



Town of Simsbury

Office of Community Planning and Development - Zoning Commission Application

DATE: August 18, 2023 FEE: \$ _____ CK #: _____ APP #: _____

PROPERTY ADDRESS: 4 Victoria Lane

NAME OF OWNER: Todd and Andrea Burrick

MAILING ADDRESS: 4 Victoria Lane, Simsbury, CT 06070

EMAIL ADDRESS: burrick6@gmail.com TELEPHONE # 8606902963

NAME OF AGENT: Terri Hahn

MAILING ADDRESS: LADA, P.C. Land Planners 104 West Street, Simsbury, CT 06070

EMAIL ADDRESS: ladapc@snet.net TELEPHONE # 8606514971

ZONING DISTRICT: R-40 LOT AREA: 1.417+/- acres SQ FT/ACRES

Does this site have wetlands? YES NO Have you applied for a wetlands permit? YES NO

REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):

- ZONE CHANGE:** The applicant hereby requests that said premises be changed from zone _____ to zone _____.
- TEXT AMENDMENT:** Please attach proposed changes, including Sections and purposes.
- SPECIAL EXCEPTION:** The applicant hereby requests a public hearing pursuant to Section 6.6 Floodplain.
- SITE PLAN APPROVAL:** The applicant hereby requests
 - PRELIMINARY FINAL **SITE PLAN AMENDMENT** pursuant to Section 11
- SIGN PERMIT**
- OTHER (PLEASE EXPLAIN):** _____

A check payable to the Town of Simsbury must accompany this original signed and dated application. Five (5) complete sets of folded plans, one (1) completed application and correspondence including a project narrative must be submitted. Please send PDF digitals to jhollis@simsbury-ct.gov.

Todd Burrick 8/17/2023
Signature of Owner Date

Terri Hahn - LADA P.C. 8/18/2023
Signature of Agent Date

Telephone (860) 658-3245
Facsimile (860) 658-3206

www.simsbury-ct.gov

933 Hopmeadow Street
Simsbury, CT 06070

LADA, P.C.

Land Planners Land Development Consulting, Site Planning, Landscape Architects, Planners, Corridor Studies, Visual Assessment, Environmental Impact Statements, Erosion Control Specialists, Streetscapes, Recreation, and Master Planning

August 24, 2023

Mr. George MacGregor, Director of Planning
Town of Simsbury
933 Hopmeadow Street
Simsbury, CT 06070

RE: Site Plan Modification and Special Exception Use Application for 4 Victoria Lane

Dear Mr. MacGregor,

The owners of 4 Victoria Lane propose to construct an expansion of their kitchen and deck on the exterior of the rear portion of the house.

The project is located at 4 Victoria Lane and zoned R-40. The property is 1.417+/- acres in size and abuts lands of the Simsbury Land Trust to the west. The Simsbury Land Trust and the Town of Simsbury own several large parcels totaling over 60 acres which contain a large wetland system which runs north to south from Lenora Drive to Hedgehog Road and eventually to the Hop Brook on the eastern side of Old Farms Road. This site includes approximately 0.75+/- ac of wooded wetlands as per the Town of Simsbury GIS maps.

The site includes an existing house which was built in 1965, a deck which was built in 1990 and a bedroom/bath addition which was completed in 2002. The septic system was repaired in 2014 and a new septic tank installed. The house is a split level/raised ranch where there is living space at three levels- the garage level, the upper level and an intermediate level. All the existing construction is located in the 100' Upland Review Area as it is currently defined in the Town's GIS system. The current owner has owned the property since 1997.

The owner proposes to expand their kitchen to a more modern layout. The kitchen is located on the upper level. The kitchen will be expanded on the same upper level of the house. Construction shall consist of a series of posts which will hold up the new addition. This new construction minimizes the potential for flood and is resistant to flood damage (Section 6.6.1 and .2) as shown on the attached architectural plans. The proposed addition is 321+/- sf and will be located where the existing deck is as shown on the attached photos. A new deck is proposed along the rest of the rear face of the building (349+/- sf). Total area of disturbance is 800+/- sf all of which is within the Upland Review Area and all of it is in areas previously disturbed by past construction. The project will require limited site work- 11 posts with footings in sonotubes, limited removal of topsoil and placement of a stone cover to minimize weeds below the addition and deck. No other construction on the ground is proposed. Excess material will be removed from the site.

No changes to the septic system are required by the Health Code as no bedrooms are being added to the house. Silt fence is shown just downhill of the proposed construction as well as protection for the on site septic tank and field. An initial application has been approved by IWWA for a Wetland Permit.

In 2017, FEMA and the Town updated both the wetland limits and flood limits (based on new FEMA mapping for floodway and FIRM limits) and Floodplain regulations. These new lines affect this property and result in the need for both a Wetland Permit and a Special Exception (Section 6) approval for the proposed addition.

In order to determine if the project meets the criteria of Section 6, there are a number of steps required.

1. Determine if there is a Base Flood Elevation (BFE) established. If so, proceed to #2.
2. If so, where is it on the property?
3. What is the elevation of the existing house?
4. Is the elevation of the proposed addition 2' above the BFE?, If yes, proceed to #5.
5. Does the proposed work meet the criteria for new construction? Substantial Improvement? Or Other (also known as minor addition)?
6. Does the proposed work exceed 50% of the market value of the house?
7. If minor addition and less than 50% of the market value, project can proceed for Zoning Review.

1. Base Flood Elevation: Based on the current FEMA mapping (see attached map), the area has a defined base flood elevation (BFE) of 298'.

2. Survey: A survey has been prepared which shows the base flood elevation (298') and flood zone covering nearly the entire site almost up to Victoria Lane. According to the most recent version of the FEMA flood information, the existing house and septic system are within the floodzone.

3. Elevation of the existing house: Based on the attached survey, the front door of the house is at elevation 298.6 which is above the BFE. This also means that the garage/lower floor at elevation 294.4' is 3.6' below the base flood elevation. The upper floor is at elevation 303' which is 5' above the BFE.

4. Is the elevation of the proposed addition 2' above BFE? Since the upper level of the house is more than 2' above the BFE, the proposed addition will be more than 2' above the BFE. The proposed extension of the kitchen will be set at elevation 303' which 5' above the BFE. The proposed deck is to be set at 301.5' which is 1.5' above the BFE.

5. How is the proposed work to be classified- New Construction? Substantial improvement or other? The existing house predates the current regulations which means that the project would not be considered to be new construction and the start of construction would be when the new project begins. Substantial Improvement is defined in Section 17.4 of the Zoning Regulations as any work that exceeds 50% of the market value of the structure before the start of construction.

6. What is the cost of proposed construction and does the project meet that criteria? According to the project contractor, the proposed cost of the construction is \$110,000 which includes all the proposed interior renovation as well as the change to the building footprint as per Section 17.4. The Town of Simsbury Tax Assessor current data (see attached Property Card) shows an appraised value of \$285,300 (structure only). Although market conditions are such that the current market value of the house is likely higher than the Town's figure, this figure is one of the options allowed for this calculation under Section 17.4 - Market Value.

The Town Staff determined that any improvements after 2007 need to be used to calculate the overall improvements done to the house. The Town Staff reviewed the Building Department records and found several additional projects completed on the property since 2007/2008. These projects (HVAC, deck replacement and other smaller project) had a total cost of improvement of \$21,609.33 at the time of construction. When added to the proposed project value of \$110,000 - the total cost of construction (past and present) is \$131,609.66. Based on this figure, the cost of the construction is 46% of the appraised value which is less than 50% of the market value and, therefore, would not be considered to be a substantial improvement. The project would NOT be subject to Section 6.8.2, 6.8.3 and 6.8A. **This means that the project can proceed as described.**

In order for the Zoning Commission to grant approval, the project must meet the requirements of Section 6.6 of the Zoning Regulations. J.R. Russo and Associates was retained as the project engineer to address the appropriate requirements of Section 6.6 as noted below (items 5, 12, 13, 14) and as per their letter dated August 17, 2023 which is attached. In addition, the project architect, Blue Moon Collaborative, has also provided a letter to address items 1, 2 and 3 below. Items 4,6,7,8,9,10 and 11 are not applicable.

Therefore, the project is in compliance with Section 6.6 as follows:

1. The proposed project is to be constructed using methods and practices that minimize flood damage - See letter from architect
2. N/A, however the proposed project shall use material resistant to flood damage including placing utilities above the BFE- See letter from architect
3. N/A, however according to the project architect, the proposed project shall be anchored to prevent floatation, collapse or lateral movement of the structure. Please note- proposed project NOT located in floodway- See letter from architect
4. N/A, the project is NOT located near or entirely above water.
5. Any utilities for the new project will be located 2' above the BFE. We would note that there are existing utilities below the current BFE which are not proposed to be changed. This is also noted in letter from engineer.
6. N/A
7. N/A, the existing septic system is below the current BFE.
8. N/A
9. N/A
10. N/A
11. N/A -This item describes the Zoning limits of jurisdiction and location of zones.
12. The site is located in only one flood zone as noted in the letter from the engineer.

13. See attached letter from engineer *

14. See attached letter from engineer

* As per the letter from the project engineer, J.R. Russo and Associates, the project will result in the a loss of flood storage capacity of 14.38+/- cubic feet (based on posts, stairs etc proposed in the volume below elevation 298'). This is considered conservative as it does not take credit for the existing posts which are already in the flood zone volume. To compensate for this loss, excavation of 15+/- cf of existing soil in the lawn area on the northside of the house is proposed as shown on the proposed site plan. This will result in an additional 100sf of disturbance for the project to install silt fence, remove the soil, reset the topsoil and seed to lawn. This increases the overall project are of disturbance from 800+/- sf to 900 +/- sf. As this new disturbance is within the Upland Review Area, a modification of the approved wetland permit will be required.

All proposed work within a Floodplain requires a Special Exception in addition to compliance with Section 6 of the Zoning Regulations. As defined in Section 12, the Zoning Commission must review the following criteria for compliance as part of the review for a Special Exception:

1. Orderly Development: the proposed project is an existing home within an existing neighborhood. The proposed project will be located at the rear of the property and shall be in harmony with the appropriate and orderly development of the Town and the neighborhood. The proposed project will have no effect on the development or use of any neighboring property.
2. Property Values: the proposed project will increase the value of this house and contribute to the overall improvement of values for the neighborhood. There will be no increase in height for the existing building- the proposed project matches the roof line of the existing building.
3. Public Safety: The proposed project allows adequate access for all emergency equipment
4. Traffic Considerations: The proposed project is a building addition at the rear of the property and has no impact on roads or traffic.
5. Although the proposed project does not include any new planting, the proposed addition is at the rear of the property in an area already occupied by a deck.
6. The site has an existing septic system and on-site drilled well which are not affected by the proposed project.

Attached please find the following in support of the attached application for Site Plan and Special Exception review and approval .

1. Site Plan/Special Exception Application
2. Cover Sheet showing Location Plan/ Town GIS Map showing wetland limit and flood limit and FEMA Firmette
3. Site Plan
4. Survey
5. Proposed architectural drawings.
6. Annotated photographs
7. 2023 Assessors Property Card
8. Letter from J.R. Russo and Associates dated August 17, 2023
9. Letter from Blue Moon Collaborative dated August 24, 2023

Please place this project on the next available agenda to begin the Site Plan review and Public Hearing for Special Exception. Please let me know if you have any questions or need additional information.

Sincerely,



Terri Hahn, PLA
Principal
attachments



August 17, 2023

Terri Hahn
LADA, PC
104 West Street
Simsbury, CT 06070

Re: Building Addition
4 Victoria Lane, West Simsbury

Dear Terri,

Per your request, I have reviewed the Provisions for Flood Hazard Reduction provided in Section 6.6 of the Simsbury Zoning Regulations relative to the plans for a proposed addition and deck at 4 Victoria Lane in West Simsbury. The plans reviewed include the Site Plan (Sheet L-2, date 8/14/23 prepared by LADA, PC) and an Architectural Plan (Sheet A-1, revision date 8-11-23 prepared by Blue Moon Collaborative).

According to the current FEMA Flood map (see attached), the entire property at 4 Victoria Lane falls within the 100-year flood zone. The base flood elevation (BFE) at this location is listed as 298 feet above mean sea level. The finish floor of the enclosed portion of the addition is proposed to be at elevation 303.0. The finish floor of the adjacent deck is proposed to be at elevation 301.5. The bottom of the finish deck walking surface is proposed at elevation 300'-8", which is more than 2' above the BFE. The only structural features that will extend below the BFE include the supporting posts and stairs from the deck down to the existing grade.

The purpose of my review is to verify compliance of the proposed plan with the standards detailed in Section 6.6 of the regulations. A summary of my findings for each of the standards are provided below:

In all Special Flood Hazard Areas (SFHAs) the following provisions are required:

1. **New construction, substantial improvements, and structures that have sustained substantial damage shall be constructed using methods and practices that minimize flood damage.** See architect's letter.
2. **New construction, substantial improvements, and structures that have sustained substantial damage shall be constructed with materials and utility equipment resistant to flood damage.** See architect's letter.
3. **New construction, substantial improvements, and repairs to structures that have sustained substantial damage shall be anchored to prevent flotation, collapse or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.** See architect's letter.
4. **New construction, substantial improvements and repair to structures that have sustained substantial damage cannot be constructed or located entirely or partially**

over water unless they are a functionally dependent use or facility. The structure is not proposed over water.

5. **The bottom of all electrical, heating, ventilation, plumbing, air conditioning equipment, HVAC ductwork, and other service facilities, or any machinery or utility equipment or connections servicing a structure shall be elevated at or above two (2) feet above the base flood elevation (BFE) to prevent water from entering or accumulating within the components during conditions of flooding. This includes, but is not limited to, furnaces, oil or propane tanks, air conditioners, heat pumps, hot water heaters, ventilation ductwork, washer and dryer hook-ups, electrical junction boxes, and circuit breaker boxes. Based on the plans, no new equipment, as specified above, is proposed within two (2) feet of the base flood elevation.**
6. **New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system. Not applicable.**
7. **New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the system and discharges from the system into flood waters. Not applicable.**
8. **On-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding. Not applicable.**
9. **Above-ground storage tanks (oil, propane, etc.) which are located outside or inside of the structure must either be elevated at or above the base flood elevation (BFE) on a concrete pad, or be securely anchored with tie-down straps to prevent flotation or lateral movement, have the top of the fill pipe extended above the BFE, and have a screw fill cap that does not allow for the infiltration of flood water. Not applicable.**
10. **In any portion of a watercourse that is altered or relocated, the flood carrying capacity must be maintained. Notify adjacent communities and the Connecticut Department of Energy and Environmental Protection (CTDEEP), Land and Water Resources Division (IWRD) prior to any alteration or relocation of a watercourse. Not applicable.**
11. **If any portion of a structure lies within the Special Flood Hazard Area (SFHA), the entire structure is considered to be in the SFHA. The entire structure must meet the construction requirements of the flood zone. The structure includes any attached additions, garages, decks, sunrooms, or any other structure attached to the main structure. Decks or porches that extend into a more restrictive flood zone will require the entire structure to meet the standards of the more restrictive zone. See architect's letter.**

12. **If a structure lies within two or more flood zones, the construction standards of the most restrictive zone apply to the entire structure (i.e., structure must be built to the highest BFE). The structure includes any attached additions, garages, decks, sunrooms, or any other structure attached to the main structure. (Decks or porches that extend into a more restrictive zone will require the entire structure to meet the requirements of the more restrictive zone.)** Based on the FEMA Flood Map, it appears that the entirety of the proposed structure falls within a single flood zone with a BFE of 298.0.
13. **Compensatory Storage. The water holding capacity of the floodplain, except those areas which are tidally influenced, shall not be reduced. Any reduction caused by filling, new construction or substantial improvements involving an increase in footprint to the structure, shall be compensated for by deepening and/or widening of the floodplain. Storage shall be provided on-site, unless easements have been gained from adjacent property owners; it shall be provided within the same hydraulic reach and a volume not previously used for flood storage; it shall be hydraulically comparable and incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation, which would be displaced by the proposed project. Such compensatory volume shall have an unrestricted hydraulic connection to the same waterway or water body. Compensatory storage can be provided off-site if approved by the municipality.** Based on a review of the plans, the existing grades in the vicinity of the addition will be maintained. Thus, the loss of flood storage will be limited to the volume of the posts and stairs between the existing grade (294.3) and the BFE (298.0). The total loss of flood storage is calculated as:

6"x6" Posts: 11 x 0.5' x 0.5' x (298.0-294.30)	= 10.18 cubic feet
Stairs treads: 5 x (3/4"/12") x (9"/12") x 3'	= 0.70 cubic feet
Stair risers: 6 x (3/4"/12) x (7.72"/12") x 3'	= 0.72 cubic feet
Stair stringers & Railing (assume solid triangle):	
= 2 x 0.5 x (1.5"/12") x (298-294.3) x 6'	= <u>2.78 cubic feet</u>
Total	= 14.38 cubic feet

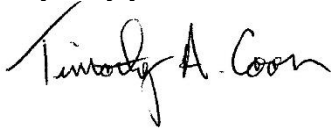
According to the Site Plan, the loss in flood storage capacity will be offset by the excavation in the lawn area to the north of the existing house. This area will be excavated between the existing 294 and 296 contours to provide a minimum of 14.48 cubic feet of compensatory storage to offset the loss in flood storage at these similar elevations due to the addition. The net result will be no loss in flood storage.

14. **Equal Conveyance. Within the floodplain, except those areas which are tidally influenced, as designated on the Flood Insurance Rate Map (FIRM) for the community, encroachments resulting from filling, new construction or substantial improvements involving an increase in footprint of the structure, are prohibited unless the applicant provides certification by a registered professional engineer**

demonstrating, with supporting hydrologic and hydraulic analyses performed in accordance with standard engineering practice, that such encroachments shall not result in any (0.00 feet) increase in flood levels (base flood elevation). Work within the floodplain and the land adjacent to the floodplain, including work to provide compensatory storage shall not be constructed in such a way so as to cause an increase in flood stage or flood velocity. The maximum width of structure (stairs and posts) being placed perpendicular to the flow direction is approximately four (4) feet and the cross sectional area in the flood zone is approximately 14.8 square feet. Based on the FEMA flood map and the 2016 State Contour data available on the Town of Simsbury GIS, the width of the flood zone in the vicinity of the structure is approximately 1,800 feet and the estimated cross section area is 10,800 square feet. Thus, the estimate reduction of flow area resulting from the addition is 0.14% of the available area for flood water flow. This decrease will have a negligible impact on the overall flood flow capacity and will not result in a noticeable increase in the flood levels.

If there are any questions, or you require further information, please call me at (860) 623-0569.

Very truly yours,

A handwritten signature in black ink that reads "Timothy A. Coon". The signature is written in a cursive style with a large initial 'T' and 'C'.

Timothy A. Coon, P.E.
J.R. Russo & Associates, LLC

Attachments



August 24,2023

Terri Hahn
LADA, PC
104 West Street
Simsbury, CT 06070

Re: Burrick Residence
4 Victoria Lane
West Simsbury

Dear Terri,

Per your request, I have reviewed Russo's letter of August 17,2023, and offer the following regarding items 1, 2, 3 concerns.

In all Special Flood Hazard Areas (SFHAs) the following provisions are required:

1. **New construction, substantial improvements, and structures that have sustained substantial damage shall be constructed using methods and practices that minimize flood damage.** By keeping the addition above flood elevations and only having (11) vertical posts in the flood plane, the construction is much less affected by damage from flooding.
2. **New construction, substantial improvements, and structures that have sustained substantial damage shall be constructed using materials and utility equipment resistant to flood damage.** By keeping the addition above flood elevations and only having vertical p.t. posts, galvanized anchors and connectors with concrete piers, the materials are resistant to flood damage. The utilities are all above the flood levels and located in the addition.
3. **New construction, substantial improvements, and structures that have sustained substantial damage shall be anchored to prevent flotation, collapse or lateral movement of the structure from hydrodynamic and hydrostatic loads, including the effects of buoyancy.** By keeping the addition above flood elevations and only having vertical (11) posts in the flood plane, the construction is much less affected by moving water. The posts are anchored to the concrete piers by galvanized anchors that resist lift and lateral loads. There are also diagonal braces that will resist the lateral loads. With the posts being the only structure in the flood area, there are little buoyancy loads.

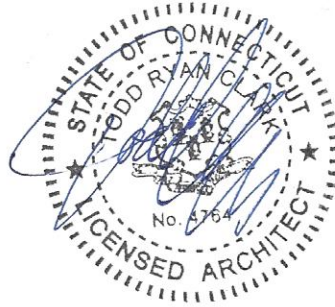
If there are any questions, or you require further information, please call me at (860) 543-0707.

Best Regards,



Todd Clark

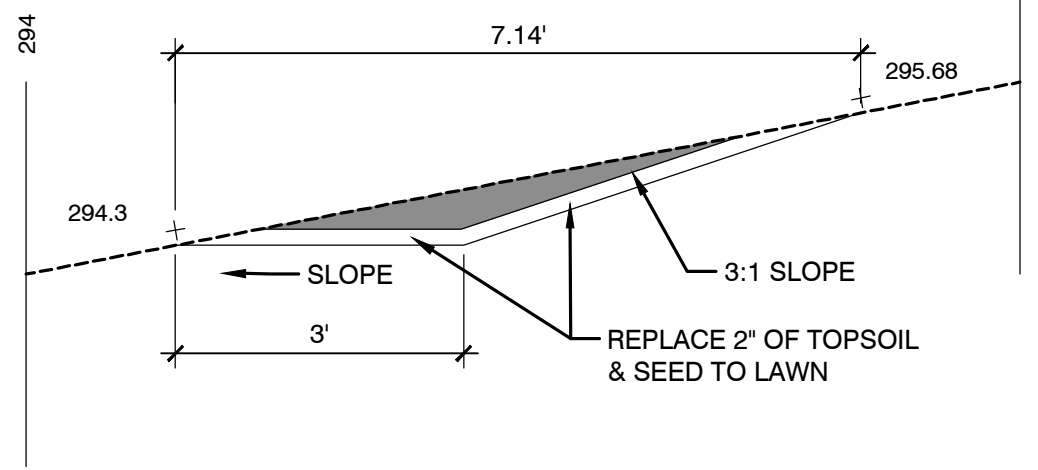
Member



SOURCES:

- SURVEY BY DENNO LAND SURVEYING & CONSULTING, LLC DATED 5/9/23 AND REVISED 6/16/23
- WETLANDS LIMIT FROM TOWN OF SIMSBURY GIS
- BASE FLOOD ELEVATION OF 298, 298 CONTOUR FROM SURVEY

■ - VOLUME EXCAVATED
 1.02 SF x 15' = 15.3 CF OF STORAGE CREATED

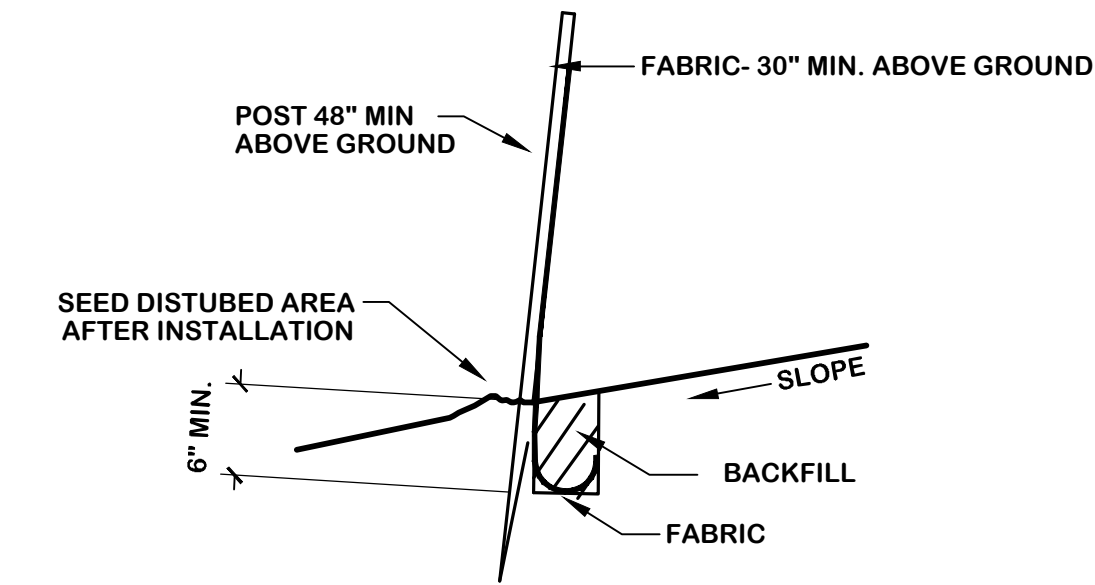


(A) SECTION - COMPENSATORY STORAGE AREA

SCALE: 1" = 2'

NOTE:

CONTRACTOR TO EXCAVATE AS SHOWN. REPLACE 2" OF TOPSOIL AND SEED TO LAWN



NOTES: SILT FENCE INSTALLATION:

1. USE 2" X 2" X 7" STAKES OF WOOD OR METAL SPACED 6' TO 10' APART.
2. BURY FABRIC ON UPHILL SIDE 6" DEEP WITH FABRIC CURLED UPSLOPE.
3. SECURE FABRIC TO EACH STAKE. FILTER FABRIC TO BE GEOFAB MATERIAL OR APPROVED EQUAL.
4. ANGLE STAKES TOWARD WATER SOURCE.
5. OVERLAP ENDS OF FABRIC TO PROHIBIT WATER FROM ESCAPING AROUND ENDS.

(IV) SILT FENCE
N.T.S.

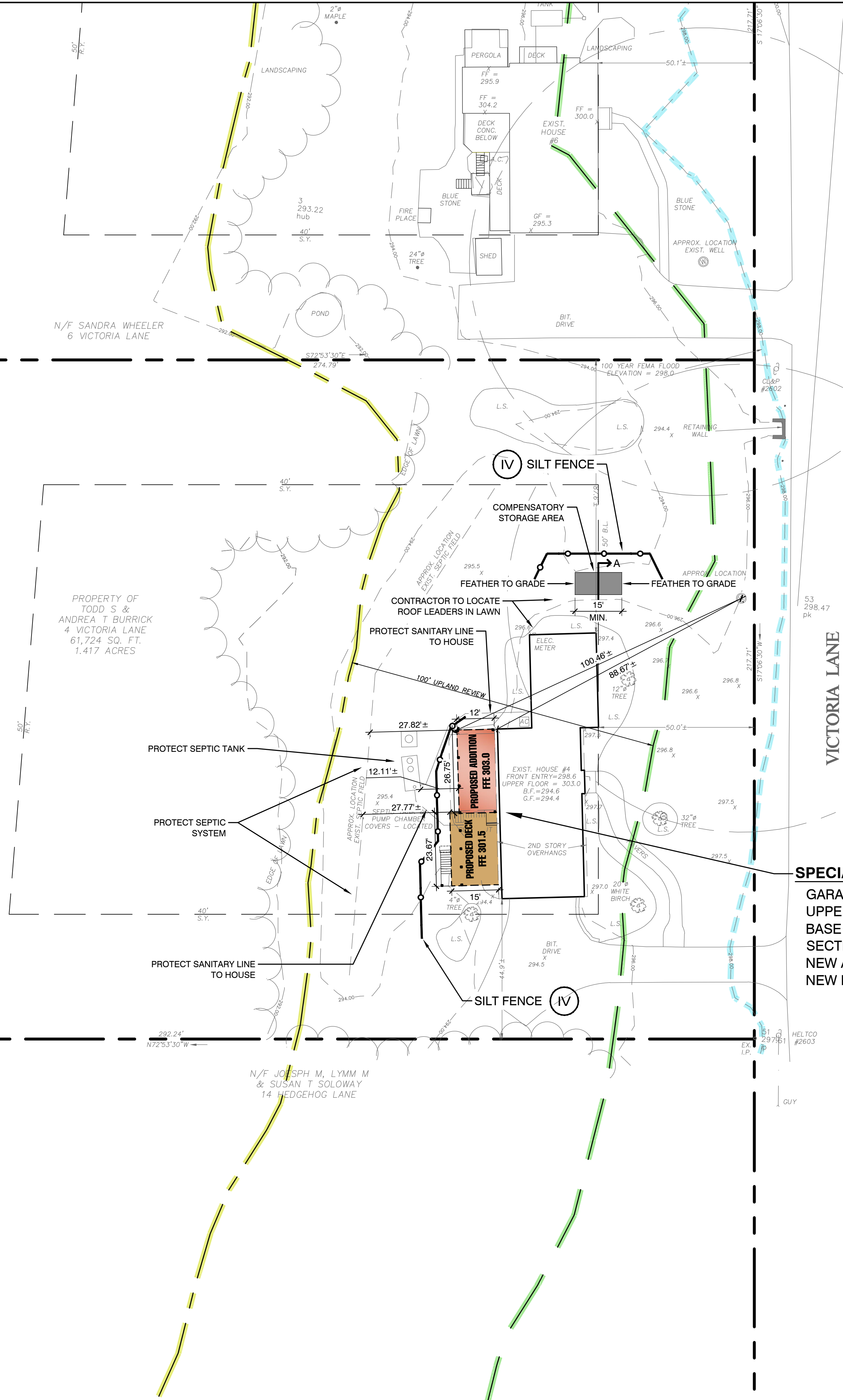
**PRIOR TO START OF CONSTRUCTION
 CALL 1-800-922-4455 BEFORE YOU DIG!**

N/F SIMSBURY LAND CONSERVATION TRUST, INC.

N/F SIMSBURY LAND CONSERVATION TRUST, INC.

PROPERTY OF TODD S & ANDREA T BURRICK
 4 VICTORIA LANE
 61,724 SQ. FT.
 1.417 ACRES

N/F JOSEPH M, LYMM M & SUSAN T SOLOWAY
 14 HEDGEHOG LANE



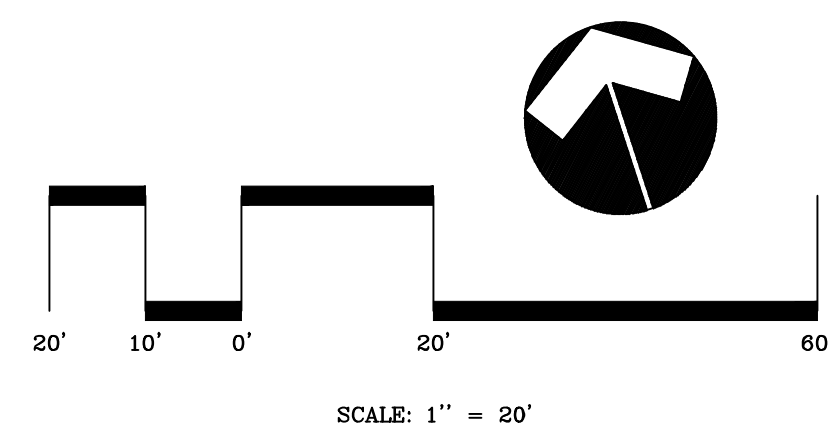
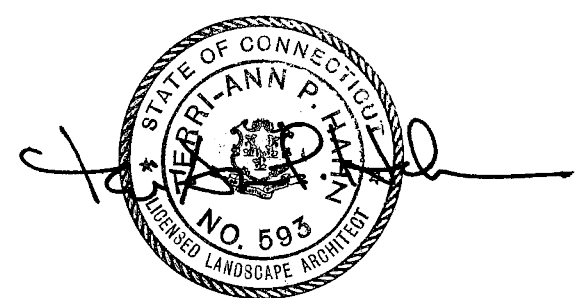
- LEGEND**
- PROPERTY LINE
 - - - SETBACK LINE
 - TOWN GIS WETLAND LIMIT
 - 100' UPLAND REVIEW LIMIT
 - BASE FLOOD ELEVATION (BFE) - 298
 - SILT FENCE
 - FFE FINISHED FLOOR ELEVATION

- NOTES TO CONTRACTOR:**
1. WHEN COMPLETE, SEED TO LAWN ANY DISTURBED SOILS.
 2. PROVIDE STONE COVER BELOW DECK & ADDITION.
 3. REMOVE SOIL & AVOID ROOF LEADER DISCHARGE FROM HOUSE.

- NOTE:**
1. SEE ARCHITECTURAL PLANS BY BLUE MOON COLLABORATIVE, DATED 3/13/23 & REVISED 8/11/23
 2. SEE LETTER FROM J.R. RUSSO FOR COMPLIANCE WITH SECTION 6.6
 3. COMPENSATION STORAGE AREA - REMOVE 15± CF OF SOIL, TOPSOIL & SEED TO LAWN. 15 CF IS EQUIVALENT TO 22.5 FIVE GALLON BUCKETS.

SPECIAL EXCEPTION (FLOODPLAIN) APPLICATION:

GARAGE LEVEL/BASEMENT FFE: 294.4/294.6
 UPPER LEVEL FFE: 303.0
 BASE FLOOD ELEVATION (BFE): 298.0 AS PER FEMA FIRMETTE/SURVEY
 SECTION 6.8A - SET ELEVATION OF PROPOSED ADDITION MIN. 2' ABOVE BFE
 NEW ADDITION FFE: 303.0 (5' ABOVE BFE)
 NEW DECK FFE: 301.50 (3'-6" ABOVE BFE)



LADA, P.C.
 Land Planners
 124 Wood Street
 Simsbury, CT 06070 (860) 661-4871
 Brimley, NY 12009 (845) 278-7424
 Email: lada@lada.com

Blue Moon Collaborative
 31 West Street, 3rd Floor
 West Simsbury, CT 06092
 (860) 278-7424

RUSSO
 SURVEYING & ENGINEERS
 315 Main Street, 2nd Floor
 West Simsbury, CT 06092
 (860) 278-7424

Owner:
 Todd & Andrea Burrick
 4 Victoria Lane
 West Simsbury, CT 06092

Date	Description	No.
09/28/23	Health District	1

Revisions

Site Plan

4 Victoria Lane
 West Simsbury, CT

Project: 2398
 Scale: 1" = 20'
 Date: 08/14/23
 Drawn by: DFM
 Checked by: TPH
 Drawing No.

N/F SIMSBURY LAND
CONSERVATION TRUST, INC.

N/F SANDRA WHEELER
6 VICTORIA LANE

PROPERTY OF
TODD S &
ANDREA T BURRICK
4 VICTORIA LANE
61,724 SQ. FT.
1.417 ACRES

N/F JOESPH M, LYMM M
& SUSAN T SOLOWAY
14 HEDGEHOG LANE

VICTORIA LANE

LEGEND	
	PROPERTY LINE
	CHAINLINK FENCE
	TREE/VEGETATION LINE
	BITUMINOUS PAVEMENT
	BITUMINOUS/CONCRETE CURB
	MH O YD MANHOLE OR YARD DRAIN
	CATCH BASIN
	FIRE HYDRANT
	WATER GATE
	UTILITY POLE
	CONC.
	BIT.
	MON.
	FF FINISH FLOOR
	FL FLOW LINE
	L.S. LANDSCAPING
	LIGHT

MAP REFERENCES:

1. "MAUREEN ACRES PROPERTY OF FARMSTEAD, INCORPORATED OLD FARMS ROAD & HEDGEHOG LANE SIMSBURY, CONNECTICUT SCALE 1" = 100' JANUARY 8, 1982 SURVEY BY HAROLD R. SANDERSON C.E. & L.S. BLOOMFIELD CONNECTICUT A-40 ZONE LOTS 7 & 9 REVISED 4-24-87"

SURVEY NOTES:

THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

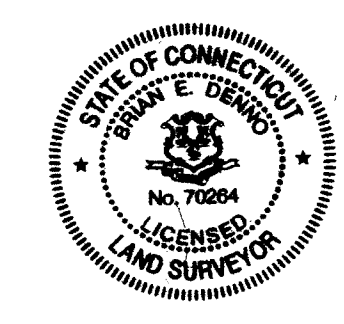
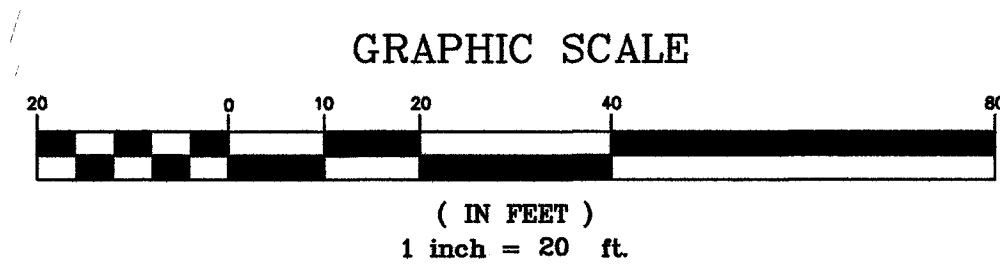
THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.
BOUNDARY DETERMINATION CATEGORY-RESURVEY BASED ON A DEPENDENT RESURVEY.
THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2, AND VERTICAL ACCURACY CLASS T-2.

HORIZONTAL AND VERTICAL DATUM IS BASED ON GPS OBSERVATION FROM 6/16/20.

HORIZONTAL DATUM IS NAD 83, VERTICAL DATUM IS NAVD 88.

EXISTING SEPTIC LOCATION TAKEN IN PART FROM FVHD RECORDS.

UTILITY STATEMENT
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

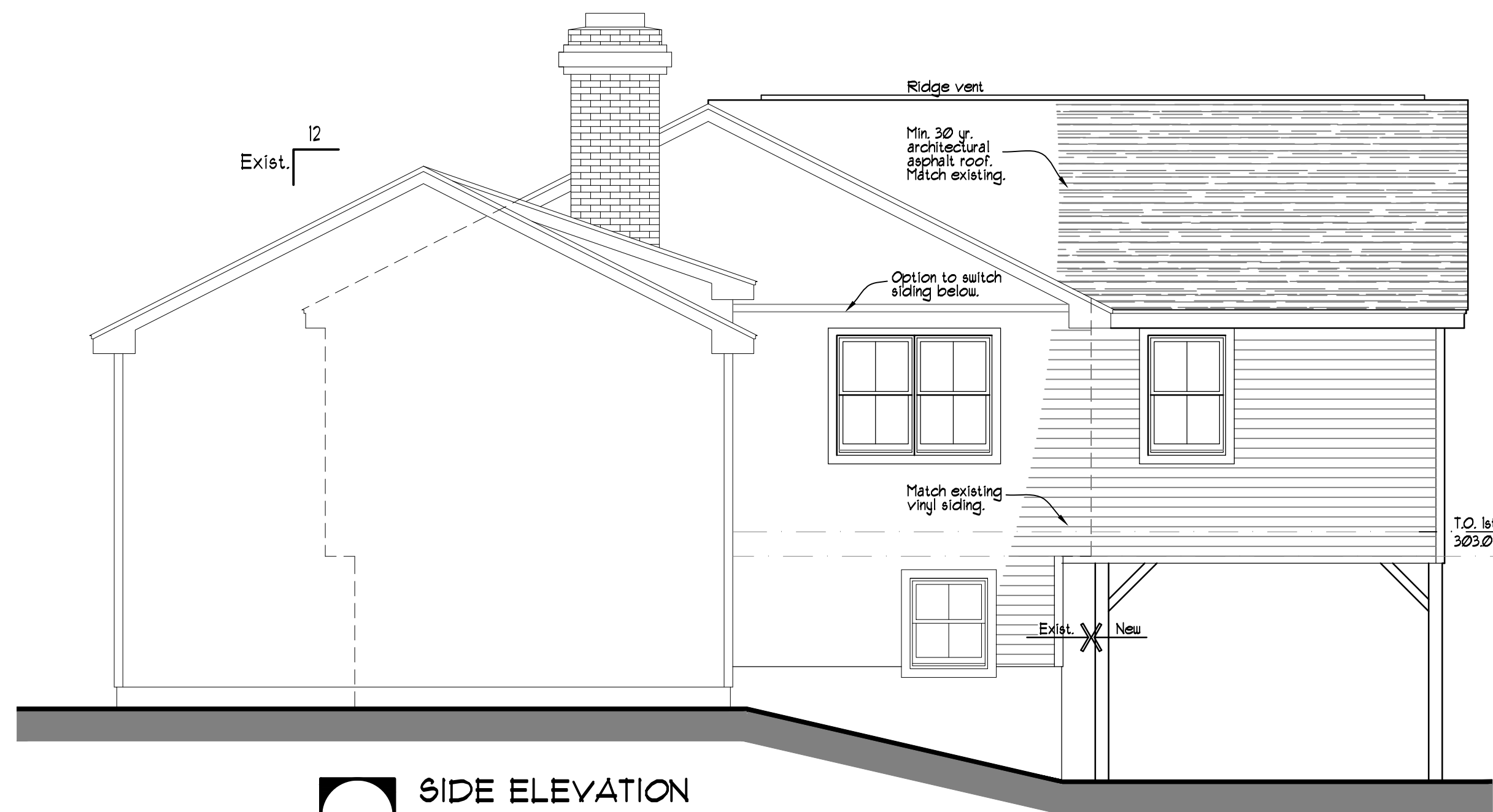


REVISIONS:
6/16/23 - ADDITIONAL SPOT GRADES SHOWN

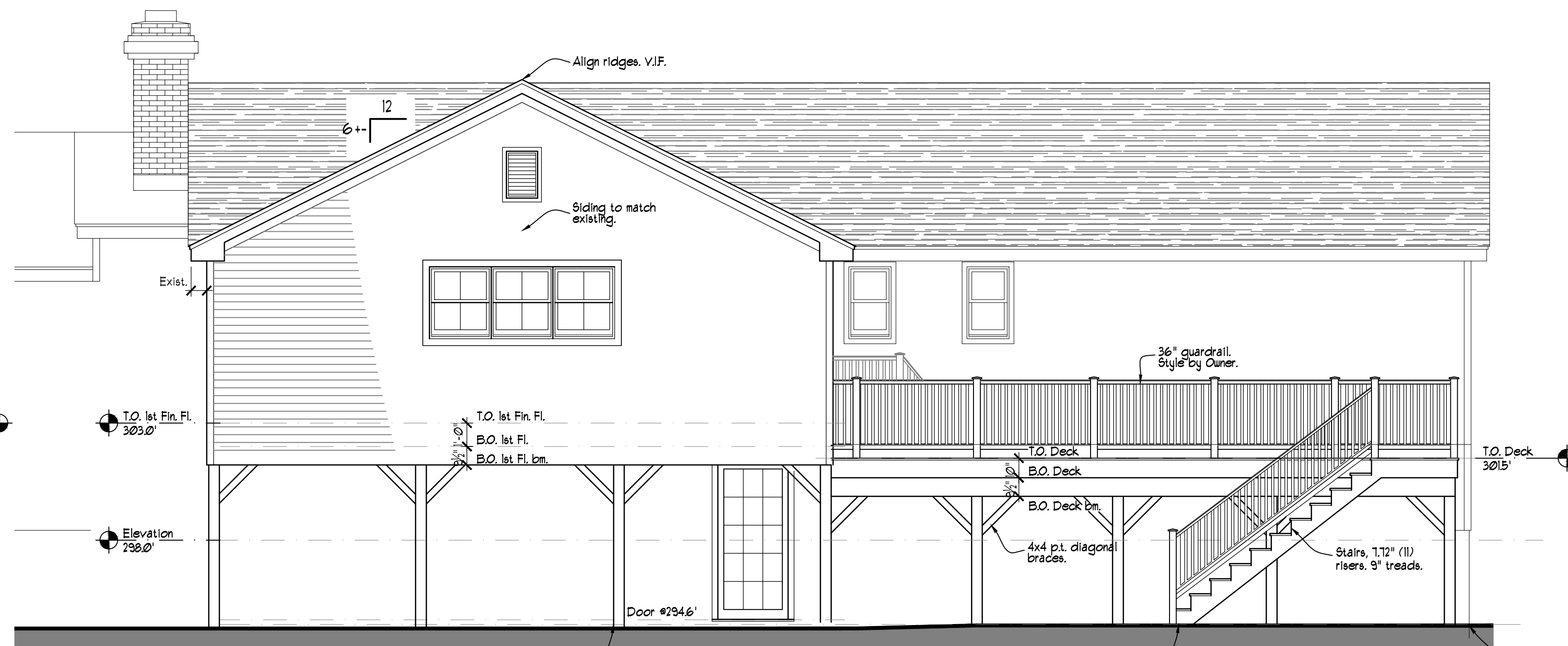
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED
DENNO LAND SURVEYING & CONSULTING, LLC
2 TUNXIS RD. STE. 214. TARIFFVILLE, CT 06081

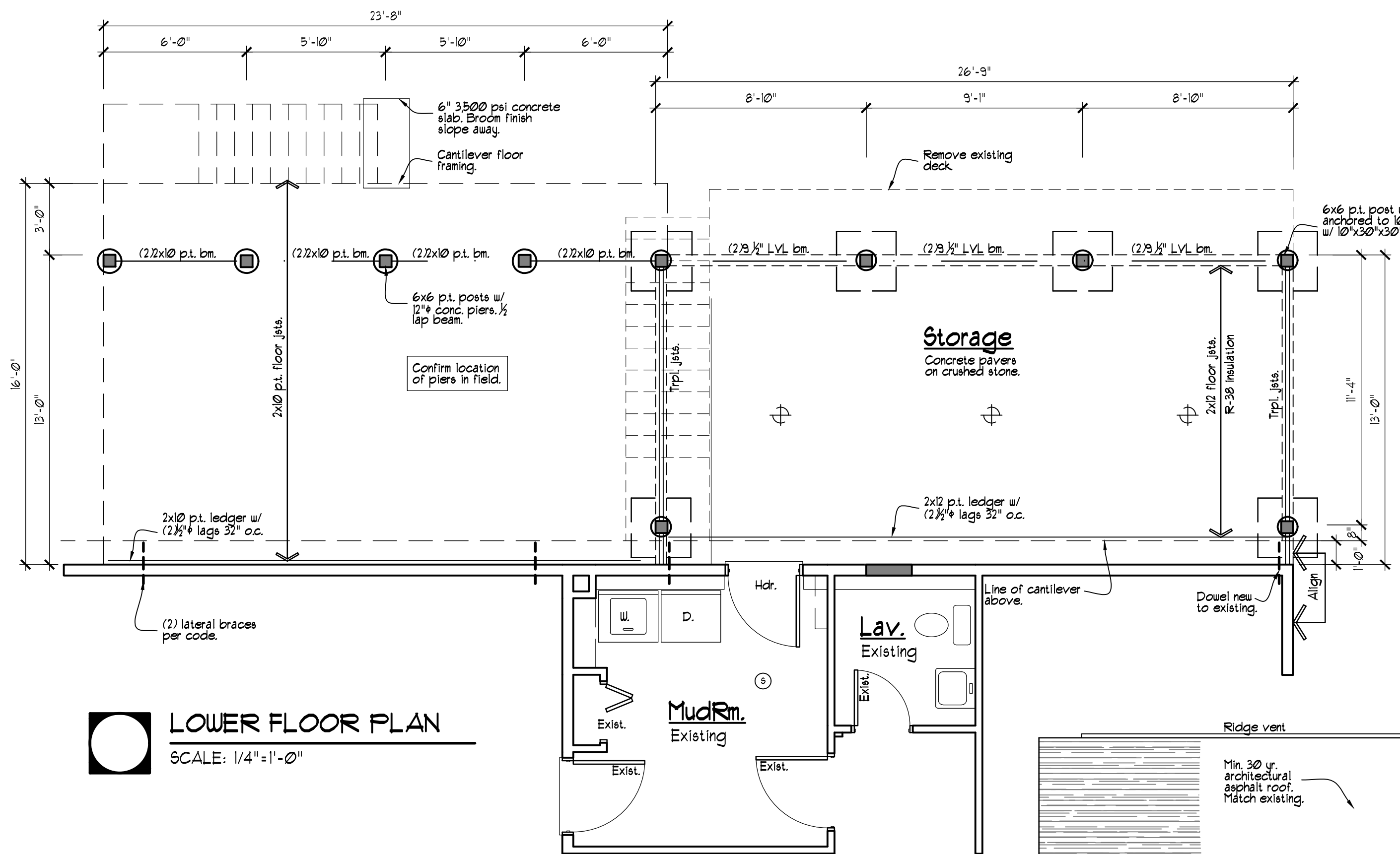
BOUNDARY & TOPOGRAPHIC SURVEY		
PREPARED FOR		
TODD S & ANDREA T BURRICK		
4 VICTORIA LANE		
SIMSBURY, CONNECTICUT		
SCALE 1"=20'	DATE 5/9/23	SHEET NO. 1 OF 1



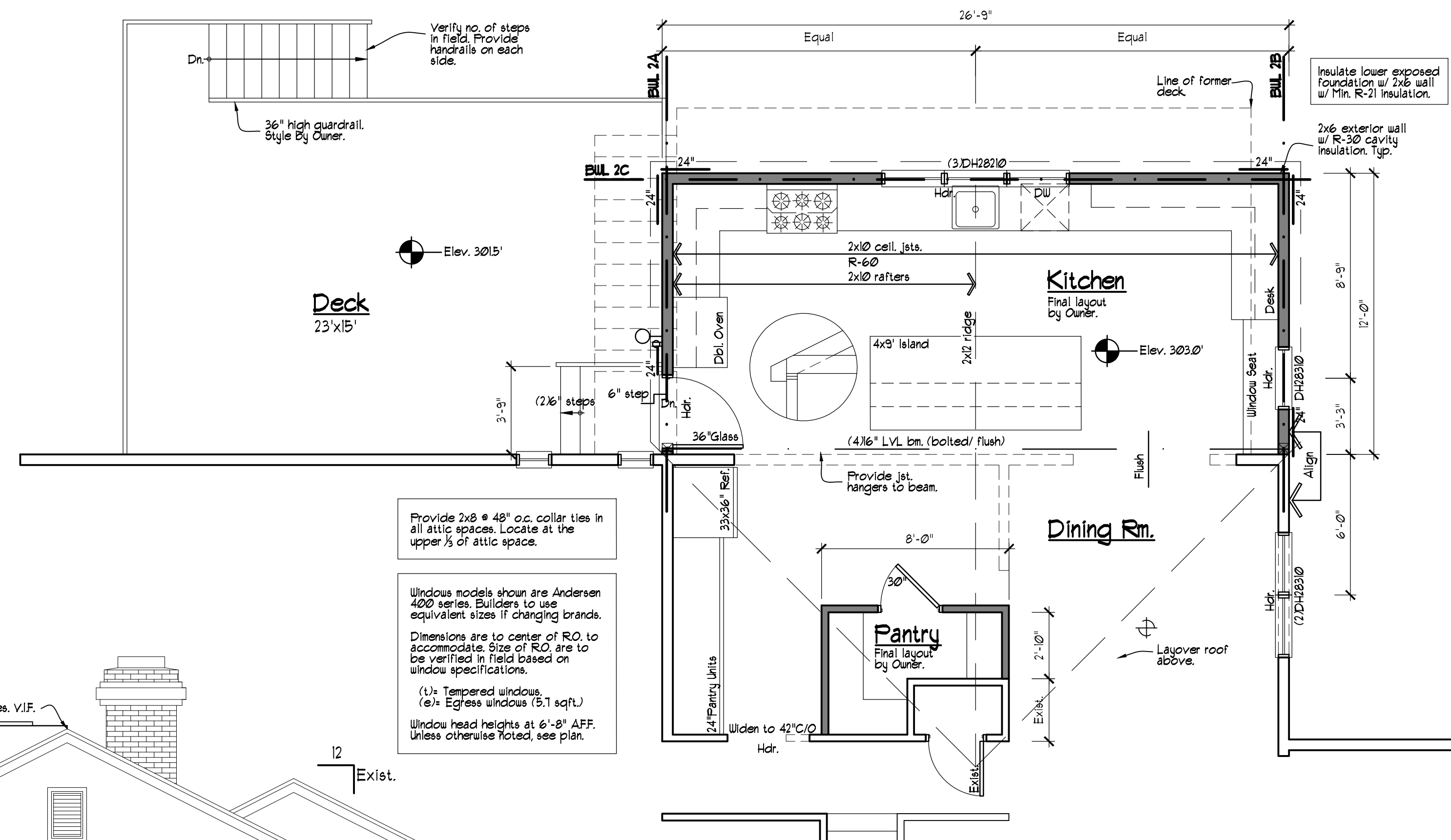
SIDE ELEVATION
SCALE: 1/4"=1'-0"



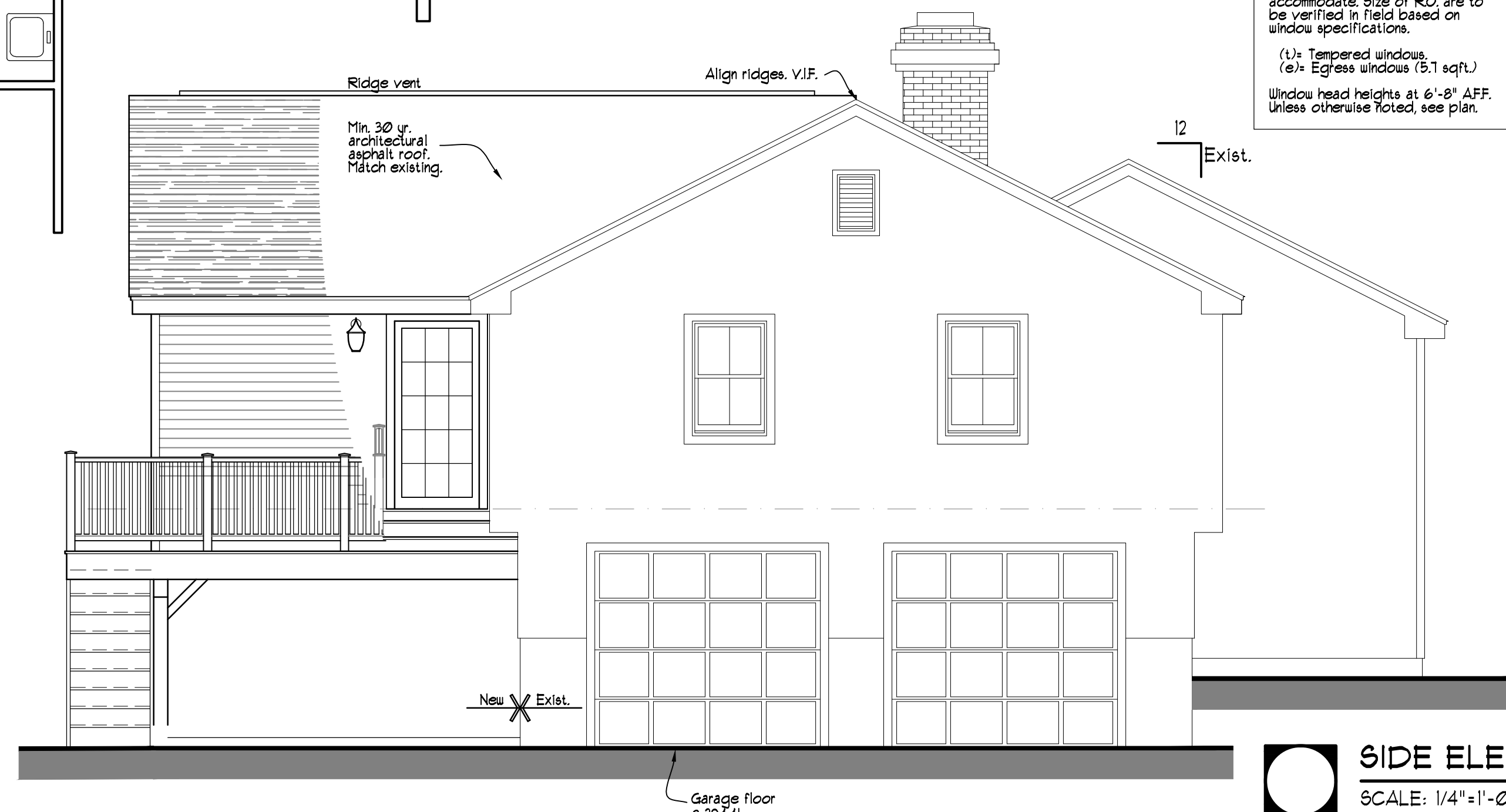
REAR ELEVATION
SCALE: 1/4"=1'-0"



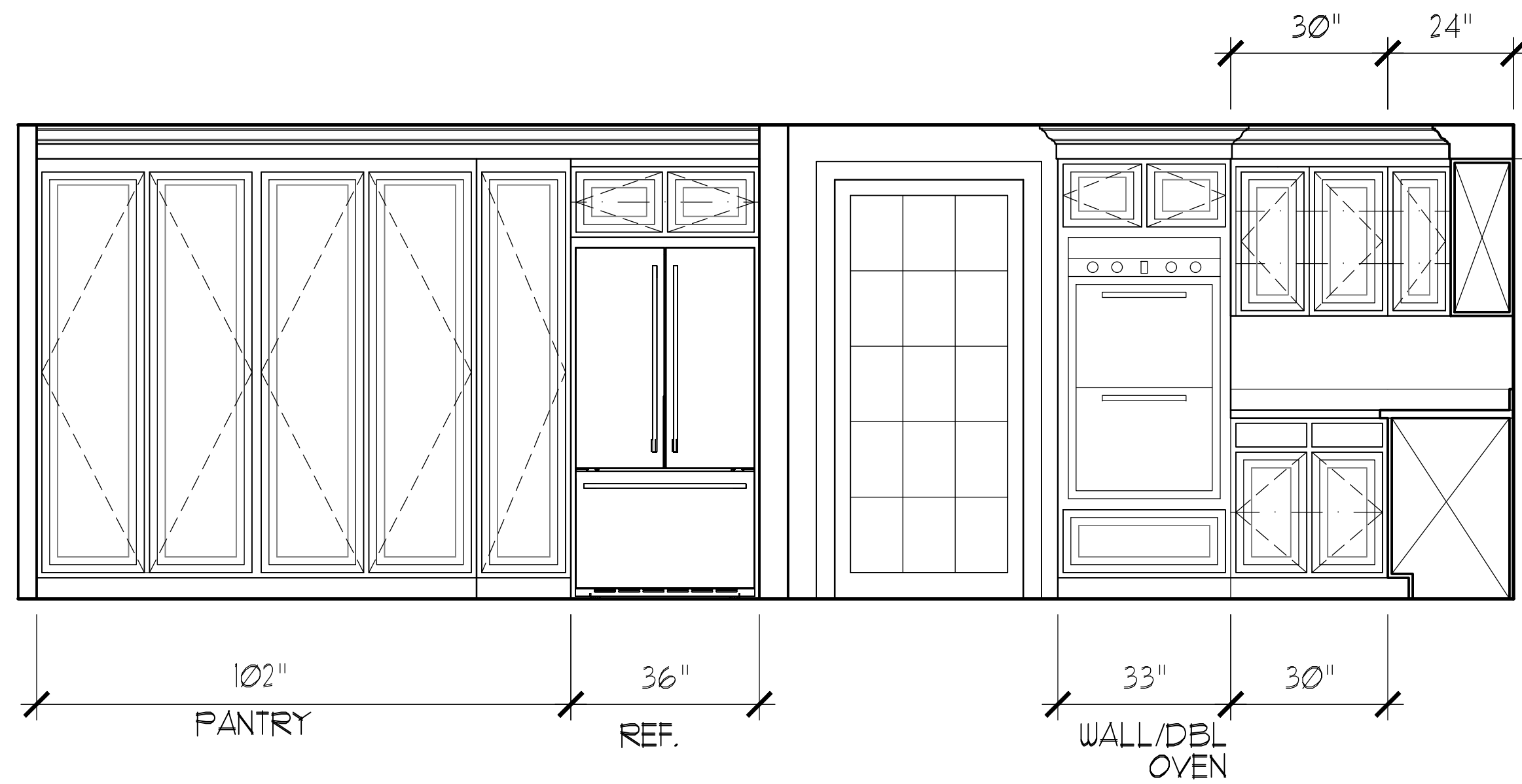
LOWER FLOOR PLAN
SCALE: 1/4"=1'-0"



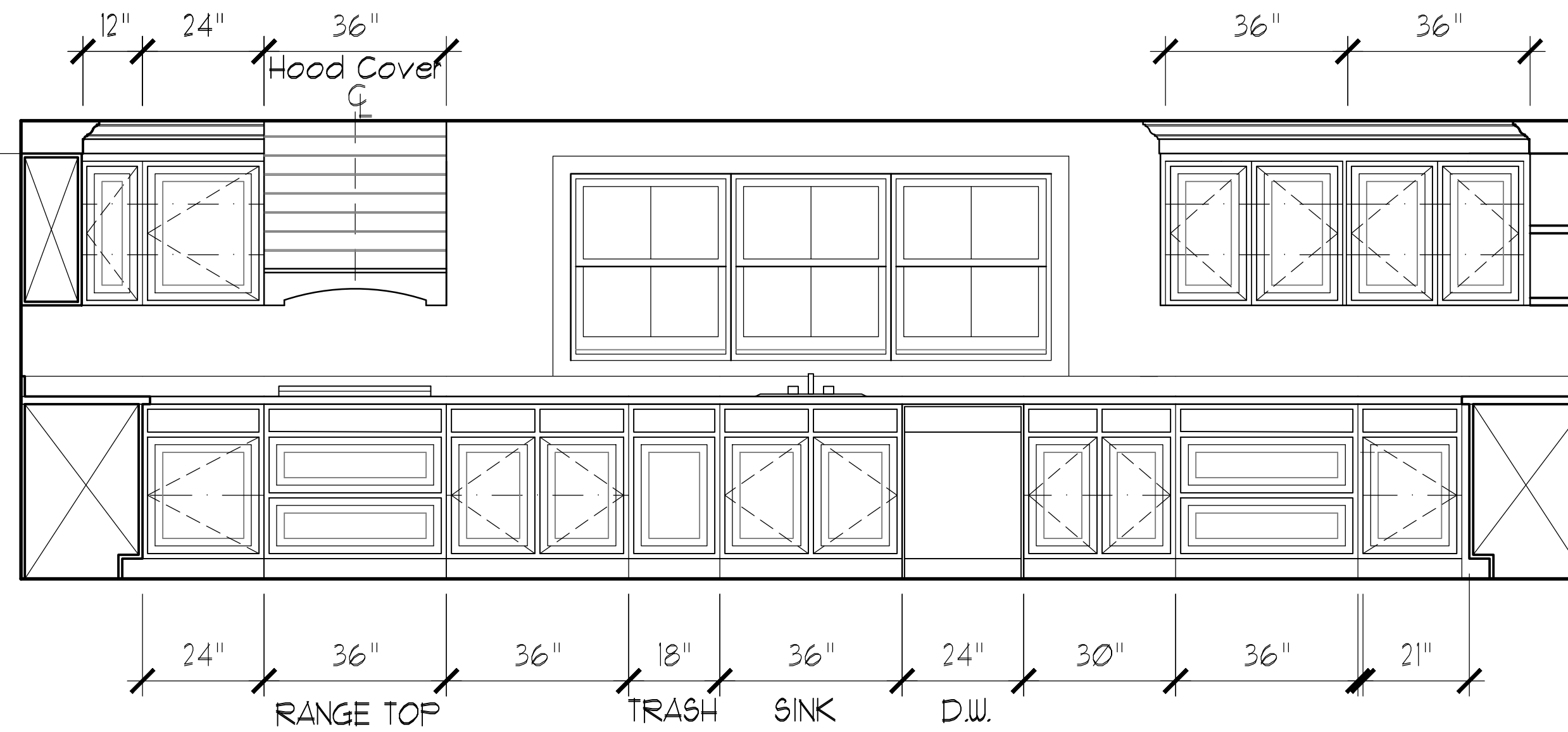
MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"



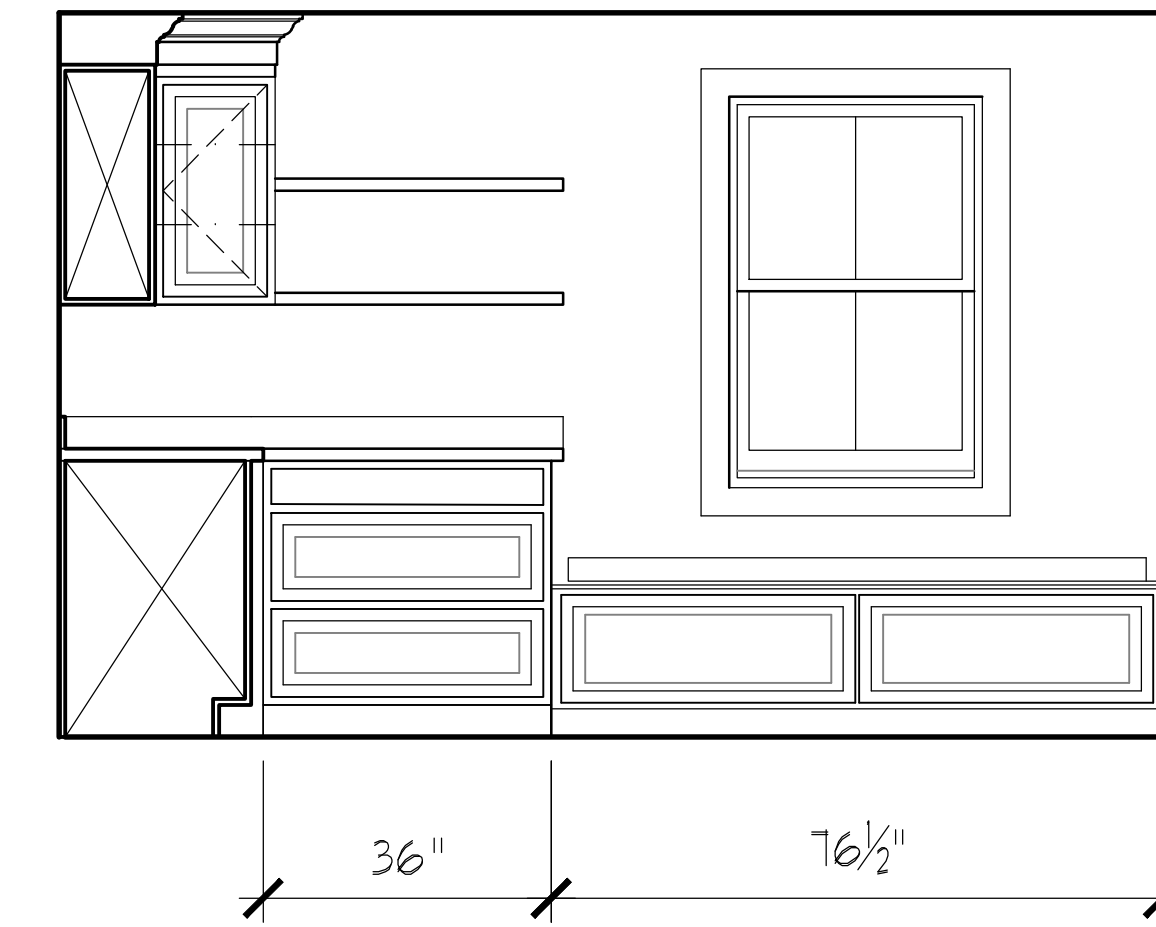
SIDE ELEVATION
SCALE: 1/4"=1'-0"



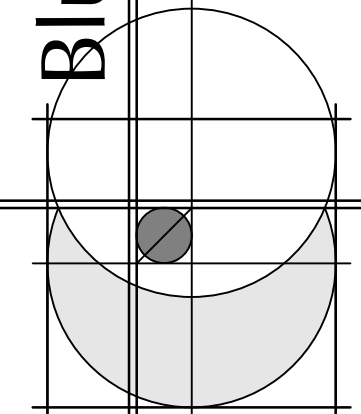
A KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



B KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



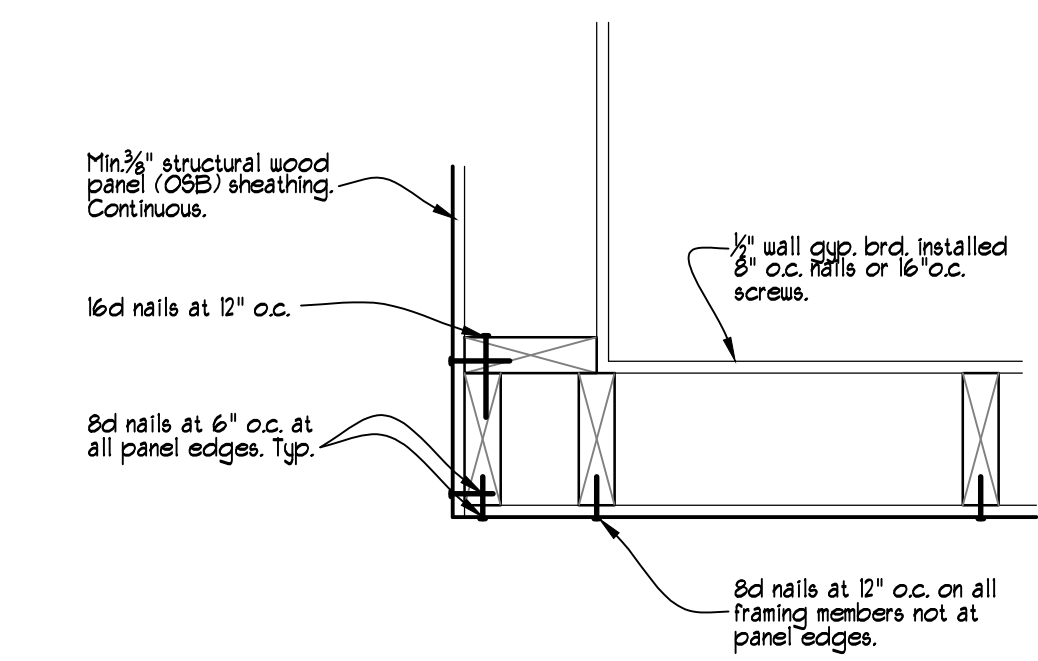
C KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



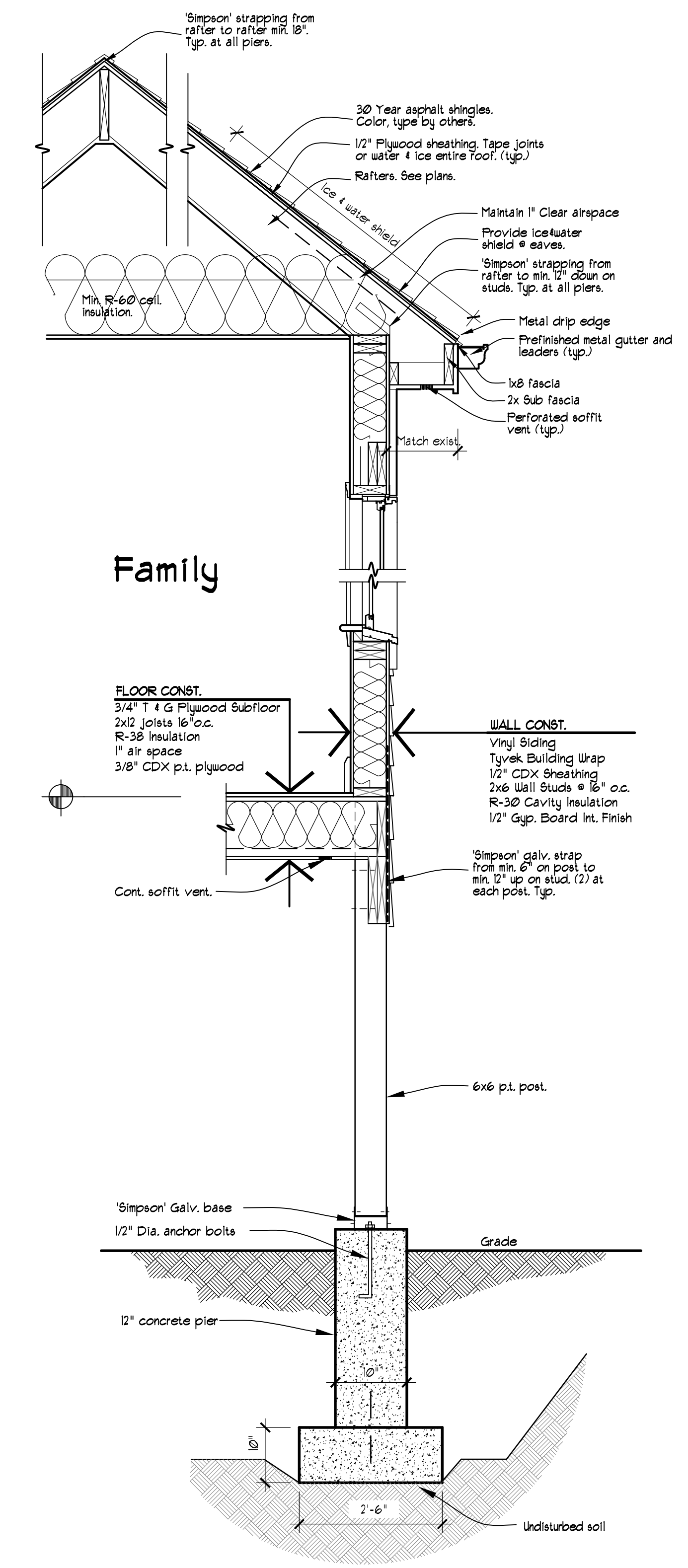
Wall Bracing Schedule												
Ftr.	Wall Brace Number	Braced Wall Line Spacing	Method	Min. length required Table R602.10.5	Adjustment Factors				Adjusted min. Length	Bracing Length Provided	800# Hold Down	Block'g Required
					B Exposure	C Ridge Hgt.	d 1st Fl.	e No. of Ply.				
Base	NA											
First	1A	26'	C5	3/8" x 16'+8.6 lf.	(B) 1.0	.95	(8') 1.0	(2) 1.0	7.4'	8.0'	N	N
	1B	26'	C5	3/8" x 16'+8.6 lf.	(B) 1.0	.95	(8') 1.0	(2) 1.0	7.4'	8.0'	N	N
	1C	1'	C5	3/8" x 12'+4.0 lf.	(B) 1.0	.95	(8') 1.0	(2) 1.0	3.4'	4.0'	N	N
	2A	26'	C5	3/8" x 16'+4.3 lf.	(B) 1.0	.95	(8') 1.0	(2) 1.0	3.7'	4.0'	N	N
	2B	26'	C5	3/8" x 16'+4.3 lf.	(B) 1.0	.95	(8') 1.0	(2) 1.0	3.7'	4.0'	N	N
	2C	1'	C5	3/8" x 12'+2.0 lf.	(B) 1.0	.95	(8') 1.0	(2) 1.0	1.7'	4.0'	N	N

Wind Speed Category: B (120 mph) Simsbury
 Condition: Two story
 Type of Brace: Continuous sheathing (C5) per T602.10.5, Method #3
 Amount of bracing: T602.10.5
 Method 3: Wood structural panel sheathing. Min. thickness not less than 3/8". Installed per T602.3(3).
 Blocking required: Per 602.10.1.
 Orientation of panels: Horizontal or vertical.
 Gypsum Board panels: Fastened 4" o.c. at panel edges including top and bottom plates and all horizontal joints blocked. 1" o.c. field.

IRC 2021 w/ CT State Building Code 2022 amendments.
 1st floor load/ living: 40 psf.
 2nd floor load/ sleeping: 30 psf.
 Attic load w/ storage: 20 psf.
 Snow Load: 35 psf.
 Blocking required: Per 602.10.1.
 Orientation of panels: Horizontal or vertical.
 Gypsum Board panels: Fastened 4" o.c. at panel edges including top and bottom plates and all horizontal joints blocked. 1" o.c. field.



EXT. CORNER FASTENING
 SCALE: 1-1/2"=1'-0"



TYPICAL WALL SECTION
 SCALE: 3/4"=1'-0"

Blue Moon Collaborative
 171 Central Street | Bristol, CT 06010
 todd@bluemooncollaborative.com
 ashley@bluemooncollaborative.com

Burrick Addition
 4 Victoria Ln.
 West Simsbury, CT

Project Description
Braced Wall Details
 Typical Wall Section

Date: 3-13-2023
 Revisions:
 5-22-2023
 5-24-2023

Drawn By: TC,AK



Kitchen at upper level



Garage

Septic System

Existing Conditions – June 2023

Proposed Changes



- Replace Deck with addition in same dimensions
- Extend new deck to end of house (toward garage)

New Addition
Area (Replaces
deck)



New Deck Area

Below kept
open so water
can flow
through

Compensatory Storage Area

Remove soil in this area . Blend to existing slope. Replace 3" of topsoil and seed back to lawn. Total volume of soil to be removed is 15+/- cf. 1 cf equals 7.5 gallons. So need to remove 22.5 five gallon buckets worth of soil.



Contractor to adjust for roof leader pipe discharge



Town of Simsbury, CT

Property Listing Report

Map Block Lot

C08 212 013

Building # **1**

Unique Identifier

30124400

Property Information

Property Location	4 VICTORIA LANE
Mailing Address	4 VICTORIA LANE WEST SIMSBURY CT 06092
Land Use	Residential
Zoning Code	R-40
Neighborhood	38

Owner	BURRICK TODD S AND ANDREA T
Co-Owner	
Book / Page	0468/0135
Land Class	Residential
Census Tract	4662020
Acreage	1.42

Valuation Summary

(Assessed value = 70% of Appraised Value)

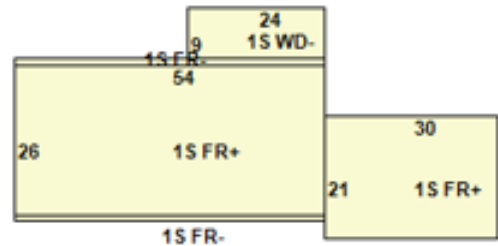
Item	Appraised	Assessed
Buildings	285300	199710
Outbuildings	0	0
Land	118100	82670
Total	403400	282380

Utility Information

Electric	No
Gas	No
Sewer	No
Public Water	No
Well	No



C08-212-013 03/17/2012



Primary Construction Details

Year Built	1965
Building Desc.	Residential
Building Style	Raised Ranch
Stories	1
Exterior Walls	Vinyl
Exterior Walls 2	
Interior Walls	Dry Wall
Interior Walls 2	
Interior Floors 1	Hardwood
Interior Floors 2	

Heating Fuel	Oil
Heating Type	Hot Water
AC Type	Central
Bedrooms	5
Full Bathrooms	3
Half Bathrooms	1
Extra Fixtures	1
Total Rooms	8
Bath Style	NA
Kitchen Style	
Occupancy	1

Livable Area (ft)	2142
Building Use	Single Family
Building Condition	Good
Frame Type	Wood Frame
Building Grade	0
Fireplaces	2
Wood Stoves	0
Attic Access	PD Stairs
Roof Style	Gable
Roof Cover	Asphalt

Bsmt Area	2034
Fin Bsmt Area	360
Fin Bsmt Quality	Finished
Bsmt Access	Walkout
Bsmt Gar	2
Bsmt Sump Pump	No

National Flood Hazard Layer FIRMette



72°51'15"W 41°53'27"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99	With BFE or Depth Zone AE, AO, AH, VE, AR

		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS OF FLOOD HAZARD

		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

OTHER AREAS

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary

OTHER FEATURES

		Digital Data Available
		No Digital Data Available
		Unmapped

MAP PANELS

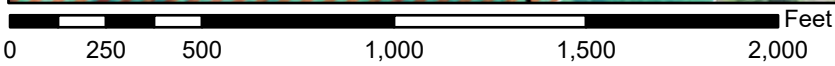
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/15/2023 at 8:21 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



1:6,000

72°50'38"W 41°53'N

Basemap Imagery Source: USGS National Map 2023



Town
Wetland
Limit

Town
Flood Limit

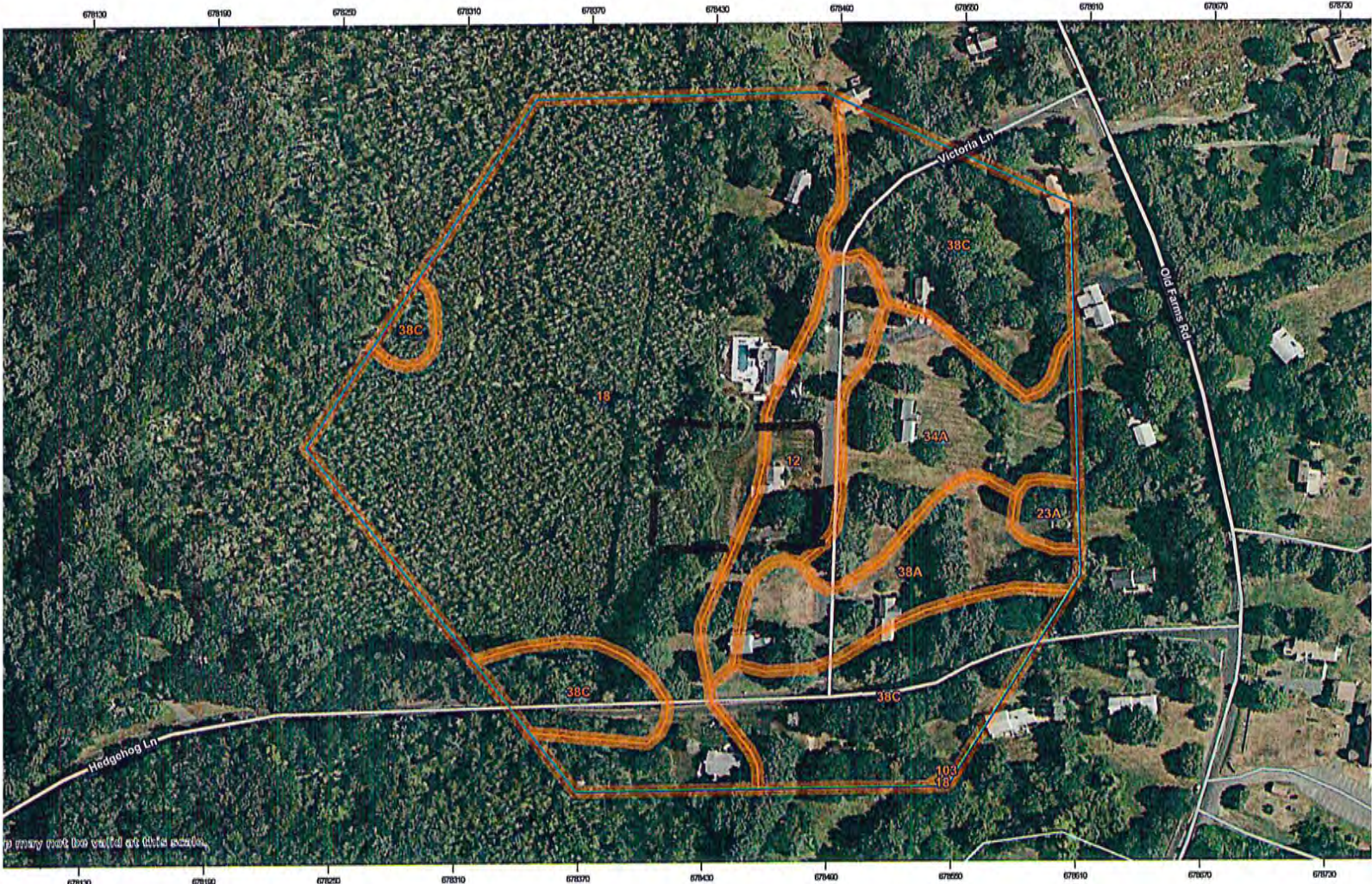
MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Simsbury and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 75 feet



Soil Map—State of Connecticut
(4 Victoria Lane Simsbury CT - SOILS)



Graphic Scale: 1:1,970 if printed on B landscape (17" x 11") sheet.
0 25 50 100 150 Meters
0 50 100 200 300 Feet
Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

Natural Resources
Conservation Service





































Web Soil Survey
National Cooperative Soil Survey

Soils Map
4 VICTORIA LANE
West Simsbury, CT

LADA, P.C. Land Planners 5/30/2023

Soil Map—State of Connecticut
 (4 Victoria Lane Slimsbury CT - SOILS)

MAP LEGEND

- | | |
|--|---|
|  Area of Interest (AOI) |  Spoil Area |
| Soils |  Stony Spot |
|  Soil Map Unit Polygons |  Very Stony Spot |
|  Soil Map Unit Lines |  Wet Spot |
|  Soil Map Unit Points |  Other |
| Special Point Features |  Special Line Features |
|  Blowout | Water Features |
|  Borrow Pit |  Streams and Canals |
|  Clay Spot | Transportation |
|  Closed Depression |  Rails |
|  Gravel Pit |  Interstate Highways |
|  Gravelly Spot |  US Routes |
|  Landfill |  Major Roads |
|  Lava Flow |  Local Roads |
|  Marsh or swamp | Background |
|  Mine or Quarry |  Aerial Photography |
|  Miscellaneous Water | |
|  Perennial Water | |
|  Rock Outcrop | |
|  Saline Spot | |
|  Sandy Spot | |
|  Severely Eroded Spot | |
|  Sinkhole | |
|  Slide or Slip | |
|  Sodic Spot | |

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.
 Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut
 Survey Area Data: Version 22, Sep 12, 2022

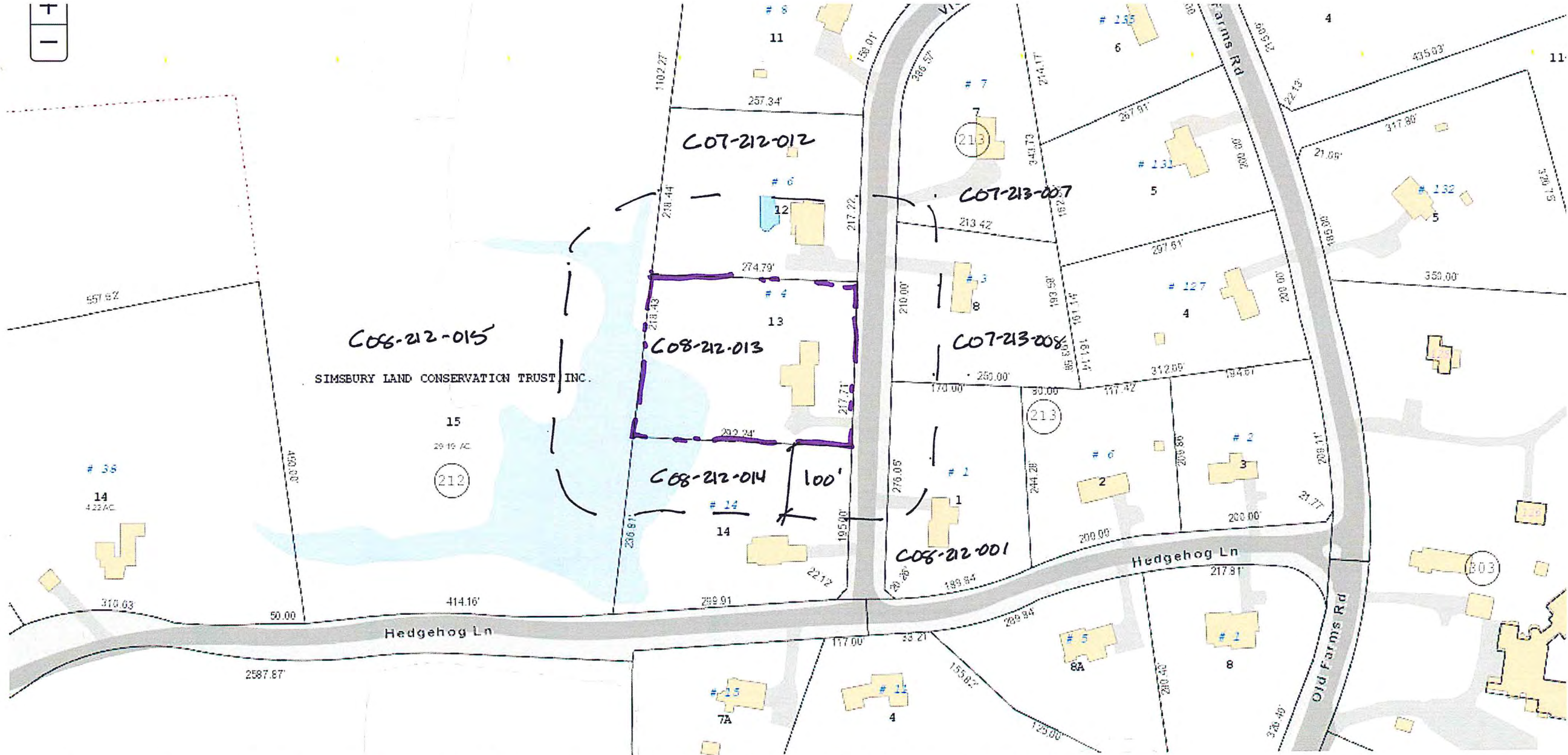
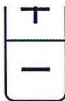
Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 14, 2022—Oct 6, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres In AOI	Percent of AOI
12	Raypol silt loam	1.5	6.3%
18	Catden and Freetown soils, 0 to 2 percent slopes	12.7	52.5%
23A	Sudbury sandy loam, 0 to 5 percent slopes	0.2	0.9%
34A	Merrimac fine sandy loam, 0 to 3 percent slopes	2.2	9.1%
38A	Hinckley loamy sand, 0 to 3 percent slopes	1.7	6.9%
38C	Hinckley loamy sand, 3 to 15 percent slopes	5.9	24.2%
103	Rippowam fine sandy loam	0.0	0.0%
Totals for Area of Interest		24.2	100.0%



Full Extent Zoom In Zoom Out Prev Extent Next Extent Pan **Parcel Information** Simple Measure Path Measure Area Measure

[MapXpress v1.2](#)

Scale: 1 in = 150 ft

CT Stat

Propert