOT ENTER' SIGN**  
NOT TO SCALE



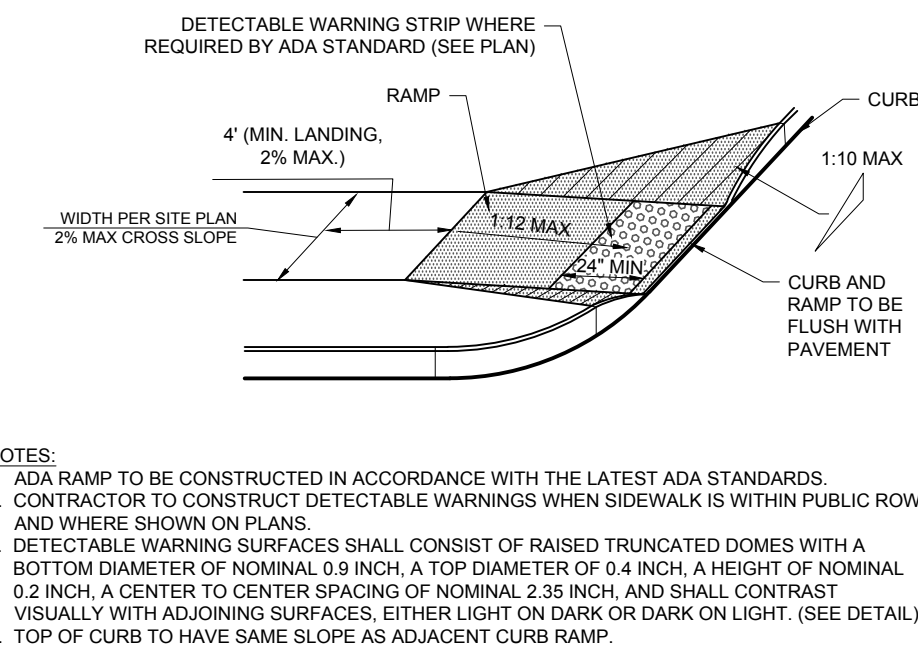
**'STOP' SIGN**  
NOT TO SCALE



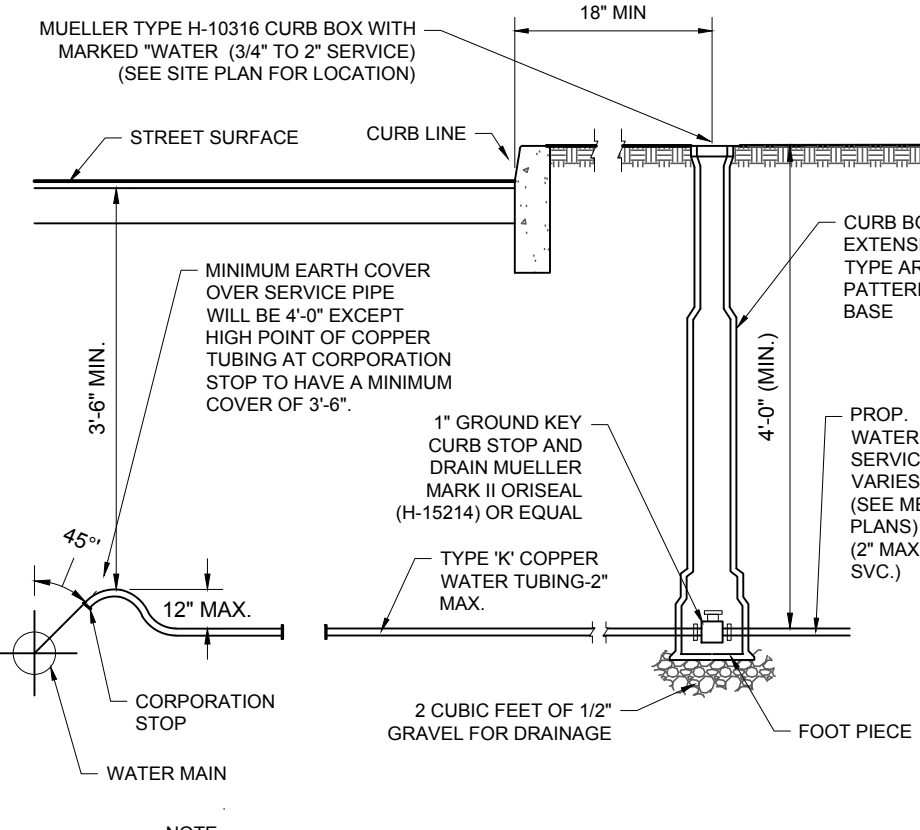
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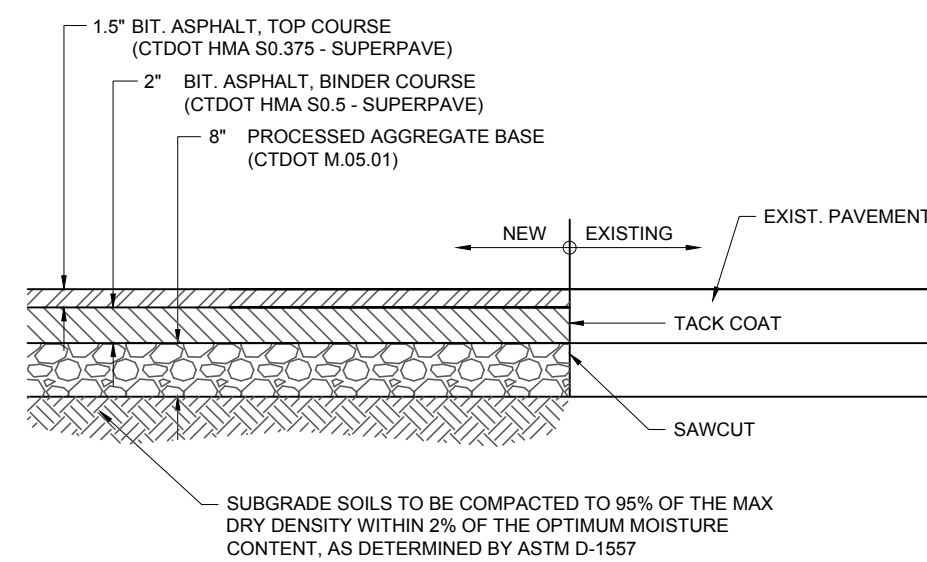
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NOT TO SCALE



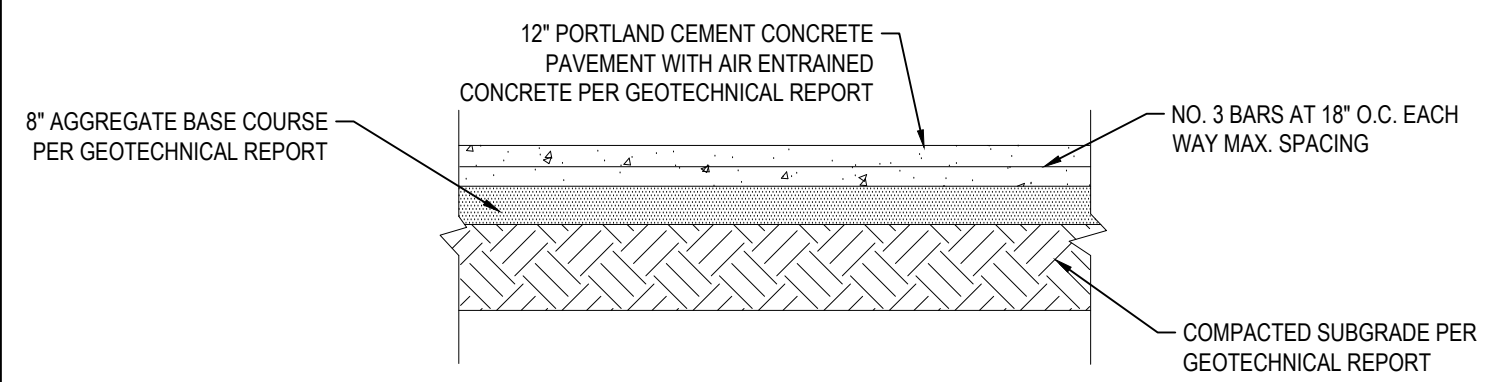
**ADA CURB RAMP DETAIL**  
NOT TO SCALE



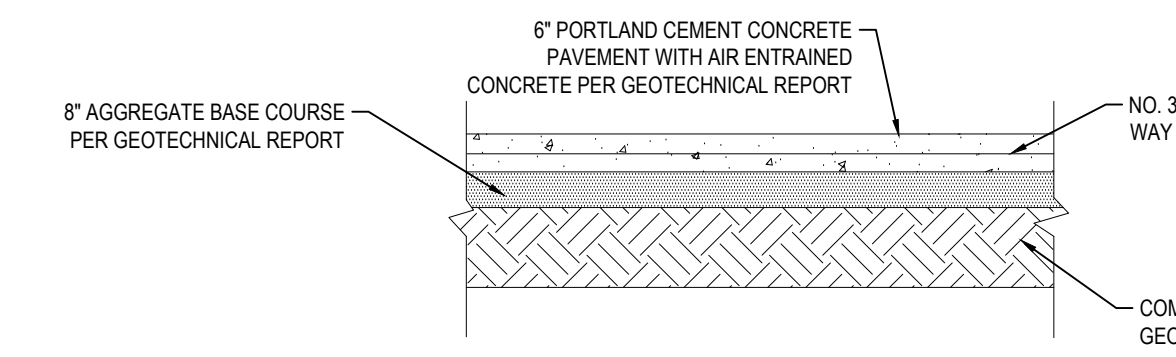
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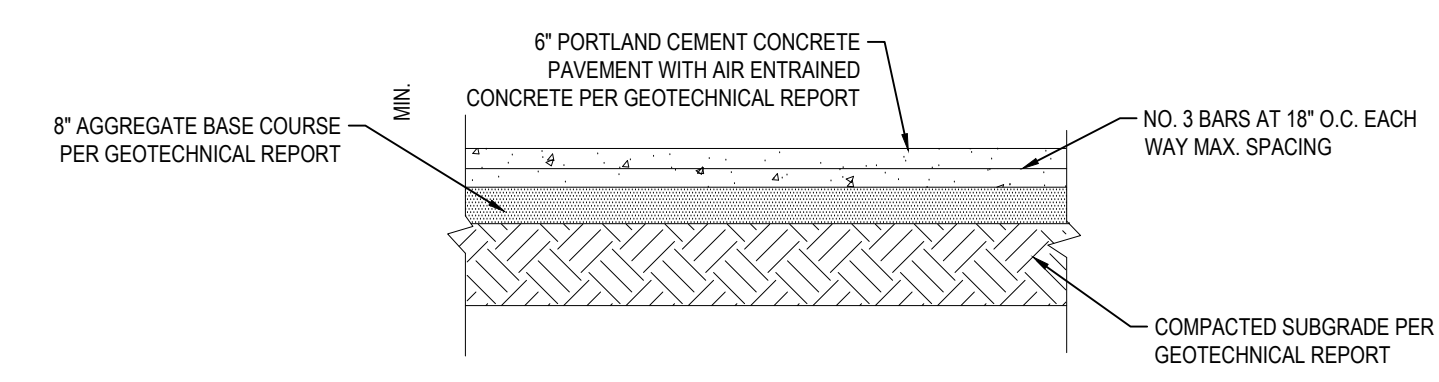
**STANDARD PAVING DETAIL**  
NOT TO SCALE



**HEAVY DUTY (DUMPSTER PAD) CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



**MEDIUM DUTY CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



**STANDARD DUTY CONCRETE PAVEMENT SECTION**



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE:

STORE:  
**RAISING CANE'S RESTAURANT**  
530 BUSHY HILL ROAD  
SIMSBURY, CT  
Prototype P4-V-AV  
RESTAURANT #C0935

DESIGNERS INFORMATION:

**BOHLER**  
65 LaSalle Road, Suite 401  
West Hartford, CT 06107  
Phone: (860) 333-8900  
www.BohlerEngineering.com

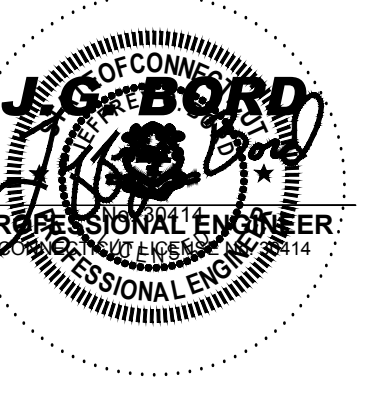
PROTOTYPE UPDATE PHASE:

UPDATE ISSUE DATE:

PROJECT MANAGER: **JOB**

**PERMIT SET**

PROFESSIONAL OF RECORD:



SHEET REVISIONS: (Sheet Specific per Designer)

DATE:	DESCRIPTION:
05/16/2023	ZBA COMMENTS
06/08/2023	P & Z SUBMISSION

**DETAIL SHEET**

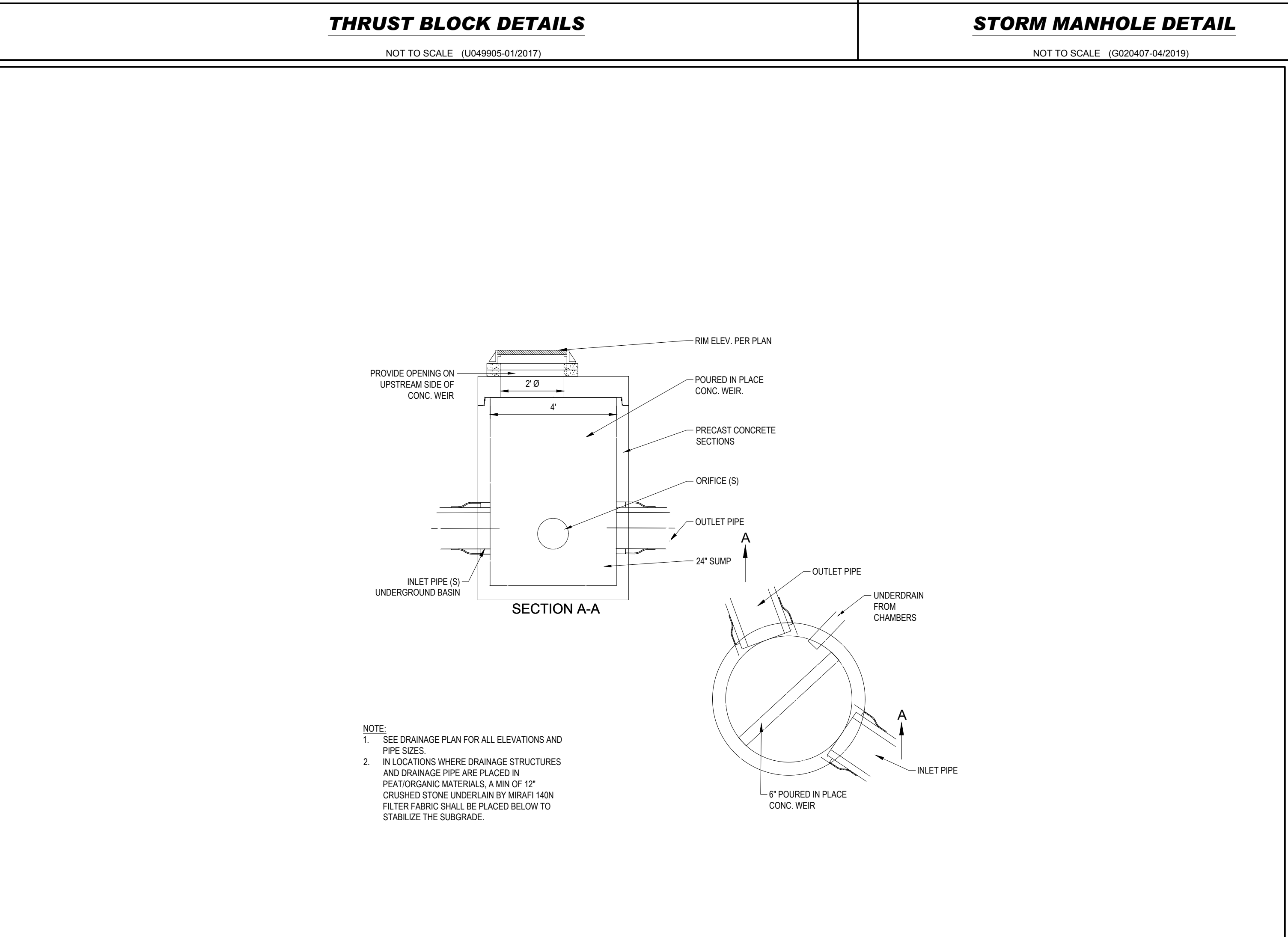
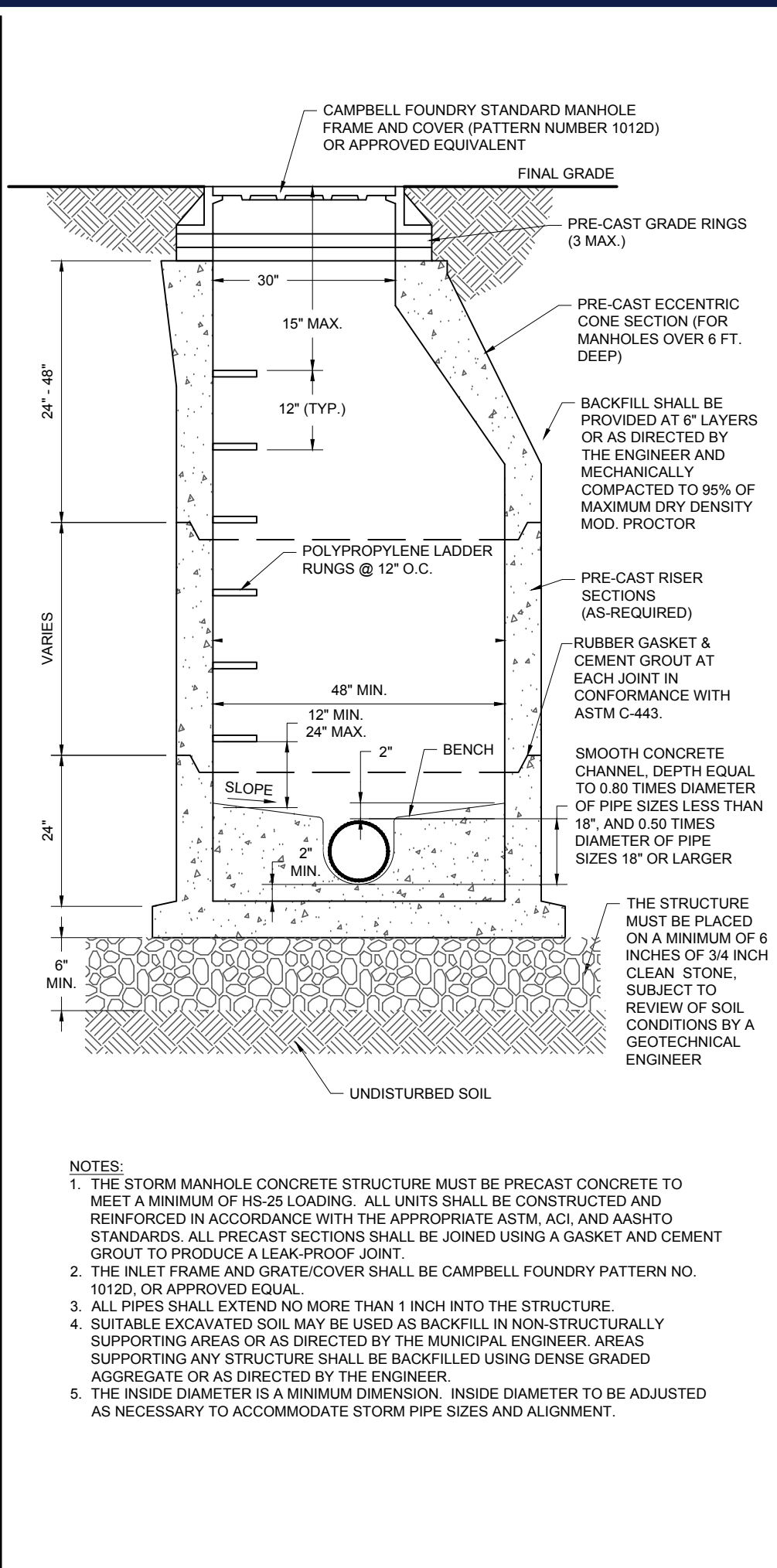
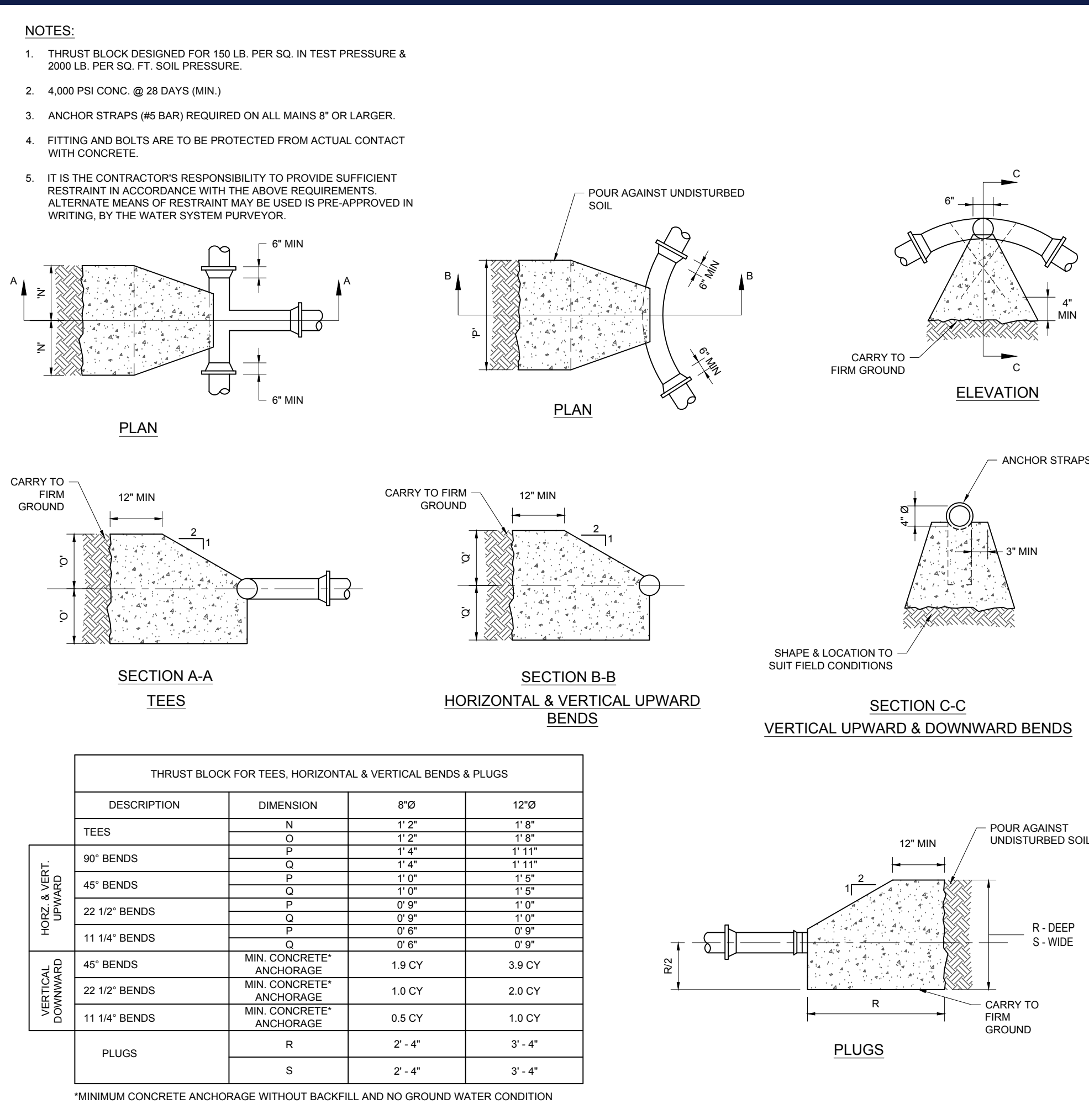
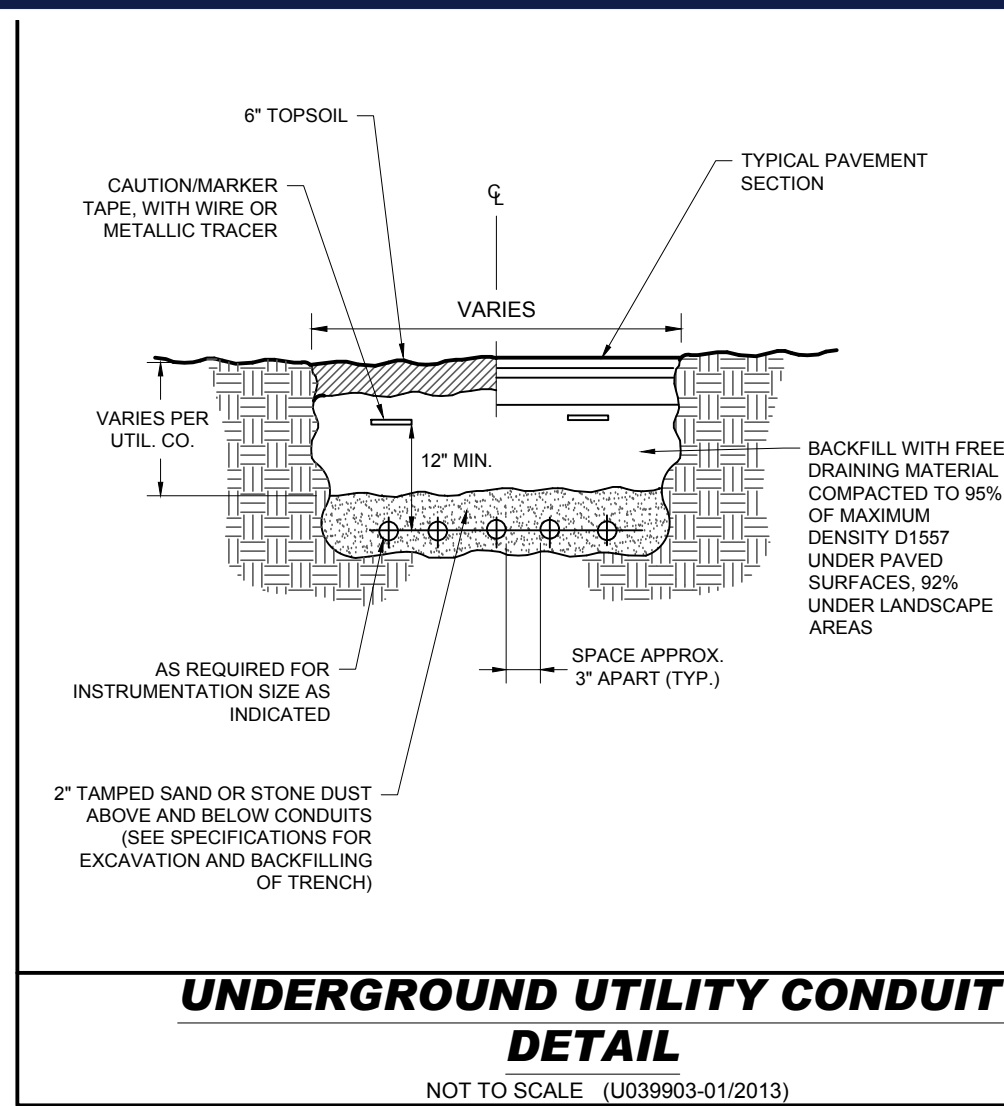
DATE: 01/23/2022

PROJECT NUMBER: CTA220075.00

DRAWN BY: KMB

SHEET NUMBER: **C-901**





Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE: \_\_\_\_\_

STORE: \_\_\_\_\_

**RAISING CANE'S RESTAURANT**  
530 BUSHY HILL ROAD  
SIMSBURY, CT  
Prototype P4-V-AV  
RESTAURANT #C0935

DESIGNERS INFORMATION: \_\_\_\_\_

**BOHLER**

65 LaSalle Road, Suite 401  
West Hartford, CT 06107  
Phone: (860) 333-8900  
www.BohlerEngineering.com

PROTOTYPE UPDATE PHASE: \_\_\_\_\_

UPDATE ISSUE DATE: \_\_\_\_\_

PROJECT MANAGER: \_\_\_\_\_ JOB

**PERMIT SET**

PROFESSIONAL OF RECORD:

SHEET REVISIONS: (Sheet Specific per Designer)

DATE:	DESCRIPTION:
05/16/2023	ZBA COMMENTS
06/08/2023	P & Z SUBMISSION

SHEET TITLE:  
**DETAIL SHEET**

DATE: 01/23/2022

PROJECT NUMBER: CTA220075.00

DRAWN BY: KMB

SHEET NUMBER:  
**C-902**

P:\2022\CTA220075\00CAD\DRAWINGS\PLAN SET\DWG\_SITE PLANS\CTA220075\_00\_DET\_0A.dwg LAYOUT: C-802



LEGAL DESCRIPTION

SIMSBURY COMMONS SOUTH

ALL THAT CERTAIN PIECE OR PARCEL OF LAND TOGETHER WITH THE BUILDINGS AND IMPROVEMENTS THEREON SITUATED IN THE TOWNS OF AVON AND SIMSBURY, COUNTY OF HARTFORD AND STATE OF CONNECTICUT, AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT AT THE SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED WHICH POINT IS ALSO THE SOUTHWEST CORNER OF LAND NOW OR FORMERLY OF WALDMAN ASSOCIATES, INC. PARTNER AND WHICH POINT IS IN THE NORTHERLY STREET LINE OF WEST MAIN STREET, ALSO KNOWN AS U.S. ROUTE 44, IN THE TOWN OF AVON, COUNTY OF HARTFORD, CONNECTICUT, SAID POINT OF BEGINNING IS LOCATED 72.06 FEET WHEN MEASURED N77°01'08"W FROM AN EXISTING CONNECTICUT HIGHWAY DEPARTMENT MERESTONE, SAID POINT ALSO BEING 28.45 FEET FROM A CONNECTICUT HIGHWAY DEPARTMENT MONUMENT POINT (NOT FOUND) WHEN MEASURED S77°01'08"E IN THE NORTHERLY STREET LINE OF WEST MAIN STREET;

THENCE, N77°01'08"W A DISTANCE OF 28.45 FEET TO A POINT;

THENCE, N71°18'45"W A DISTANCE OF 311.41 FEET TO A POINT OF CURVATURE;

THENCE, ALONG A CURVE TO THE RIGHT WHICH HAS A RADIUS OF 2,544.51 FEET AND A CENTRAL ANGLE OF 01°57'04" AN ARC LENGTH OF 86.66 FEET TO A POINT MARKED BY A CONNECTICUT HIGHWAY DEPARTMENT MERESTONE, SAID POINT ALSO LIES N70°20'14" W A DISTANCE OF 86.66 FEET FROM THE LAST COURSE HEREIN DESCRIBED;

THENCE, N79°05'17"W A DISTANCE OF 95.64 FEET TO A POINT AT THE SOUTHEAST CORNER OF LAND NOW OR FORMERLY OF MICHAEL A. FINE AND JAMES L. FINE, THE LAST FOUR COURSES BEING ALONG THE NORTHERLY STREET LINE OF WEST MAIN STREET;

THENCE, N19°42'13"E A DISTANCE OF 300.97 FEET TO A POINT AT THE NORTHEAST CORNER OF LAND NOW OR FORMERLY OF MICHAEL A. AND JAMES L. FINE;

THENCE, N63°50'59"W A DISTANCE OF 300.10 FEET ALONG LAND NOW OR FORMERLY OF MICHAEL A. AND JAMES L. FINE AND LAND NOW OR FORMERLY OF THE SHELL OIL COMPANY, PARTLY BY EACH TO THE POINT AT THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, SAID POINT ALSO LYING IN THE EASTERLY STREET LINE OF BUSHY HILL ROAD (CONNECTICUT ROUTE 167);

THENCE, N19°38'02"E A DISTANCE OF 379.21 FEET TO A CONNECTICUT HIGHWAY DEPARTMENT MERESTONE; THENCE, S70°23'12"E A DISTANCE OF 17.06 FEET TO A CONNECTICUT HIGHWAY DEPARTMENT MERESTONE;

THENCE, N19°37'54"E A DISTANCE OF 48.11 FEET TO A CONNECTICUT HIGHWAY DEPARTMENT MERESTONE MARKING A POINT OF CURVATURE;

THENCE, ALONG A CURVE TO THE RIGHT WHICH HAS A RADIUS OF 1,382.69 FEET AND A CENTRAL ANGLE OF 10°28'50" AN ARC LENGTH OF 252.92 FEET TO A POINT, SAID POINT BEING N24°52'31"E A DISTANCE OF 252.57 FEET FROM THE POINT OF CURVATURE, SAID POINT ALSO BEING THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED, THE LAST FOUR COURSES BEING ALONG THE EASTERLY STREET LINE OF BUSHY HILL ROAD;

THENCE, S70°07'37"E A DISTANCE OF 209.61 FEET ALONG THE SOUTHERLY LINE OF THE SIMSBURY COMMONS NORTH PARCEL DESCRIBED IN THAT CERTAIN WARRANTY DEED GIVEN BY SIMSBURY COMMONS NORTH (ESA), L.L.C. TO ESA & I&G SIMSBURY COMMONS LIMITED PARTNERSHIP, DATED THE DATE HEREOF AND RECORDED WITH THE SIMSBURY LAND RECORDS AND WITH THE AVON LAND RECORDS ON OR ABOUT THE DATE HEREOF (THE "SIMSBURY NORTH PARCEL") TO A POINT;

THENCE, N19°52'23"E A DISTANCE OF 62.08 FEET TO A POINT; THENCE, S70°12'53" E A DISTANCE OF 72.00 FEET TO A POINT; THENCE, S19°47'07"W A DISTANCE OF 48.00 FEET TO A POINT;

THENCE, S70°12'53"E A DISTANCE OF 630.46 FEET TO A POINT IN THE WESTERLY LINE OF LAND NOW OR FORMERLY OF STEVEN J. AND JULIE M. PETERSON, THE LAST FIVE COURSES BEING ALONG THE SOUTHERLY LINE OF THE SIMSBURY COMMONS NORTH PARCEL;

THENCE, S20°14'47"W ALONG LAND NOW OR FORMERLY OF STEVEN J. AND JULIE M. PETERSON A DISTANCE OF 280.08 FEET TO A POINT IN THE NORTHERLY LINE OF LAND NOW OR FORMERLY OF WALDMAN ASSOCIATES, INC. PARTNER;

THENCE, N73°48'27"W A DISTANCE OF 100.00 FEET TO A POINT;

THENCE, S 19°50'27"W A DISTANCE OF 472.39 FEET TO A POINT; THENCE, N70°09'33"W A DISTANCE OF 36.00 FEET TO A POINT;

THENCE, S19°50'27"W A DISTANCE OF 220.40 FEET TO A POINT;

THENCE, S03°47'37"W A DISTANCE OF 27.65 FEET TO THE POINT AND PLACE OF BEGINNING, THE LAST FIVE COURSES BEING ALONG LAND NOW OR FORMERLY OF WALDMAN ASSOCIATES, INC. PARTNER.

REFERENCES:

- 1. THE TAX ASSESSOR'S MAP OF SIMSBURY, HARTFORD COUNTY, MAP B20.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 328 OF 675," MAP NUMBER 090030328F, MAP EFFECTIVE DATE: SEPTEMBER 26, 2008.
3. MAP ENTITLED "BOUNDARY MAP PREPARED FOR KONOVER DEVELOPMENT CORP., FARMINGTON VALLEY MALL, US ROUTE 44 AT CONN. ROUTE 167, SIMSBURY (AVON), CONNECTICUT," PREPARED BY F.A. HESKETH & ASSOCIATES, INC., DATED JANUARY 25, 1991, LAST REVISED JANUARY 21, 1993, ONE SHEET.
4. MAP ENTITLED "RIGHT OF WAY MAP, TOWN OF AVON, HARTFORD-WINSTEAD ROAD, FROM THE SIMSBURY TOWN LINE SOUTHEASTERLY TO MOUNTAIN VIEW AVE," PREPARED BY THE CONNECTICUT STATE HIGHWAY DEPARTMENT, DATED LINE 12, 1982, PROJECT NO. 404, SHEET 1 OF 6.
5. MAP ENTITLED "RIGHT OF WAY MAP, TOWN OF SIMSBURY, ALBANY AVENUE, FROM THE CANTON TOWN LINE TO THE AVON TOWN LINE," PREPARED BY CONNECTICUT STATE HIGHWAY DEPARTMENT, DATED MAY 25, 1982, PROJECT NO. 128-13, SHEET 1 OF 1.
6. MAP ENTITLED "RIGHT OF WAY MAP, TOWN OF SIMSBURY, BUSHY HILL ROAD, FROM ROUTE U.S. 44 NORTHEASTERLY TO WILDWOOD ROAD, ROUTE NO. 167," PREPARED BY CONNECTICUT STATE HIGHWAY DEPARTMENT, DATED JANUARY 10, 1950, PROJECT NO. 128-15, SHEET 1 OF 4.
7. MAP ENTITLED "EASEMENT PLAN, CROWLEY'S CORNER INTERCEPTOR, SANITARY SEWER, SEWER COMMISSION, SIMSBURY, CONN.," PREPARED BY TIGHE & BOND CONSULTING ENGINEERS, DATED AUGUST, 1977, RECORDED WITH THE SIMSBURY LAND RECORDS OFFICE AS MAP #1983.
8. MAP ENTITLED "RIGHT OF WAY SURVEY, TOWN OF SIMSBURY, MAP SHOWING EASEMENT ACQUIRED FROM AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION," PREPARED BY F.A. HESKETH & ASSOCIATES, INC. DATED MAY, 1998, LAST REVISED OCTOBER 7, 1999, PROJECT NO. 128-000, SERIAL NO. 74, SHEET 1 OF 1.
9. MAP ENTITLED "TOWNS OF AVON & SIMSBURY, MAP SHOWING EASEMENT ACQUIRED FROM SOCIETY FOR SAVINGS BY THE STATE OF CONNECTICUT, INTERSECTION IMPROVEMENTS OF ROUTES 167 & US 44," PREPARED BY CONNICTUT STATE HIGHWAY DEPARTMENT, DATED SEPTEMBER, 1977, PROJECT NO. 128-100, SERIAL NO. 3, SHEET 2 OF 2.
10. MAP ENTITLED "UTILITY PLAN, FARMINGTON VALLEY MALL, SIMSBURY (AVON), CONNECTICUT," PREPARED BY F.A. HESKETH & ASSOCIATES, INC., DATED AUGUST 27, 1998, LAST REVISED FEBRUARY 24, 1999, SHEET 1 OF 3.
11. MAP ENTITLED "CONTEXT SITE PLAN, C95 - ALBANY TURNPIKE & BUSHY HILLS RD - SIMSBURY, CT," PREPARED BY BOHLER ENGINEERING, DATED MARCH 9, 2021, TWO SHEETS.
12. MAP ENTITLED "FIELD SKETCH, 530 BUSHY HILL ROAD, SIMSBURY, CT," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED DECEMBER 19, 2022, SUE PROJECT #08-220025-00.
13. UNDERGROUND GAS MAPPING PROVIDED BY CONNECTICUT NATURAL GAS COMPANY.
14. UNDERGROUND ELECTRIC MAPPING PROVIDED BY EVERSOURCE ELECTRIC.

SEE SHEETS 2 & 3 OF 3 FOR SITE FEATURES & UTILITIES

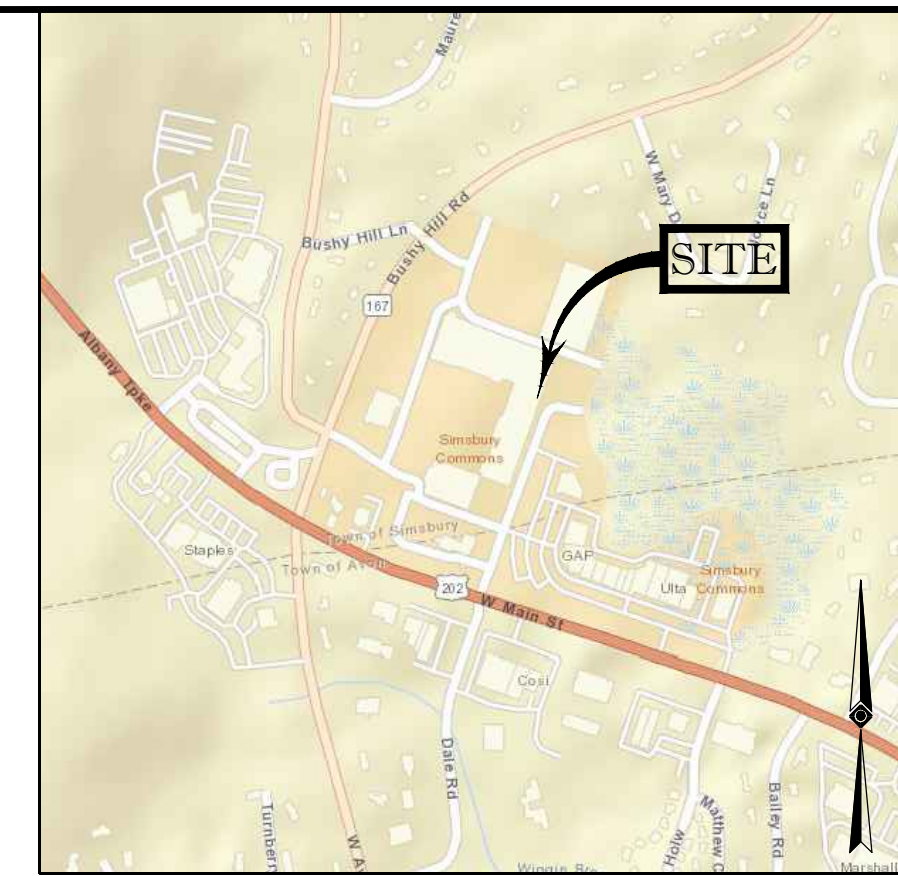
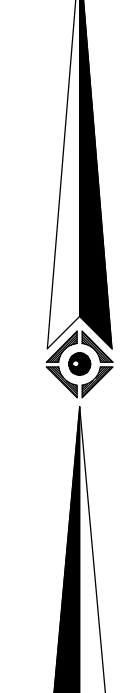
GRAPHIC SCALE



(IN FEET) 1 inch = 80 ft.

LEGEND

- (S) SURVEY DIMENSION
(D) DEED DIMENSION
(R) RECORD DIMENSION
(10) TITLE REPORT EXCEPTION



NOTES:

- 1. THIS IS A PROPERTY SURVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 SURVEY AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-308B, EFFECTIVE DATE: JUNE 21, 1996, PARTIALLY AMENDED OCTOBER 26, 2018. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON AUGUST 29, 2019, BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON A RESURVEY OF THE SUBJECT PROPERTY.
2. PROPERTY KNOWN AS LOT 1B AS SHOWN ON THE TOWN OF SIMSBURY, HARTFORD COUNTY, STATE OF CONNECTICUT, MAP NO. B20.
3. AREA = 782,633 SQUARE FEET OR 17.967 ACRES.
4. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBESTUS PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
5. THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY, NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING, INCLUDES MARKOUT BY OTHERS.
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND/OR REFERENCE MAPPING, INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY, LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
6. ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
7. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
8. THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY OLD REPUBLIC NATIONAL TITLE COMPANY, HAVING A FILE NO. 2106497, WITH AN EFFECTIVE DATE OF NOVEMBER 24, 2021, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - SECTION 2:
GENERAL EXCEPTIONS 1 THROUGH 4 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS PART OF THIS SURVEY. SEE SHEET 2 OF 2 FOR TITLE EXCEPTIONS.
9. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER REF. #2.
10. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
11. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
12. SURVEYOR'S DESCRIPTION PREPARED PER CLIENT REQUEST.
13. PROPERTY HAS DIRECT ACCESS TO WEST MAIN STREET & BUSHY HILL ROAD.
14. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
15. MONUMENTATION NOT SET PER CONTRACTUAL AGREEMENT.

SURVEYORS METES AND BOUNDS DESCRIPTION

PROPOSED RAISING CANE'S LEASE AREA A PORTION OF MAP B20, BLOCK 508, LOT 1B TOWN OF SIMSBURY, HARTFORD COUNTY, CONNECTICUT

BEGINNING AT A POINT ALONG THE NORTHERLY LINE OF WEST MAIN STREET (AKA US ROUTE 44; PUBLIC - VARIABLE WIDTH), SAID POINT BEING A CORNER IN COMMON WITH MAP B20, LOT 1A (N/F MIJI AVON, LLC), THENCE:

- 1. ALONG SAID DIVIDING LINE WITH LOT 1A, NORTH 19 DEGREES - 44 MINUTES - 07 SECONDS EAST, A DISTANCE OF 314.89 FEET, THENCE THROUGH THE INTERIOR OF LOT 392 THE FOLLOWING SIX (6) COURSES:
2. SOUTH 89 DEGREES - 58 MINUTES - 40 SECONDS EAST, A DISTANCE OF 59.99 FEET, THENCE;
3. ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.55 FEET, A CENTRAL ANGLE OF 91 DEGREES - 51 MINUTES - 12 SECONDS, AN ARC LENGTH OF 40.86 FEET, A CHORD BEARING OF SOUTH 29 DEGREES - 00 MINUTES - 23 SECONDS EAST, A CHORD LENGTH OF 36.71 FEET TO A POINT, THENCE;
4. SOUTH 20 DEGREES - 31 MINUTES - 55 SECONDS WEST, A DISTANCE OF 7.76 FEET, THENCE;
5. ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 91 DEGREES - 12 MINUTES - 05 SECONDS EAST, A CHORD LENGTH OF 42.87 FEET, THENCE;
6. SOUTH 70 DEGREES - 04 MINUTES - 25 SECONDS EAST, A DISTANCE OF 76.87 FEET, THENCE;
7. SOUTH 19 DEGREES - 15 MINUTES - 07 SECONDS WEST, A DISTANCE OF 208.67 FEET TO A POINT ALONG THE NORTHERLY LINE OF WEST MAIN STREET, THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING THREE (3) COURSES:
8. NORTH 11 DEGREES - 17 MINUTES - 12 SECONDS WEST, A DISTANCE OF 14.88 FEET, THENCE;
9. ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 2,544.51 FEET, A CENTRAL ANGLE OF 01 DEGREES - 57 MINUTES - 05 SECONDS, AN ARC LENGTH OF 86.66 FEET, A CHORD BEARING OF NORTH 70 DEGREES - 18 MINUTES - 40 SECONDS WEST, A CHORD LENGTH OF 86.66 FEET, THENCE;
10. NORTH 19 DEGREES - 03 MINUTES - 44 SECONDS WEST, A DISTANCE OF 95.64 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 52,526 SQUARE FEET OR 1.206 ACRES

Table with 4 columns: No., Description of Revision, Field Crew, Drawn, Approved, Date. Includes rows for updates to topography, utility, and lease line additions.

ALTA/NSPS LAND TITLE SURVEY RAISING CANE'S RESTAURANT, LLC 530 BUSHY HILL ROAD MAP B20, BLOCK 508, LOT 1B TOWN OF SIMSBURY, HARTFORD COUNTY STATE OF CONNECTICUT

CONTROL POINT ASSOCIATES, INC. ALBANY, NY 518-217-5010 CHALFONTE, PA 215-712-8600 HAITSPRINGER, NY 615-892-3445 MANHATTAN, NY 646-780-0111 MIT LAUREL, MA 508-657-3999 WARREN, NJ 908-668-0999



THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b), 7(c), 8, 11(a), 13, 14, 15, 16, 17, 18, 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 26, 2023.

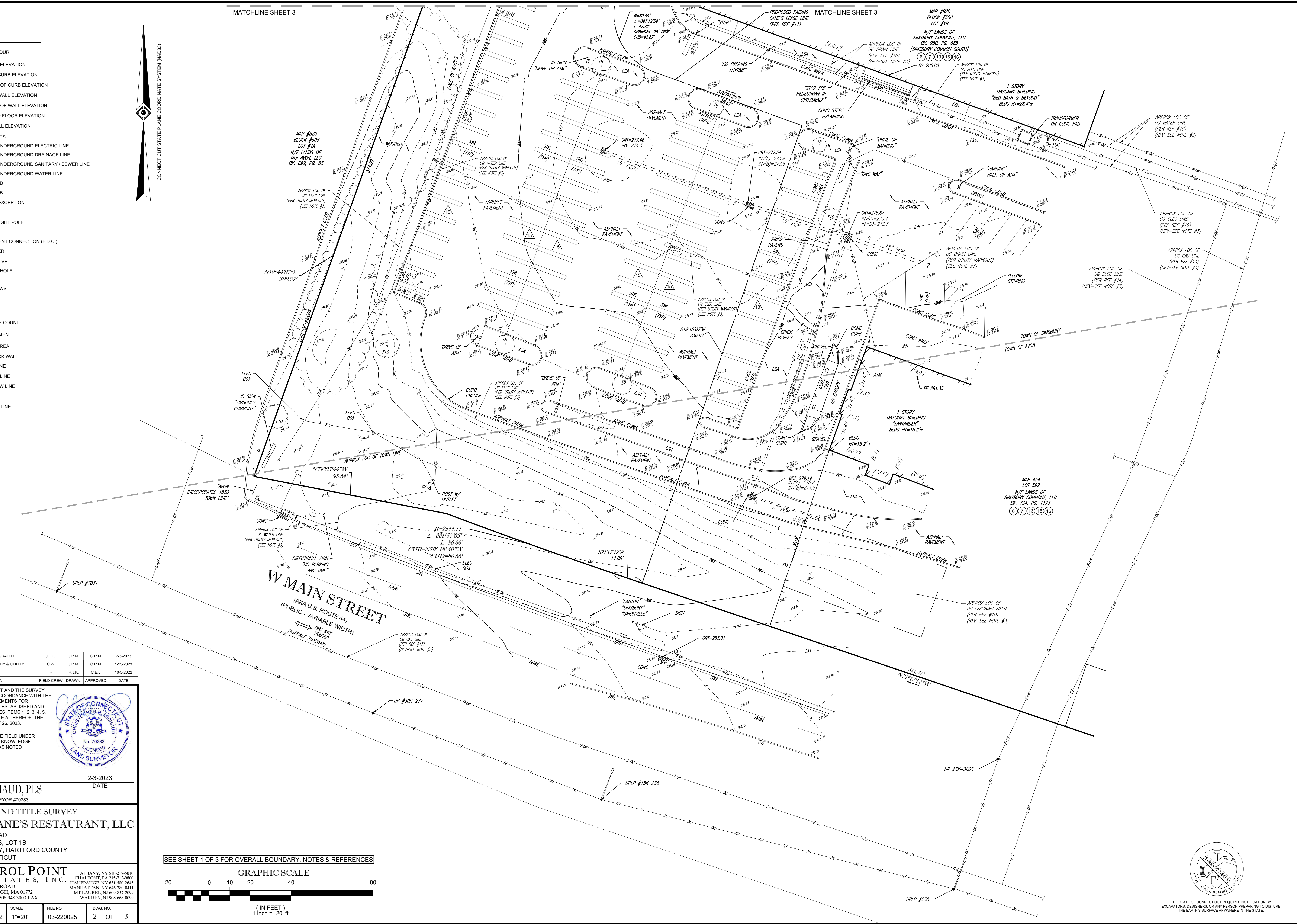
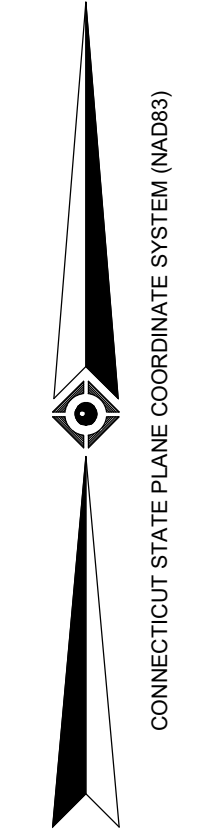
THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

CHRISTOPHER R. MICHAUD, PLS CONNECTICUT PROFESSIONAL LAND SURVEYOR #70283

Table with 6 columns: Reviewed, Date, Scale, File No., Dwg. No. Includes entries for C.E.L., 2-23-2022, 1"=80', 03-220025, 1 OF 3.



- LEGEND**
- EXISTING CONTOUR
  - + 123.45 EXISTING SPOT ELEVATION
  - EXIST. TOP OF CURB ELEVATION
  - EXIST. BOTTOM OF CURB ELEVATION
  - EXIST. TOP OF WALL ELEVATION
  - EXIST. BOTTOM OF WALL ELEVATION
  - EXIST. FINISHED FLOOR ELEVATION
  - EXIST. DOOR SILL ELEVATION
  - OVERHEAD WIRES
  - APPROX. LOC. UNDERGROUND ELECTRIC LINE
  - APPROX. LOC. UNDERGROUND DRAINAGE LINE
  - APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
  - APPROX. LOC. UNDERGROUND WATER LINE
  - QD QUALITY LEVEL D
  - QB QUALITY LEVEL B
  - (10) TITLE REPORT EXCEPTION
  - UP UTILITY POLE
  - UPLP UTILITY POLE/LIGHT POLE
  - HYDRANT
  - FIRE DEPARTMENT CONNECTION (F.D.C.)
  - ELECTRIC METER
  - IRRIGATION VALVE
  - UNKNOWN MANHOLE
  - CATCH BASINS
  - PAINTED ARROWS
  - SIGN
  - VACUUM
  - AREA LIGHT
  - PARKING SPACE COUNT
  - EDGE OF PAVEMENT
  - LSA LANDSCAPED AREA
  - MASONRY BLOCK WALL
  - SOLID WHITE LINE
  - SOLID YELLOW LINE
  - DOUBLE YELLOW LINE
  - HEIGHT
  - DASHED WHITE LINE
  - BUILDING



3	UPDATE PER ADDITIONAL TOPOGRAPHY	J.D.O.	J.P.M.	C.R.M.	2-3-2023
2	UPDATE PER ADDITIONAL TOPOGRAPHY & UTILITY	C.W.	J.P.M.	C.R.M.	1-23-2023
1	LEASE LINE ADDED	R.J.K.	C.E.L.		10-5-2022

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 11(a), 13, 16 & 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 26, 2023.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



**CHRISTOPHER R. MICHAUD, PLS**  
CONNECTICUT PROFESSIONAL LAND SURVEYOR #70283

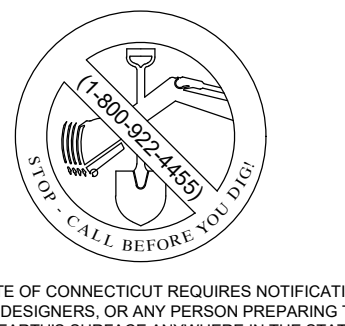
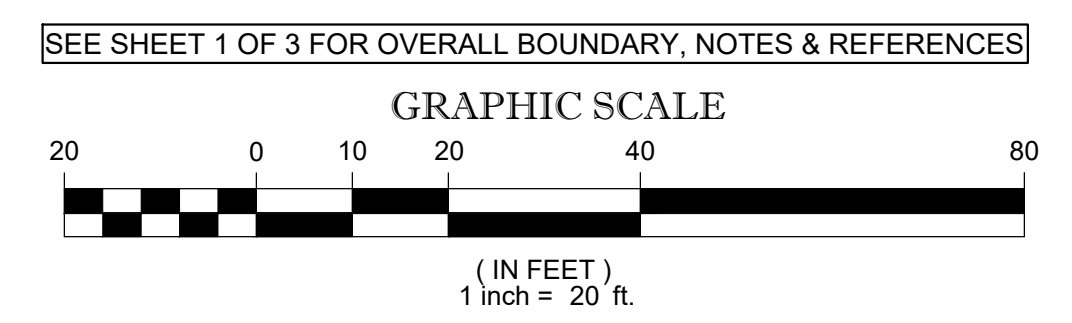
DATE: 2-3-2023

FIELD DATE	1-26-2022
FIELD BOOK NO	21-16 MA
FIELD BOOK PG.	37
FIELD CREW	B.S.B.
DRAWN	R.J.K.
REVIEWED	C.E.L.

**ALTA/NSPS LAND TITLE SURVEY**  
**RAISING CANE'S RESTAURANT, LLC**  
530 BUSHY HILL ROAD  
MAP B20, BLOCK 508, LOT 1B  
TOWN OF SIMSBURY, HARTFORD COUNTY  
STATE OF CONNECTICUT

**CONTROL POINT ASSOCIATES, INC.**  
ALBANY, NY 518-217-5010  
CHAMPLAIN, PA 215-712-9800  
HATFIELD, NJ 610-886-2645  
352 TURNPIKE ROAD  
SOUTH BORDEN, NJ 908-857-2099  
R.J.K. 508.948.3000 - 508.948.3003 FAX

APPROVED	DATE	SCALE	FILE NO.	DWG. NO.
C.R.M.	2-23-2022	1"=20'	03-220025	2 OF 3

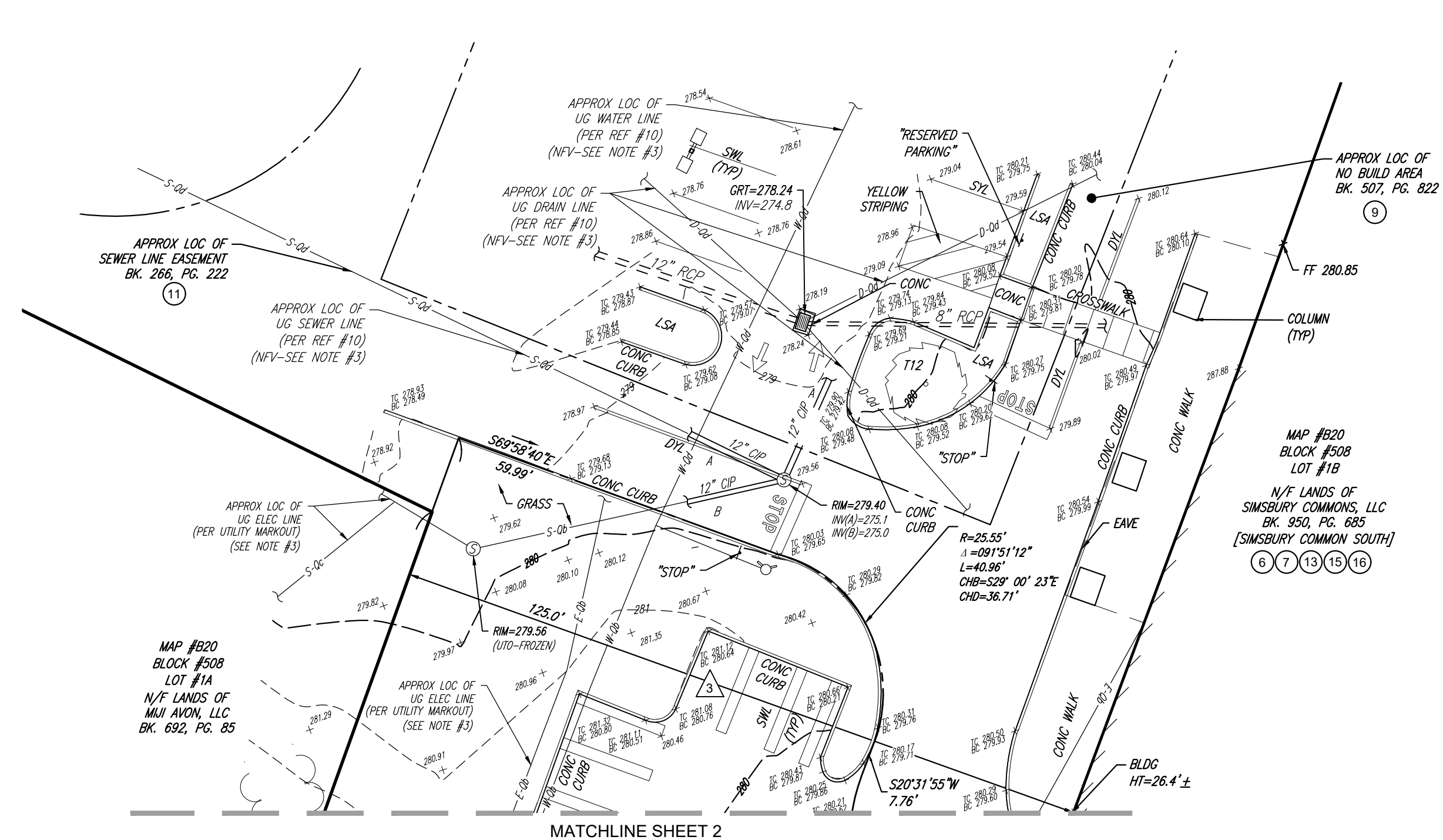


THE STATE OF CONNECTICUT REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



LEGEND	
---	EXISTING CONTOUR
• 123.45	EXISTING SPOT ELEVATION
+ 123.45	EXIST. TOP OF CURB ELEVATION
- 123.45	EXIST. BOTTOM OF CURB ELEVATION
+ 123.45	EXIST. TOP OF WALL ELEVATION
- 123.45	EXIST. BOTTOM OF WALL ELEVATION
+ 123.45	EXIST. FINISHED FLOOR ELEVATION
- 123.45	EXIST. DOOR SILL ELEVATION
OH	OVERHEAD WIRES
E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
D	APPROX. LOC. UNDERGROUND DRAINAGE LINE
S	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
W	APPROX. LOC. UNDERGROUND WATER LINE
04	QUALITY LEVEL D
06	QUALITY LEVEL B
10	TITLE REPORT EXCEPTION
UP	UTILITY POLE
UPP	UTILITY POLE/LIGHT POLE
HYD	HYDRANT
FDC	FIRE DEPARTMENT CONNECTION (F.D.C.)
EM	ELECTRIC METER
IRV	IRRIGATION VALVE
UMH	UNKNOWN MANHOLE
CB	CATCH BASINS
PA	PAINTED ARROWS
SI	SIGN
V	VACUUM
AL	AREA LIGHT
PS	PARKING SPACE COUNT
EP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
MW	MASONRY BLOCK WALL
SW	SOLID WHITE LINE
SY	SOLID YELLOW LINE
DY	DOUBLE YELLOW LINE
HT	HEIGHT
DW	DASHED WHITE LINE
BLD	BUILDING

CONNECTICUT STATE PLANE COORDINATE SYSTEM (NAD83)



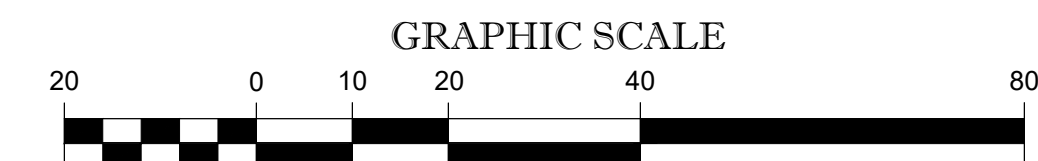
SURVEYOR'S  
METES AND BOUNDS DESCRIPTION  
MAP #20, BLOCK 508, LOT 1B  
TOWN OF SIMSBURY  
MAP #44, LOT 802  
TOWN OF AVON  
HARTFORD COUNTY, CONNECTICUT

BEGINNING AT A POINT ALONG THE NORTHERLY LINE OF WEST MAIN STREET (AKA US ROUTE 44; PUBLIC - VARIABLE WIDTH), SAID POINT BEING CORNER IN COMMON WITH MAP #54, LOT 380 (N/F AVON MARKETPLACE INVESTORS, LLC), THENCE RUNNING ALONG SAID NORTHERLY LINE, THE FOLLOWING FOUR (4) COURSES:

1. NORTH 76 DEGREES - 59 MINUTES - 35 SECONDS WEST, A DISTANCE OF 28.45 FEET, THENCE;
2. NORTH 11 DEGREES - 12 MINUTES - 12 SECONDS WEST, A DISTANCE OF 14.11 FEET, THENCE;
3. ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 2,544.51 FEET, A CENTRAL ANGLE OF 01 DEGREES - 57 MINUTES - 05 SECONDS, AN ARC LENGTH OF 86.66 FEET, A CHORD BEARING OF NORTH 70 DEGREES - 18 MINUTES - 40 SECONDS WEST, A CHORD LENGTH OF 86.66 FEET TO A POINT OF NON-TANGENCY, THENCE;
4. NORTH 79 DEGREES - 03 MINUTES - 44 SECONDS WEST, A DISTANCE OF 95.64 FEET, THENCE DEPARTING SAID NORTHERLY LINE, RUNNING PASSING THROUGH THE SIMSBURY-AVON TOWN LINE, RUNNING ALONG THE DIVIDING LINE WITH MAP #20, BLOCK 508, LOT 1A (N/F MUJ AVON, LLC) & MAP #20, BLOCK 508, LOT 1A-1 (N/F BUSHY HILL PARTNERS, LLC) THE FOLLOWING TWO (2) COURSES:
5. NORTH 19 DEGREES - 44 MINUTES - 07 SECONDS EAST, A DISTANCE OF 300.97 FEET, THENCE;
6. NORTH 63 DEGREES - 49 MINUTES - 26 SECONDS WEST, A DISTANCE OF 300.08 FEET TO A POINT ALONG THE EASTERLY LINE OF BUSHY HILL ROAD (AKA CONN. ROUTE 167; PUBLIC - VARIABLE WIDTH), THENCE ALONG SAID EASTERLY LINE THE FOLLOWING FOUR (4) COURSES:
7. NORTH 19 DEGREES - 39 MINUTES - 45 SECONDS EAST, A DISTANCE OF 379.20 FEET TO A CONNECTICUT HIGHWAY BOUND FOUND, THENCE;
8. SOUTH 70 DEGREES - 23 MINUTES - 33 SECONDS EAST, A DISTANCE OF 17.02 FEET, THENCE;
9. NORTH 19 DEGREES - 39 MINUTES - 27 SECONDS EAST, A DISTANCE OF 49.11 FEET, THENCE;
10. ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 1,382.89 FEET, A CENTRAL ANGLE OF 10 DEGREES - 28 MINUTES - 50 SECONDS, AN ARC LENGTH OF 252.92 FEET, A CHORD BEARING OF NORTH 24 DEGREES - 54 MINUTES - 04 SECONDS EAST, A CHORD LENGTH OF 252.57 FEET, THENCE DEPARTING SAID EASTERLY LINE, RUNNING ALONG THE DIVIDING LINE WITH MAP #20, BLOCK 508, LOT 1B-1 (N/F SIMSBURY COMMONS, LLC) THE FOLLOWING FIVE (5) COURSES:
11. SOUTH 70 DEGREES - 08 MINUTES - 04 SECONDS EAST, A DISTANCE OF 209.61 FEET, THENCE;
12. NORTH 19 DEGREES - 53 MINUTES - 56 SECONDS EAST, A DISTANCE OF 62.08 FEET, THENCE;
13. SOUTH 70 DEGREES - 11 MINUTES - 20 SECONDS EAST, A DISTANCE OF 72.00 FEET, THENCE;
14. SOUTH 19 DEGREES - 40 SECONDS WEST, A DISTANCE OF 46.00 FEET, THENCE;
15. SOUTH 70 DEGREES - 11 MINUTES - 20 SECONDS EAST, A DISTANCE OF 630.46 FEET, THENCE;
16. ALONG THE DIVIDING LINE WITH MAP #20, BLOCK 508, LOT 8 (N/F ARMANDO & ERIN A. VARGAS), SOUTH 20 DEGREES - 16 MINUTES - 20 SECONDS WEST, A DISTANCE OF 280.08 FEET, THENCE ALONG THE DIVIDING LINE WITH MAP #20, BLOCK 508, LOT 2A (N/F AVON MARKETPLACE INVESTORS, LLC) THE FOLLOWING TWO (2) COURSES:
17. NORTH 73 DEGREES - 46 MINUTES - 54 SECONDS WEST, A DISTANCE OF 100.00 FEET, THENCE;
18. SOUTH 19 DEGREES - 52 MINUTES - 00 SECONDS, A DISTANCE OF 472.39 FEET, THENCE ALONG THE DIVIDING LINE WITH SAID LOT 380 THE FOLLOWING THREE (3) COURSES:
19. NORTH 70 DEGREES - 08 MINUTES - 00 SECONDS WEST, A DISTANCE OF 35.99 FEET, THENCE;
20. SOUTH 19 DEGREES - 52 MINUTES - 00 SECONDS WEST, A DISTANCE OF 220.40 FEET, THENCE;
21. SOUTH 03 DEGREES - 49 MINUTES - 10 SECONDS WEST, A DISTANCE OF 27.65 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 782,633 SQUARE FEET OR 17,967 ACRES

SEE SHEET 1 OF 3 FOR OVERALL BOUNDARY, NOTES & REFERENCES



5. EASEMENTS SET FORTH IN A QUITCLAIM DEED FROM NEWTOWN MACDONALD TO ALLAN HUTENSKY, TRUSTEE DATED OCTOBER 20, 1998 AND RECORDED IN VOLUME 180, PAGE 601 OF THE SIMSBURY LAND RECORDS - 200' WIDE DRAINAGE EASEMENT SHOWN HEREON.
6. TERMS AND CONDITIONS CONTAINED IN THAT CERTAIN LEASE BETWEEN ALAN HUTENSKY, TRUSTEE, AS LANDLORD AND SUBURBAN STORES CORPORATION, AS TENANT DATED APRIL 14, 1970 AS SET FORTH IN NOTICE OF LEASE FROM ALLAN HUTENSKY, TRUSTEE TO SUBURBAN STORES CORPORATION DATED NOVEMBER 16, 1970 AND RECORDED IN VOLUME 187 AT PAGE 292 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 69 AT PAGE 268 OF THE AVON LAND RECORDS; AS AMENDED BY AMENDMENT DATED MAY 1, 1993 AND RECORDED IN VOLUME 411 AT PAGE 64 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 277 AT PAGE 625 OF THE AVON LAND RECORDS; AS FURTHER AMENDED BY SECOND AMENDMENT OF LEASE DATED DECEMBER 22, 1993 AND RECORDED IN VOLUME 595 AT PAGE 569 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445 AT PAGE 32 OF THE AVON LAND RECORDS; AS THE INTEREST OF D&L STORES CORP. ("D&L" AS SUCCESSOR-IN-INTEREST TO SUBURBAN) WAS ASSIGNED TO FVM REALTY CORPORATION ("FVM REALTY") BY ASSIGNMENT OF LEASE DATED SEPTEMBER 21, 1994 AND RECORDED IN VOLUME 596 AT PAGE 572 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445 AT PAGE 33 OF THE AVON LAND RECORDS; AS SUCH ASSIGNMENT OF LEASE WAS AMENDED PURSUANT TO AN AMENDMENT TO ASSIGNMENT OF LEASE BETWEEN D&L AND FVM REALTY DATED AS OF SEPTEMBER 1, 1997 AND RECORDED IN VOLUME 596 AT PAGE 578 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445 AT PAGE 41 OF THE AVON LAND RECORDS; AS ASSIGNED AND ASSUMED BY ASSIGNMENT AND ASSUMPTION OF LEASE BY AND BETWEEN THREE D DEPARTMENTS, INC. AND BED BATH AND BEYOND, INC. DATED OCTOBER 28, 1999 AND RECORDED IN VOLUME 520 AT PAGE 151 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 380 AT PAGE 771 OF THE AVON LAND RECORDS; AS AMENDED AND RE-STATED BY AMENDED AND RE-STATED NOTICE OF LEASE DATED DECEMBER 22, 1999 AND RECORDED IN VOLUME 520 AT PAGE 157 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 380 AT PAGE 777 OF THE AVON LAND RECORDS; AS MODIFIED BY RECOGNITION AGREEMENT DATED DECEMBER 22, 1999 AND RECORDED IN VOLUME 520 AT PAGE 163 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 380 AT PAGE 783 OF THE AVON LAND RECORDS; AS AMENDED BY AMENDMENT TO AMENDED AND RE-STATED NOTICE OF LEASE DATED JANUARY 2, 2000 AND RECORDED IN VOLUME 572 AT PAGE 177 OF THE SIMSBURY LAND RECORDS; AS FURTHER AMENDED BY AMENDMENT TO RECOGNITION AGREEMENT DATED JANUARY 2, 2002 AND RECORDED IN VOLUME 572 AT PAGE 181 OF THE SIMSBURY LAND RECORDS; AS ASSIGNED AND ASSUMED BY VIRTUE OF A QUIT CLAIM DEED TO SIMSBURY COMMONS SOUTH (E&A), LLC DATED NOVEMBER 15, 2002 AND RECORDED IN VOLUME 596 AT PAGE 589 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445, PAGE 52 OF THE AVON LAND RECORDS; FVM REALTY CORPORATION TRANSFERRED ITS INTEREST BY VIRTUE OF A QUIT CLAIM DEED AND ASSIGNMENT FROM FVM REALTY CORPORATION TO SIMSBURY COMMONS SOUTH (E&A), LLC DATED NOVEMBER 15, 2002 AND RECORDED IN VOLUME 596 AT PAGE 595 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445 AT PAGE 58 OF THE AVON LAND RECORDS; AS FURTHER ASSIGNED AND ASSUMED BY ASSIGNMENT AND ASSUMPTION OF LEASE BY SIMSBURY COMMONS SOUTH (E&A), LLC TO E&A&I&S SIMSBURY COMMONS LIMITED PARTNERSHIP DATED SEPTEMBER 4, 2004 AND RECORDED IN VOLUME 676 AT PAGE 606 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 510 AT PAGE 949 OF THE AVON LAND RECORDS; AS AMENDED BY SECOND AMENDMENT TO AMENDED AND RE-STATED NOTICE TO LEASE DATED JANUARY 27, 2012 AND RECORDED IN VOLUME 829 AT PAGE 130 OF THE SIMSBURY LAND RECORDS (SEE SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN HOMETOWN BANK AND BED BATH & BEYOND INC. DATED NOVEMBER 21, 2019 AND RECORDED NOVEMBER 13, 2020 IN VOLUME 952, PAGE 84 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 553 OF THE AVON LAND RECORDS) - BLANKET IN NATURE; SIMSBURY COMMONS NORTH & SOUTH SHOWN HEREON.
7. NOTICE OF LEASE FROM SIMON KONOVER TO SOCIETY FOR SAVINGS DATED FEBRUARY 22, 1971 AND RECORDED IN VOLUME 188, PAGE 354 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 70, PAGE 279 OF THE AVON LAND RECORDS AND NOTICE OF COMMENCEMENT DATE OF LEASE BY AND BETWEEN SIMON KONOVER AND SOCIETY FOR SAVINGS DATED JUNE 30, 1971 AND RECORDED IN VOLUME 191, PAGE 376 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 72, PAGE 215 OF THE AVON LAND RECORDS (SEE SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN SIMSBURY COMMONS, LLC HOMETOWN BANK AND SANTANDER BANK, N.A. DATED NOVEMBER 21, 2019 AND RECORDED JANUARY 13, 2020 IN VOLUME 952, PAGE 14 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 483 OF THE AVON LAND RECORDS) - BLANKET IN NATURE; SIMSBURY COMMONS NORTH & SOUTH SHOWN HEREON.
8. SHORT FORM AND NOTICE OF AMENDMENT AND RESTATEMENT OF LEASE DATED DECEMBER 15, 1992 AND RECORDED IN VOLUME 405 AT PAGE 181 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 272 AT PAGE 713 OF THE AVON LAND RECORDS; ASSIGNMENT AND ASSUMPTION OF LEASE BY AND AMONG SIMON KONOVER, FVM-NORTH LIMITED PARTNERSHIP AND THE STOP & SHOP SUPERMARKET COMPANY DATED DECEMBER 14, 1994 AND RECORDED IN VOLUME 438 AT PAGE 713 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 302 AT PAGE 829 OF THE AVON LAND RECORDS; AGREEMENT BY AND BETWEEN SIMON KONOVER, FVM-NORTH LIMITED PARTNERSHIP AND THE STOP & SHOP SUPERMARKET COMPANY DATED DECEMBER 14, 1994 AND RECORDED IN VOLUME 438 AT PAGE 719 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 302 AT PAGE 835 OF THE AVON LAND RECORDS; SUBORDINATION, RECOGNITION AND CONSENT BY THE STOP & SHOP SUPERMARKET COMPANY TO AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP, FVM-NORTH LIMITED PARTNERSHIP AND FVM-NORTH LIMITED PARTNERSHIP DATED JULY 22, 1999 AND RECORDED IN VOLUME 512 AT PAGE 884 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 373 AT PAGE 183 OF THE AVON LAND RECORDS. SEE ALSO REAFFIRMATION AGREEMENT DATED JULY 26, 1999 AND RECORDED IN VOLUME 512 AT PAGE 1163 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 373 AT PAGE 484 OF THE AVON LAND RECORDS. (SEE SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN HOMETOWN BANK, THE STOP & SHOP SUPERMARKET COMPANY LLC AND SIMSBURY COMMONS, LLC DATED NOVEMBER 21, 2019 AND RECORDED JANUARY 13, 2020 IN VOLUME 952, PAGE 21 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 470 OF THE AVON LAND RECORDS) - STOP & SHOP LEASE AREA SHOWN HEREON.
9. MEMORANDUM OF AMENDED AND RESTATED LEASE BETWEEN FVM-SOUTH LIMITED PARTNERSHIP AND WALGREEN EASTERN CO., INC. DATED MARCH 26, 1999 AND RECORDED IN VOLUME 507 AT PAGE 622 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 368 AT PAGE 370 OF THE AVON LAND RECORDS (CONSENT AND NON-DISTURBANCE AGREEMENT RECORDED MAY 19, 1999 IN VOLUME 509, PAGE 280 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 369, PAGE 872 OF THE AVON LAND RECORDS) (SEE SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN HOMETOWN BANK, SIMSBURY COMMONS, LLC AND WALGREEN EASTERN CO., INC. DATED NOVEMBER 21, 2019 AND RECORDED JANUARY 13, 2020 IN VOLUME 952, PAGE 115 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 584 OF THE AVON LAND RECORDS) - WALGREEN'S LEASE AREA SHOWN HEREON.
10. NOTICE OF LEASE BETWEEN FVM-SOUTH LIMITED PARTNERSHIP (LANDLORD) AND NE RESTAURANT COMPANY, INC. (TENANT) DATED JANUARY 20, 2000 AND RECORDED IN VOLUME 523 AT PAGE 479 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 383 AT PAGE 653 OF THE AVON LAND RECORDS. TENANTS INTEREST IN THE LEASE WAS ASSIGNED AND ASSUMED BY BRINKER'S CORPORATION BY VIRTUE OF THE ASSIGNMENT AND ASSUMPTION OF LEASES DATED APRIL 12, 2001 AND RECORDED IN VOLUME 542 AT PAGE 90 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 401 AT PAGE 942 OF THE AVON LAND RECORDS; ASSIGNED AND ASSUMED BY ASSIGNMENT AND ASSUMPTION OF LEASE DATED FEBRUARY 19, 2008 IN VOLUME 613 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 575, PAGE 784 OF THE AVON LAND RECORDS. (SEE SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT BETWEEN PEPPER DINING, INC., HOMETOWN BANK, AND SIMSBURY COMMONS LLC DATED NOVEMBER 21, 2019 AND RECORDED JANUARY 13, 2020 IN VOLUME 952, PAGE 16 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 736, PAGE 575 OF THE AVON LAND RECORDS AND IN VOLUME 197 AT PAGE 797 OF THE SIMSBURY LAND RECORDS - LEASE AREA SHOWN HEREON.
11. EASEMENT FROM SIMON KONOVER TO R.H.C. ASSOCIATES AND FRANCHISE RELIST INTERSTATE CORPORATION DATED MAY 9, 1983 AND RECORDED IN VOLUME 266, PAGE 222 OF THE SIMSBURY LAND RECORDS - SEWER LINE EASEMENT SHOWN HEREON.
12. SEWER LINE EASEMENT TO THE TOWN OF SIMSBURY DATED MAY 14, 1993 AND RECORDED IN VOLUME 412 AT PAGE 670 OF THE SIMSBURY LAND RECORDS - 30' WIDE SEWER EASEMENT SHOWN HEREON.
13. EASEMENT AND DEVELOPMENT AGREEMENT BETWEEN SIMON KONOVER AND JON T. LORENSON DATED AUGUST 3, 1990 AND RECORDED IN VOLUME 375 AT PAGE 245 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 240 AT PAGE 668 OF THE AVON LAND RECORDS; AS RECORDED ON JANUARY 18, 1991 IN VOLUME 242 AT PAGE 421 OF THE AVON LAND RECORDS; AS AMENDED BY AMENDMENT DATED AUGUST 2, 1992 AND RECORDED IN VOLUME 404 AT PAGE 78 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 270 AT PAGE 923 OF THE AVON LAND RECORDS; AS FURTHER AMENDED DATED DECEMBER 13, 1993 AND RECORDED IN VOLUME 423 AT PAGE 984 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 289 AT PAGE 695 OF THE AVON LAND RECORDS (SEE CERTIFICATE RECORDED DECEMBER 30, 1993 IN VOLUME 423 AT PAGE 934 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 289 AT PAGE 655 OF THE AVON LAND RECORDS); AS FURTHER AMENDED BY THIRD AMENDMENT TO EASEMENT AND CONSTRUCTION, OPERATION AND RECIPROCAL EASEMENT AGREEMENT DATED MARCH 11, 1999 AND RECORDED IN VOLUME 505 AT PAGE 430 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 365 AT PAGE 935 OF THE AVON LAND RECORDS - COMMON DRIVEWAY EASEMENT SHOWN HEREON.
14. ORDER BY THE STATE OF CONNECTICUT TRAFFIC COMMISSION DATED FEBRUARY 20, 1991 AND RECORDED IN VOLUME 378 AT PAGE 317 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 244 AT PAGE 877 OF THE AVON LAND RECORDS - TRAFFIC EASEMENTS SHOWN HEREON.
15. LETTER AND TRAFFIC INVESTIGATION REPORT OF THE STATE OF CONNECTICUT TRAFFIC COMMISSION DATED FEBRUARY 27, 1992 AND RECORDED IN VOLUME 391 AT PAGE 754 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 259, PAGE 794 OF THE AVON LAND RECORDS OF THE AVON LAND RECORDS AND AMENDED AND RE-STATED RECIPROCAL EASEMENT AGREEMENT DATED DECEMBER 14, 1994 AND RECORDED IN VOLUME 438 AT PAGE 674 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 302 AT PAGE 187 OF THE AVON LAND RECORDS (SEE SUBORDINATION BY AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP DATED JUNE 30, 1995 AND RECORDED IN VOLUME 444, PAGE 428 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 308, PAGE 782 OF THE AVON LAND RECORDS); AS ASSIGNED BY ASSIGNMENT AND ASSUMPTION OF LEASES AND CONSTRUCTION, OPERATION AND RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN SIMON KONOVER (ASSIGNOR) AND SIMON KONOVER AND SK COMMERCIAL CORPORATION (ASSIGNEE) DATED APRIL 13, 1995 AND RECORDED IN VOLUME 444 AT PAGE 263 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 308 AT PAGE 811 OF THE AVON LAND RECORDS; AS FURTHER ASSIGNED BY ASSIGNMENT TO AVON MALL ASSOCIATES LIMITED PARTNERSHIP DATED JUNE 30, 1995 AND RECORDED IN VOLUME 444 AT PAGE 326 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 308 AT PAGE 865 OF THE AVON LAND RECORDS; (CONSENT AND SUBORDINATION BY THE STOP AND SHOP SUPERMARKET COMPANY TO AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP, FVM-NORTH LIMITED PARTNERSHIP AND FVM-NORTH LIMITED PARTNERSHIP DATED MARCH 11, 1999 AND RECORDED IN VOLUME 512 AT PAGE 169 OF THE AVON LAND RECORDS; AS FURTHER AMENDED BY FIRST AMENDMENT TO AMENDED AND RE-STATED CONSTRUCTION, OPERATION AND RECIPROCAL EASEMENT AGREEMENT DATED JULY 9, 1999 AND RECORDED IN VOLUME 512 AT PAGE 870 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 373 AT PAGE 169 OF THE AVON LAND RECORDS); AS ASSIGNED BY QUIT CLAIM DEED AND ASSIGNMENT TO SIMSBURY COMMONS SOUTH (E&A), LLC DATED NOVEMBER 15, 2002 AND RECORDED NOVEMBER 21, 2002 IN VOLUME 595, PAGE 584 AND IN VOLUME 595, PAGE 589 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 445, PAGE 5 OF THE AVON LAND RECORDS - TRAFFIC EASEMENTS, FUELING FACILITY & SIMSBURY COMMONS NORTH & SOUTH SHOWN HEREON.
16. DECLARATION OF UNIFIED SITE PLAN BY SIMON KONOVER, FVM-NORTH LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP DATED DECEMBER 14, 1994 AND RECORDED IN VOLUME 438 AT PAGE 702 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 302 AT PAGE 187 OF THE AVON LAND RECORDS - APPROVAL OF SITE PLAN MODIFICATION; SIMSBURY COMMONS NORTH & SOUTH SHOWN HEREON.
17. SEWER EASEMENT FROM AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP TO THE TOWN OF SIMSBURY DATED OCTOBER 18, 1998 AND RECORDED IN VOLUME 448 AT PAGE 1088 OF THE SIMSBURY LAND RECORDS (SEE CONSENT AND SUBORDINATION BY FVM-NORTH LIMITED PARTNERSHIP RECORDED IN VOLUME 448 AT PAGE 1094 OF THE SIMSBURY LAND RECORDS (CONSENT AND SUBORDINATION BY THE STOP AND SHOP SUPERMARKET COMPANY RECORDED IN VOLUME 448 AT PAGE 1096 OF THE SIMSBURY LAND RECORDS) - 30' WIDE SEWER EASEMENT SHOWN HEREON.
18. ORDER BY THE STATE OF CONNECTICUT TRAFFIC COMMISSION DATED JANUARY 20, 1999 AND RECORDED APRIL 14, 1999 IN VOLUME 507, PAGE 281 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 367, PAGE 1023 OF THE AVON LAND RECORDS - TRAFFIC EASEMENTS SHOWN HEREON.
19. EASEMENT FROM AVON/SIMSBURY ASSOCIATES LIMITED PARTNERSHIP, FVM-NORTH LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP TO THE STATE OF CONNECTICUT DATED MARCH 16, 1999 AND RECORDED IN VOLUME 505 AT PAGE 936 OF THE SIMSBURY LAND RECORDS - EASEMENTS FOR HIGHWAY PURPOSES SHOWN HEREON.
20. BOUNDARY LINE AGREEMENT AND DECLARATION BY AND AMONG AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP, FVM-NORTH LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP DATED JULY 7, 1999 AND RECORDED IN VOLUME 512 AT PAGE 67 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 372 AT PAGE 390 OF THE AVON LAND RECORDS - TRANSFERRED PORTIONS A & B SHOWN HEREON.
21. EASEMENT FROM AVON SIMSBURY MALL ASSOCIATES LIMITED PARTNERSHIP, FVM-NORTH LIMITED PARTNERSHIP AND FVM-SOUTH LIMITED PARTNERSHIP TO THE STATE OF CONNECTICUT DATED OCTOBER 18, 1998 AND RECORDED IN VOLUME 517 AT PAGE 323 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 377 AT PAGE 928 OF THE AVON LAND RECORDS - TRAFFIC SIGNAL MAINTENANCE EASEMENT SHOWN HEREON.
22. MEMORANDUM OF LEASE BETWEEN E&A&I&S SIMSBURY COMMONS LIMITED PARTNERSHIP AND NEW CINGULAR WIRELESS PCS, LLC DATED JUNE 2, 2005 AND RECORDED JUNE 2, 2008 IN VOLUME 716 PAGE 106 OF THE SIMSBURY LAND RECORDS - CELL TOWER LEASE AREA SHOWN HEREON.
23. DRAINAGE EASEMENT FROM SOCIETY FOR SAVINGS TO THE STATE OF CONNECTICUT DATED JUNE 2, 1972 AND RECORDED IN VOLUME 198 AT PAGE 14 OF THE SIMSBURY LAND RECORDS - DRAINAGE RIGHTS SHOWN HEREON.
24. EASEMENT FROM SOCIETY FOR SAVINGS TO THE STATE OF CONNECTICUT DATED JUNE 2, 1978 AND RECORDED IN VOLUME 198 AT PAGE 15 OF THE SIMSBURY LAND RECORDS AND IN VOLUME 235 AT PAGE 920 OF THE SIMSBURY LAND RECORDS - TRAFFIC EASEMENT SHOWN HEREON.

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. ORIGINAL PROJECT OR THE PURPOSE OF THIS INSTRUMENT IS TO BE USED FOR THE PURPOSES OF TITLE SURVEYING AND TO BE USED FOR THE PURPOSES OF TITLE SURVEYING AND TO BE USED FOR THE PURPOSES OF TITLE SURVEYING.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS - JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 11(a), 13, 16 & 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 26, 2023.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

2-3-2023  
DATE

<b>CHRISTOPHER R. MICHAUD, PLS</b> CONNECTICUT PROFESSIONAL LAND SURVEYOR #70283	
FIELD DATE	ALTA/NSPS LAND TITLE SURVEY
1-26-2022	<b>RAISING CANE'S RESTAURANT, LLC</b>
FIELD BOOK NO.	530 BUSHY HILL ROAD
21-16 MA	MAP B20, BLOCK 508, LOT 1B
FIELD BOOK PG.	TOWN OF SIMSBURY, HARTFORD COUNTY
37	STATE OF CONNECTICUT
FIELD CREW	<b>CONTROL POINT ASSOCIATES, INC.</b>
B.S.B.	ALBANY, NY 518-217-5010
DRAWN	CHIAI POINT, PA 215-712-9800
R.J.K.	HARTFORD, CT 860-260-2645
APPROVED:	MANHATTAN, NY 646-780-0411
C.E.L.	MILWAUKEE, WI 414-778-0000
	WARREN, NJ 908-668-0099
REVIEWED:	APPROVED:
C.E.L.	C.R.M.
DATE	SCALE
2-23-2022	1"=20'
FILE NO.	DWG. NO.
03-220025	3 OF 3

