



Town of Simsbury

Office of Community Planning and Development - Zoning Commission Application

DATE: _____ FEE: \$ _____ CK#: _____ APP#: _____

PROPERTY ADDRESS: 140 Nod Road

NAME OF OWNER: Simsbury Real Estate Holdings, LLC

MAILING ADDRESS: 140 Nod Road, Weatogue, CT 06089

EMAIL ADDRESS: kc@patusangroup.com TELEPHONE # 860-502-7600

NAME OF AGENT: _____

MAILING ADDRESS: _____

EMAIL ADDRESS: _____ TELEPHONE # _____

ZONING DISTRICT: R-40 LOT AREA: 118+/- SQ FT/ACRES

Does this site have wetlands? YES NO Have you applied for a wetlands permit? YES NO

REQUESTED ACTION (PLEASE CHECK APPROPRIATE BOX):

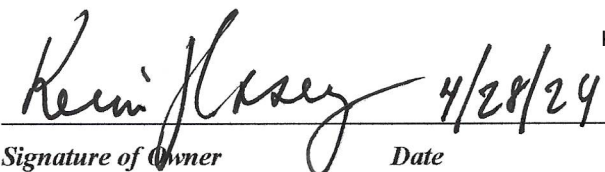
- ZONE CHANGE:** The applicant hereby requests that said premises be changed from zone _____ to zone _____.
- TEXT AMENDMENT:** Please attach proposed changes, including Sections and purposes.
- SPECIAL EXCEPTION:** The applicant hereby requests a public hearing pursuant to Section _____.
- SITE PLAN APPROVAL:** The applicant hereby requests
 - PRELIMINARY
 - FINAL
 - SITE PLAN AMENDMENT pursuant to Section 11**
- SIGN PERMIT**
- OTHER (PLEASE EXPLAIN):** _____

Site Plan Amendment to allow a 480+/- sf Ice Cream shop to be constructed where former Grill/ Ice Cream shop existed.

Minor site changes for accessible route, walkway definition, parking striping, directional signs and Picnic Pavilion

A check payable to the Town of Simsbury must accompany this **original signed and dated** application. **Five (5) complete sets of folded plans, one (1) completed application and correspondence including a project narrative** must be submitted.

Please send PDF digitals to jhollis@simsbury-ct.gov.


KJC May 7 2024

 Signature of Owner Date Signature of Agent Date

Telephone (860) 658-3245
Facsimile (860) 658-3206

www.simsbury-ct.gov

933 Hopmeadow Street
Simsbury, CT 06070

SREH

Simsbury Real Estate Holdings, LLC
140 Nod Road
Weatogue, CT 06089
kc@patusangroup.com

Talcott Mountain Ice Cream, LLC
dba **Two Sisters Ice Cream**

April 28, 2024

George McGregor, Director
Planning and Community Development
Town of Simsbury
Hopmeadow Street
Simsbury, CT 06070

RE: Submission of Plans for Replacement of Ice Cream Building (Two Sisters Ice Cream)

Dear George:

Attached please find plans for the replacement of the ice cream building at 140 Nod Road, now home to Tower Ridge Disc Golf and Talcott Mountain Collective. For approximately fifty years, a building was located on the southeastern section of the property on Nod Road. This building was approximately 3700 SF and housed bathrooms, locker rooms, a tennis pro shop, a grill and ice cream shop and a second-floor apartment. The building was razed and for the past two summers an ice cream business was part of the property, located on a portion of the old building foundation. The remainder of the foundation was utilized for a small pavilion and a patio. Based on the success of the venture and in support of the adaptive re-use of the club for Disc Golf, we have decided to build a new permanent building on a portion of the site of the previous one.

This building will be approximately 480 SF and will be seasonal; it will only be utilized for employees and to serve from with customers utilizing the adjacent patio and pavilion. The proposed hours of operation will be from 12:00 noon until 9:00 PM daily, from approximately May 15 through October 31.

We propose to use cedar shakes for the siding of the building, with an open post and beam gable overhang for customer protection from sun and rain. As shown in the attached western elevation, there are no windows visible from Nod Road.

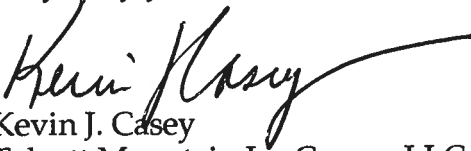
We propose utilizing this space for an iconographic identifier for the ice cream business. This would include two 6' ice cream cones, professionally created by a local artist, as shown on the architectural plan.

The roof shingles will match the other buildings on the property – a brown asphalt architectural shingle. The exposed post and beams will match the cedar stained beams of the pavilion and a nearby fence enclosure.

Along with the application we will provide samples of the roof and siding and paint swabs for door and trim colors at the meeting. Please place the project on the May 6, 2024 agenda for the Design Review Board and Zoning Commission.

Should you have any questions prior to the meeting, please don't hesitate to call me at 860-502-7600. Thank you for your consideration.

Very truly yours,



Kevin J. Casey
Talcott Mountain Ice Cream, LLC

c. Terri Hahn, LADA
Bret Bowin

LADA, P.C.

Land Planners Land Development Consulting, Site Planning, Landscape Architects, Planners, Corridor Studies, Visual Assessment, Environmental Impact Statements, Erosion Control Specialists, Streetscapes, Recreation, and Master Planning

May 7, 2024

Mr. George McGregor, AICP
Planning and Community Development Director
Town of Simsbury
933 Hopmeadow Street
Simsbury, CT 06070

RE: Two Sisters Ice Cream- Site Plan Amendment
Simsbury, CT

Dear Mr. McGregor

Two Sisters Ice Cream at Talcott Mountain previously submitted a site plan amendment application on May 1, 2024. Since that time, there have been a number of comments from various town departments which have resulted in revised plans and documents.

Comments:

Email from Mr. Joseph Hollis AZT

1. No dumpster shown on plan. Applicant should provide a waste removal plan whether that will be utilizing existing dumpster on site or proposing a new enclosure closer to the ice cream building.
Response: *There is an existing dumpster in the overflow parking lot (formerly the tennis courts) which is noted on the plans*

2. Plan calls for reuse of 4 existing light poles, 3 new pole fixtures and 5 building mounted lights. All lights should only be on during hours and off during the off season to reduce impact to the surrounding areas.
Response: *The pole and building lights will be controlled from inside the ice cream building and can be switched off when the employees leave after closing.*

3. No landscaping changes proposed
Response: No response required

4. Existing bituminous lot to be restriped showing 36 spaces at 9' x 18' and 2 handicap accessible spaces. Parking is adequate for the site as a whole.
Response: No response required

5. No Change in impervious surface

Response: No response required

6. The two ice cream displays are considered wall signs under the zoning regulations and need sign area details shown on the plan to determine compliance. The building frontage facing Nod Road (20') and the frontage facing the bituminous parking lot (24') are used in the total sign area calculation. The limit on total wall sign area for the Nod Road elevation is 13.25 sf meaning each ice cream sign cannot exceed 6.6sf. Design review should review the signage and building elevations.

Response: *At this time, the ice cream cones art have been removed. If the applicant decides to use them, a formal application will be made with all the required measurements and calculations.*

Email from Henry Miga, Building Official

1. The site plan details provided appear to meet State Building Code requirements to the extent that they are shown with minor exceptions that can be addressed prior to permitting the structure and handrails on the walk.

Response: The applicant reached out to Mr Miga for clarification and the plans now address those minor exceptions.

1a. It should be noted that there are three outstanding permits that have not been issued for structures that were constructed on the site pending site plan and zoning approval. Only one was constructed after an application was filed. The Building Department did several site visits to assure life safety concerns were met in that the facility was operating and in continuous use. It would seem prudent at this point to include all site improvements on a finalized site plan so we can issue and close all outstanding permit applications.

Response: *As requested by staff, the picnic pavilion at the Ice Cream Building has been added to the application. The other two buildings referenced were installed by the tenant who will submit a application for these structures at a later date.*

Email from Anthony Piazza, WPCA

1. This is outside the sewer service area. No comments from the WPCA

Response: No response required

Conversation with Planning Staff

1. Please enlarge the site plan and put on its own sheet.

Response: An additional plan has been added to the set as requested.

A digital copy and five paper copies of the following are attached:

1. Cover letter
2. Application for Site Plan Amendment
3. Site Plan (3 sheets) dated May 1 , 2024, last revised May 7, 2024
4. Plan and elevations for ice cream building
5. Photo Sheets/Presentation powerpoint

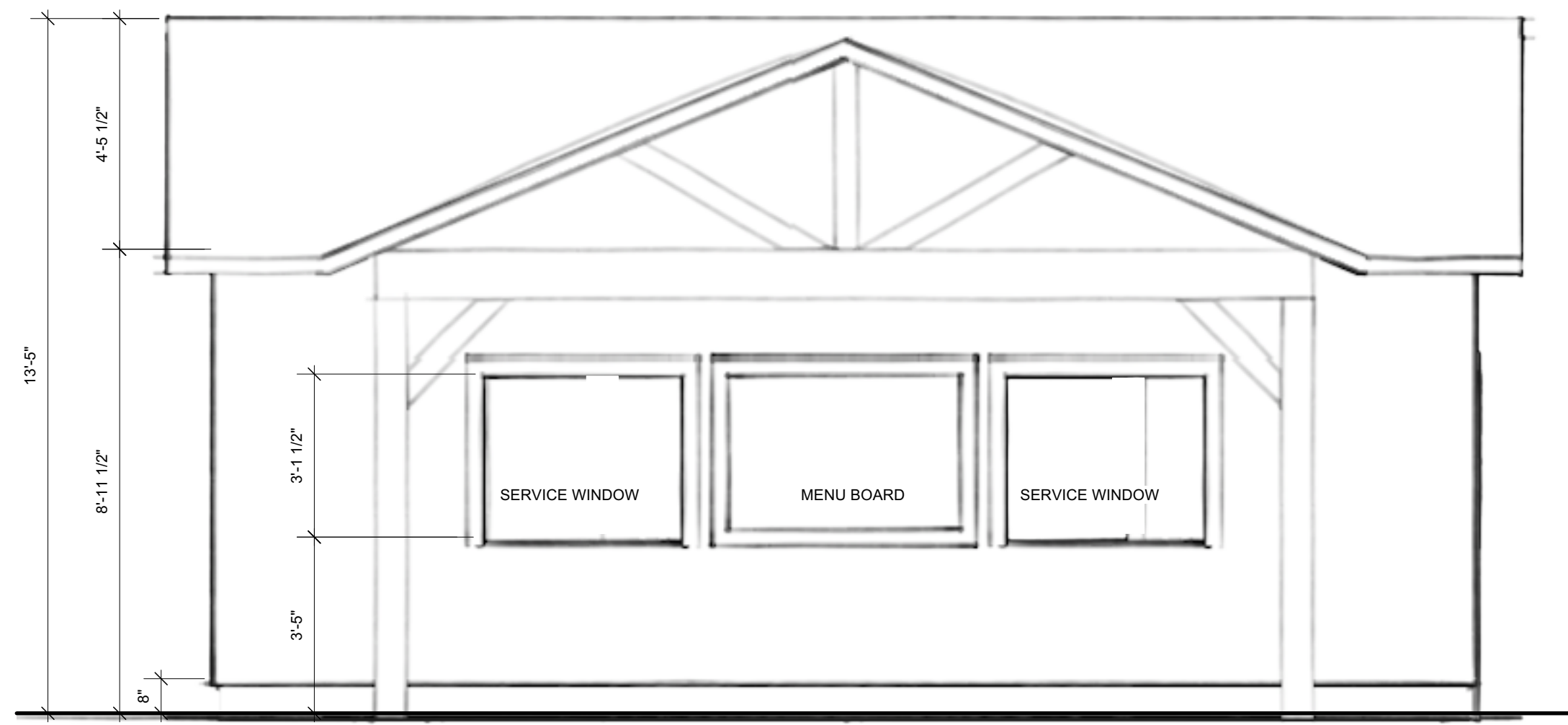
We look forward to review at both the Design Review Board and the Zoning Commission at the May 20, 2024 meeting. The applicant is very eager to get this project approved so they open around Memorial Day. Please let me know if you have questions.

Sincerely,

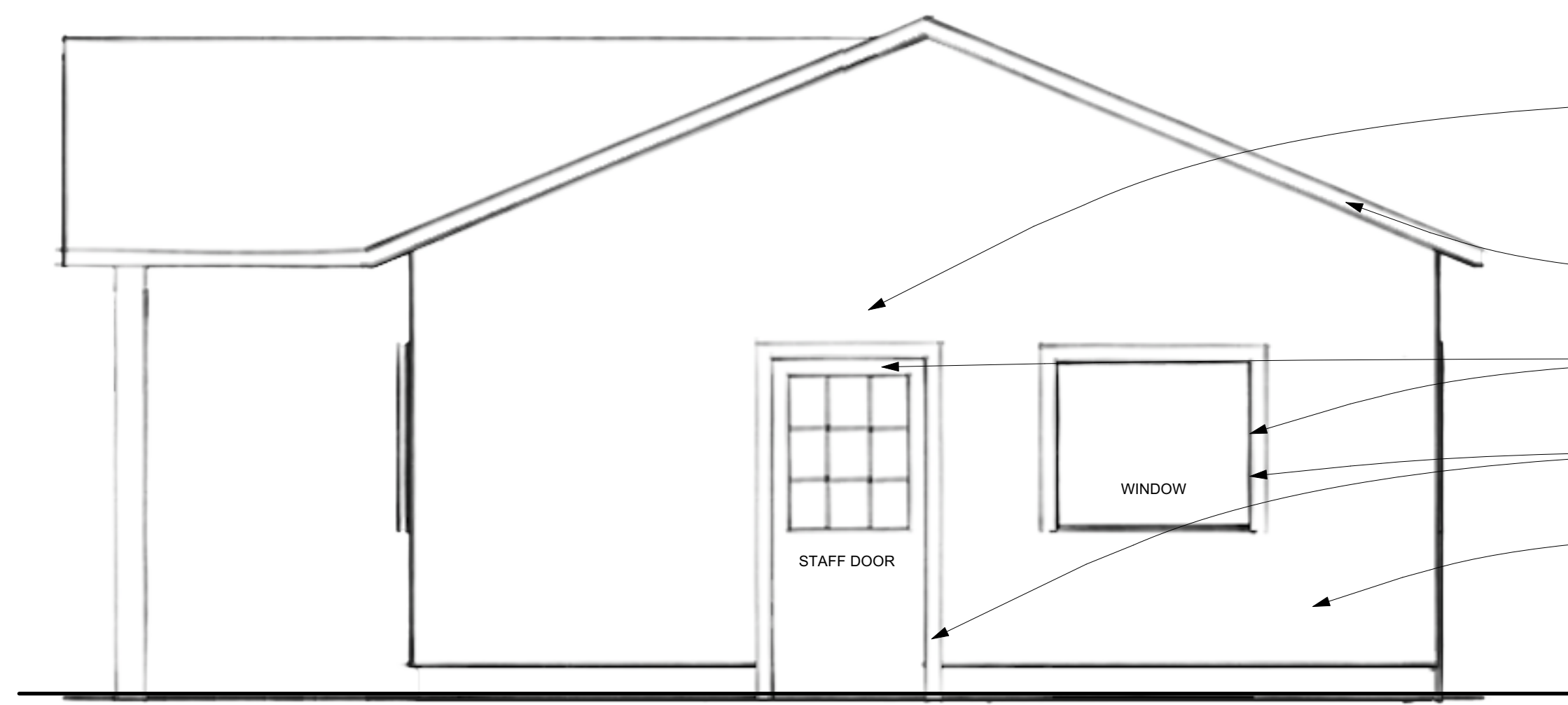
A handwritten signature in blue ink that reads "Terri Hahn, PLA". The signature is cursive and fluid.

Terri Hahn, PLA
Principal



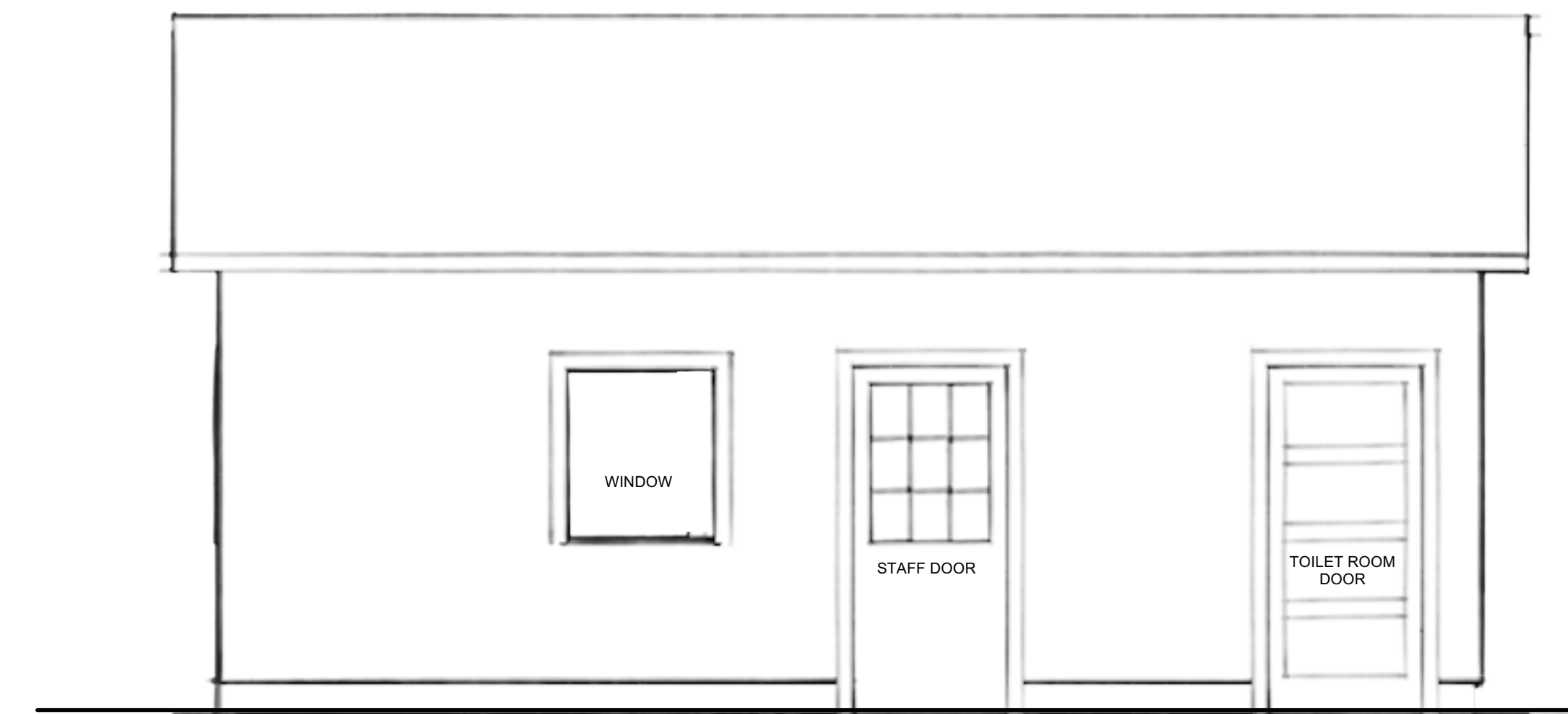


4 SOUTH ELEVATION
A1.0 Scale: 3/8" = 1'-0"

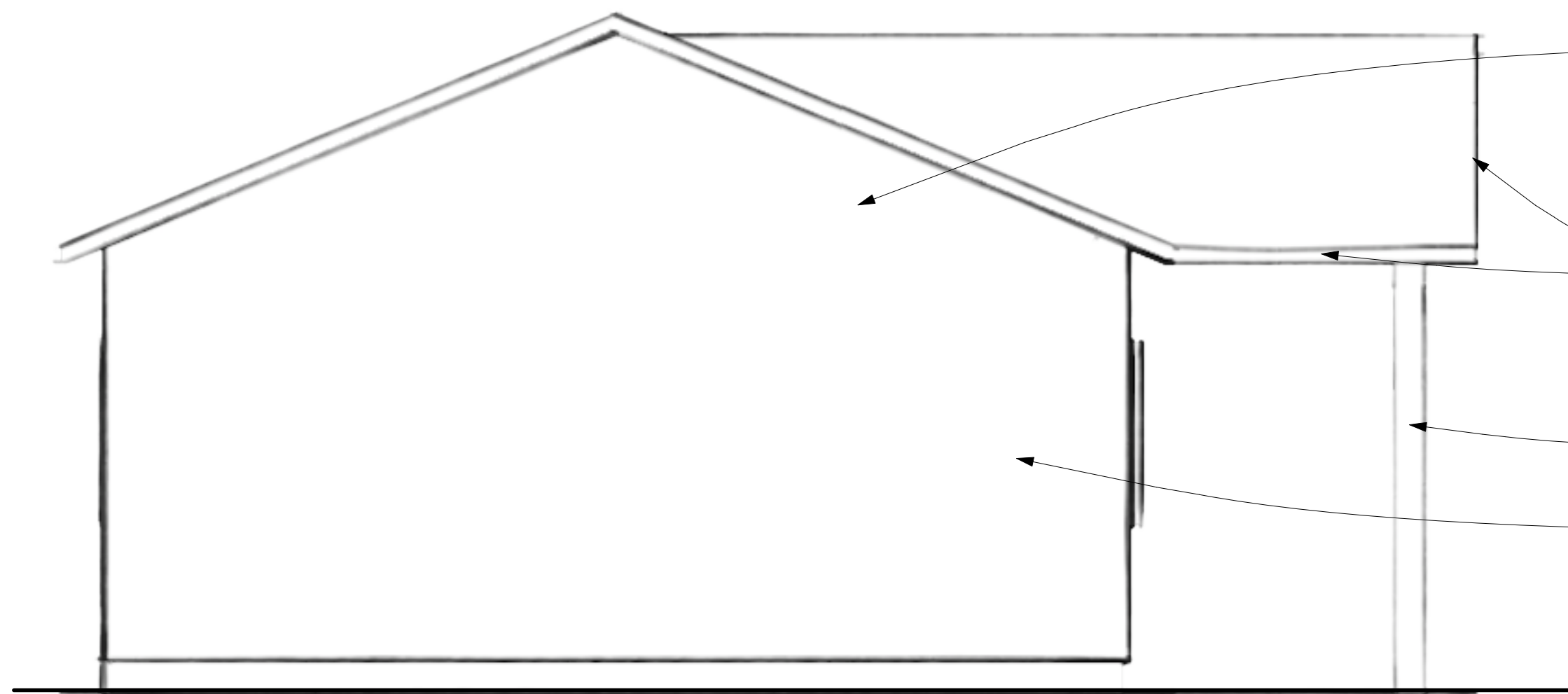


5 EAST ELEVATION
A1.0 Scale: 3/8" = 1'-0"

- ARCHITECTURAL WALL SCONCE:
WDGE3 LED, TYP.
- RAKE & EAVE TRIM
COLOR: CANCUN SAND, BENJAMIN MOORE # 2016-70
- DOORS & WINDOWS
COLOR: BRICKTONE RED, BENJAMIN MOORE #2005-30
- DOOR & WINDOW TRIM
COLOR: ABALONE, BENJAMIN MOORE # 2108-60
- CEDAR SHAKES WITH SEMI-SOLID STAIN
COLOR: BARK MULCH BY CABOT

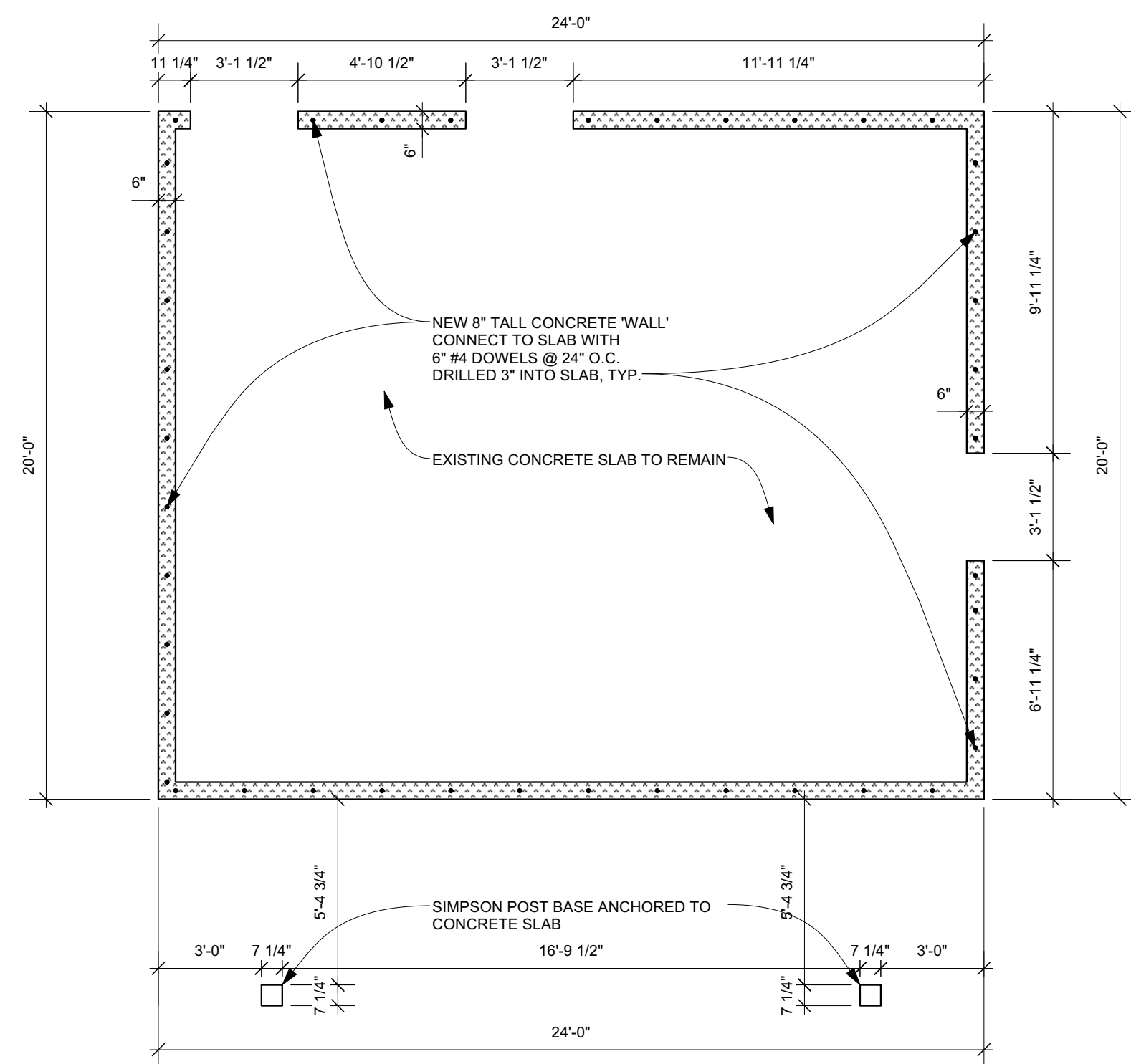


6 NORTH ELEVATION
A1.0 Scale: 3/8" = 1'-0"

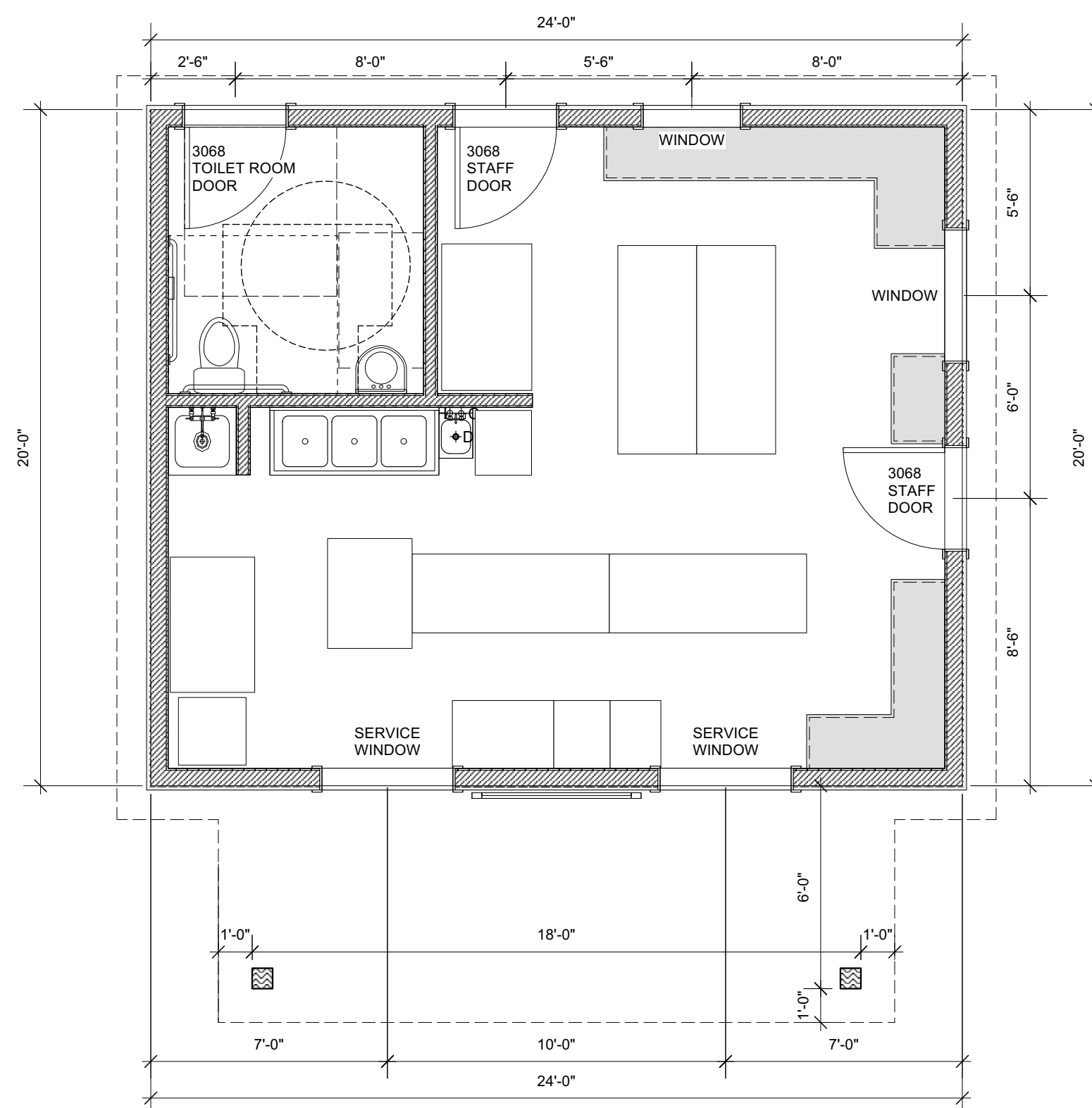


7 WEST ELEVATION
A1.0 Scale: 3/8" = 1'-0"

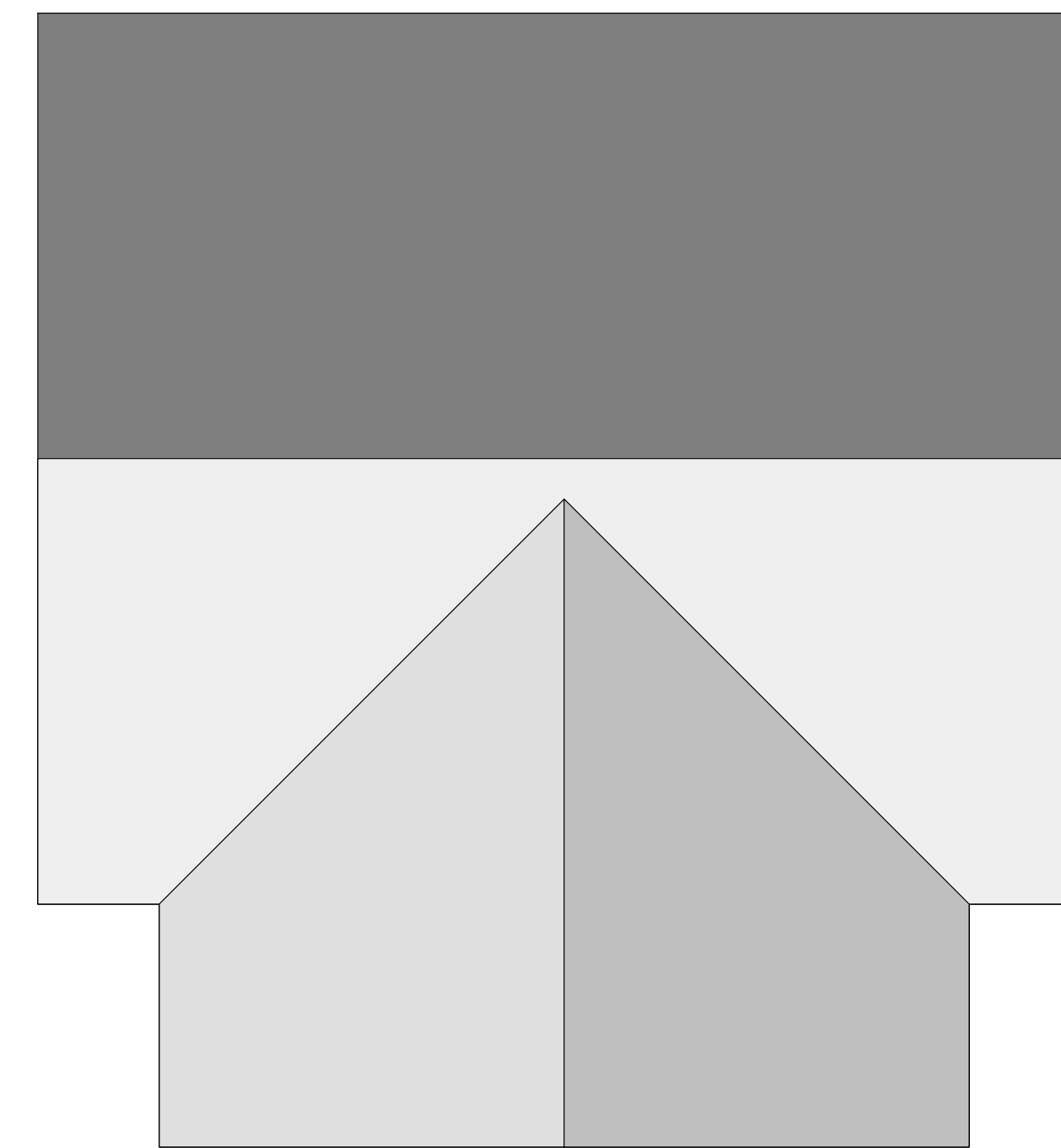
- ARCHITECTURAL WALL SCONCE:
WDGE3 LED, TYP.
- RAKE & EAVE TRIM
COLOR: CANCUN SAND, BENJAMIN MOORE # 2016-70
- POST & BEAM
COLOR: ABALONE, BENJAMIN MOORE # 2108-60
- CEDAR SHAKES WITH SEMI-SOLID STAIN
COLOR: BARK MULCH BY CABOT



1 FOUNDATION PLAN
A1.0 Scale: 1/4" = 1'-0"



2 FLOOR PLAN
A1.0 Scale: 1/4" = 1'-0"



3 ROOF PLAN
A1.0 Scale: 1/4" = 1'-0"



URFORM, LLC

Bret Bowin, Architect

bret@ur-form.com
860 922-8999

25 Westborough Drive
West Hartford, CT 06107

Talcott Mountain Ice Cream, LLC

ICE CREAM SHACK!
140 NOD ROAD
SIMSBURY, CT 06001

Revision	Date	Comment	By

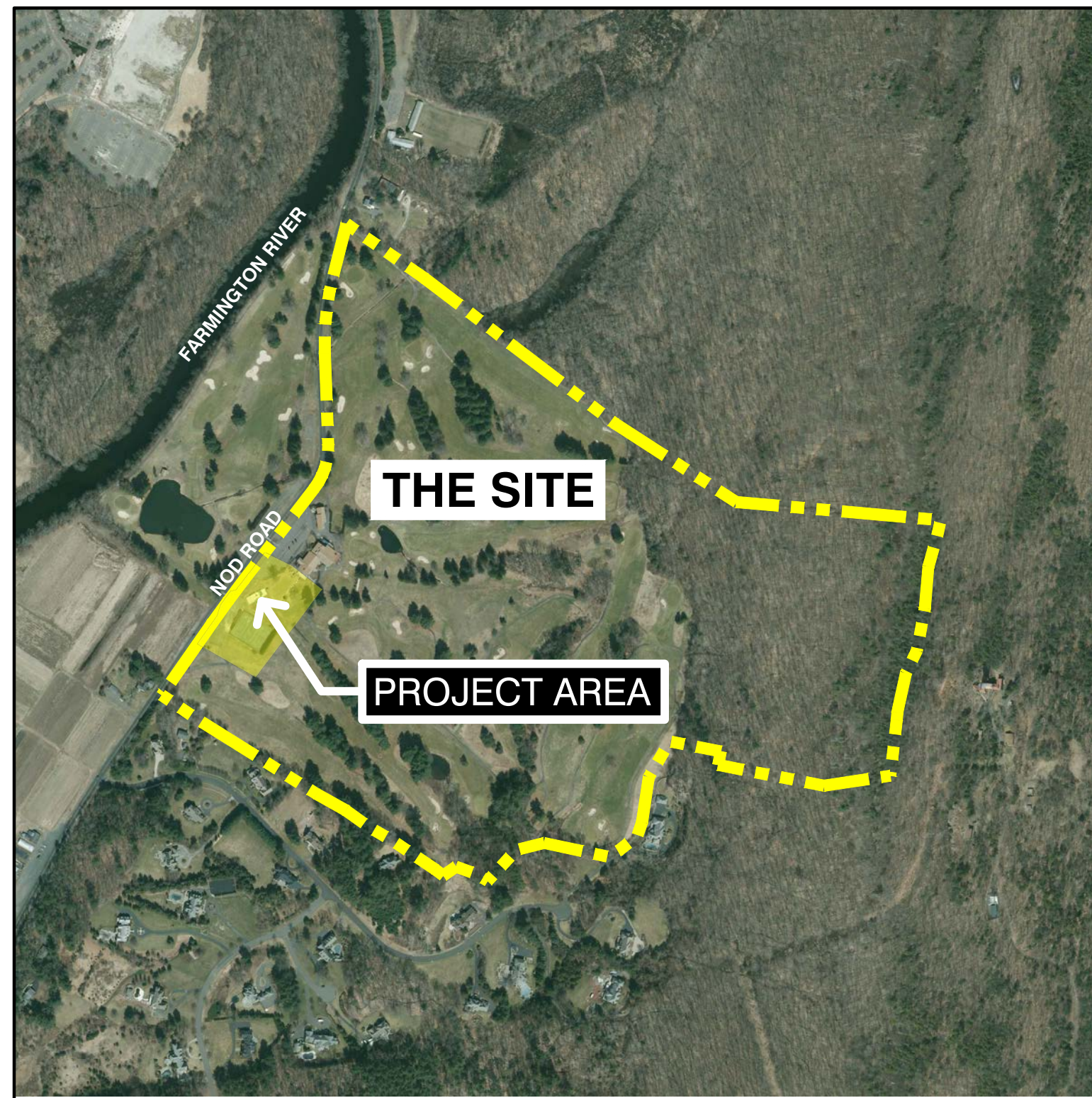


Owner
Talcott Mountain Ice Cream, LLC
140 Nod Road
Simsbury, CT 06001

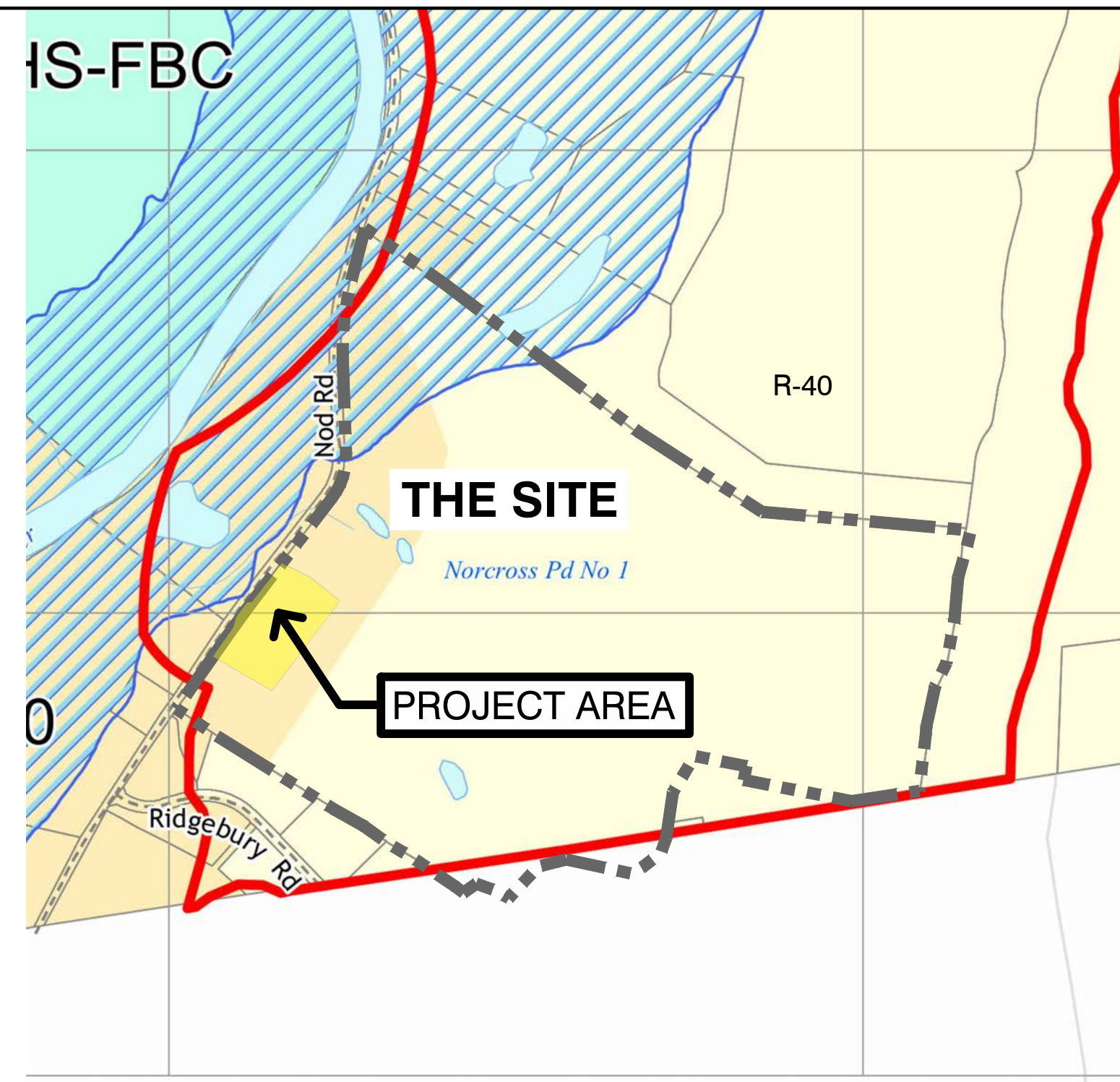
Project
Ice Cream Shack!
140 Nod Road
Simsbury, CT 06001

Drawing Title
PLANS & ELEVATIONS

Drawing No. A1.0 Issue 5/7/2024

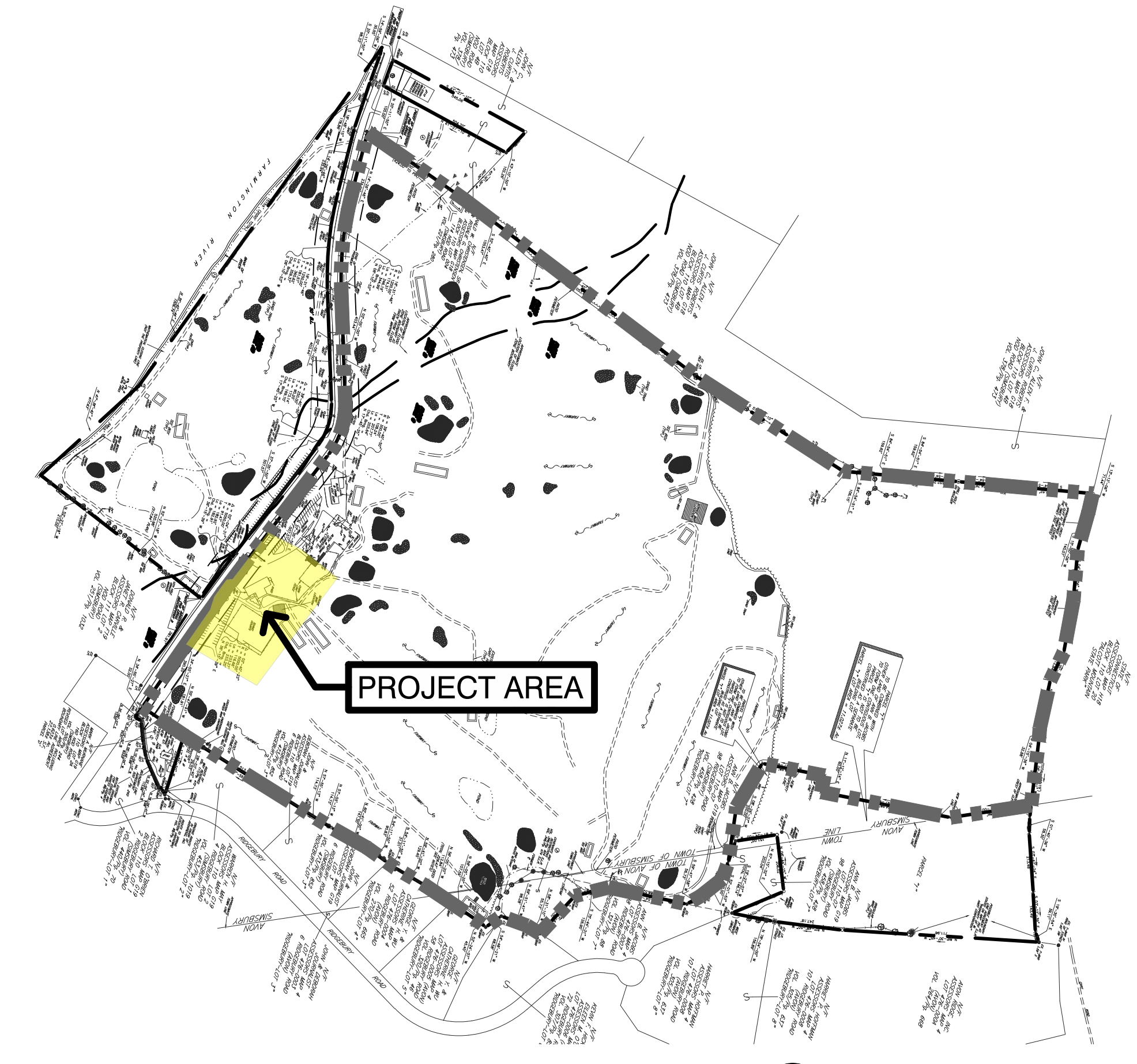


AERIAL PHOTO
SCALE: 1" = 600'



ZONING MAP
SCALE: 1" = 600'

- Legend**
- Level A
 - Farmington Valley Greenway
 - FP Flood Plain Overlay
 - AZ Apartment Zone
 - HS-FBC Hartford-Simsbury Form-Based Code
 - B1 Restricted Business
 - B2 General Business
 - B3 Designed Business Development
 - CZ Single Family Cluster Zone
 - HOD Housing Opportunity Development
 - WHOOZ Workforce Housing Overlay Zone
 - I1 Restricted Industrial - 10 Acres
 - I2 General Industrial
 - I3 Earth Excavation
 - PAD Planning Area Development
 - PO Professional Office
 - R15 Single Family Residence - 15,000 sq. ft.
 - R25 Single Family Residence - 25,000 sq. ft.
 - R30 Single Family Residence - 30,000 sq. ft.
 - R40 Single Family Residence - 40,000 sq. ft.
 - R40 OS Residential Open Space Subdivision
 - R80 Single Family Residence - 2 acres
 - R80OS Residential Open Space Subdivision
 - R160 Rural Residence - 4 acres
 - RD Designed Multiple Residence
 - SC Simsbury Center Zone



OVERALL SURVEY
SCALE: 1" = 400'

GENERAL NOTES:

1. ALL WORK IN PUBLIC STREETS TO MEET THE STANDARDS OF THE TOWN OF SIMSBURY
2. CONTRACT LIMIT LINE IS COINCIDENT WITH THE PROPERTY LINE OR AS OTHERWISE SHOWN ON SITE OR EXTENDED AS REQUIRED TO CONNECT TO UTILITIES OR OTHER IMPROVEMENTS SHOWN OFF SITE.
3. ALL DISTURBED AREAS NOT OTHERWISE IMPROVED SHALL BE COVERED WITH TOPSOIL AND SEEDED TO FINISHED LAWN.
4. THE CONTRACTOR SHALL INSTALL A CONSTRUCTION FENCE ALONG THE ENTIRE CONTRACT LIMIT LINE (C.L.L.) TO DEFINE THE EXTENT OF WORK AND TO PROTECT AREA OUTSIDE C.L.L. UNLESS OTHERWISE NOTED.
5. AERIAL PHOTO FROM CT ECO WEBSITE. IMAGERY FROM SPRING 2019.
6. SURVEY BY MESSIER & ASSOCIATES, INC., DATED 05/99.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE WORK LIMITS DUE TO CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL BLEND PROPOSED GRADES SMOOTHLY WITH EXISTING GRADES AND IMPROVEMENTS AT LIMITS OF WORK.
9. TOPSOIL SHALL BE INSTALLED TO A MINIMUM DEPTH OF 6" AND SEEDED ON ALL DISTURBED AREAS NOT DESIGNATED TO BE SURFACED OTHERWISE.
10. CONTRACTOR TO REMOVE ANY DEBRIS AND EXCESS MATERIAL OFFSITE.
11. EXISTING UNDERGROUND UTILITIES ARE UNKNOWN. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT SIZE, LOCATION, DEPTH AND INVERT OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO COMMENCING HIS OPERATIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS AND ARCHITECT FOR RESOLUTION.
12. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATION.
13. ALL WALKS HAVE 2% CROSS PITCH UNLESS OTHERWISE SHOWN.
14. ALL UTILITIES TO BE UNDERGROUND.
15. SIGNS (BUILDING & SITE) SHALL CONFORM TO THE ZONING REGULATIONS
16. CONTRACTOR TO HOLD A PRECONSTRUCTION MEETING WITH TOWN STAFF PRIOR TO START OF CONSTRUCTION TO DISCUSS EROSION CONTROL & CONSTRUCTION SEQUENCE.
17. CONTRACTOR IS RESPONSIBLE FOR CLEARING SILT FROM TEMPORARY SEDIMENT TRAPS, EXISTING & PROPOSED CATCH BASINS & YARD DRAINS. FINAL SLOPE STABILIZATION, REPLACE TOPSOIL, SEED & MULCH OF DETENTION BASINS PRIOR TO ANY REQUEST FOR A C.O.
18. THESE PLANS INCLUDE SITE IMPROVEMENTS AND UTILITIES ALREADY CONSTRUCTED. CONTRACTOR IS RESPONSIBLE FOR DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS AND SHOULD NOTIFY THE PROJECT LANDSCAPE ARCHITECT AND OWNER IF ANY DISCREPANCY IS IDENTIFIED.
19. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SILTY WATER LEAVES THE CONSTRUCTION AREA, EXCEPT TO TEMPORARY SEDIMENT TRAPS. CONTRACTOR MUST COMPLETELY CLEAN OUT (REMOVE ALL SEDIMENT AND FLUSH OUT) FROM CATCH BASINS, PIPES, INLET AND OUTLET STRUCTURES, ETC. FROM CONSTRUCTION SITE TO DISCHARGE POINT BEFORE LEAVING SITE.
20. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING EXISTING PAVEMENT AT THE END OF EACH DAY OR MORE OFTEN AS NEEDED AND BASED ON WEATHER DURING CONSTRUCTION.

GENERAL NOTES:

21. THIS SITE IS MONITORED FOR SILT AT ALL TIMES. RELEASE OF SILTY WATER FROM CONSTRUCTION AREAS WILL HAVE SIGNIFICANT IMPACTS INCLUDING THE POSSIBILITY OF FINES, CONTINGENCY MEASURES, AND VIOLATION OF PERMITS. CONTRACTOR IS RESPONSIBLE FOR ALL CONSEQUENCES DUE TO DISCHARGE OF SILTY WATER OR OTHER SUBSTANCES.
22. THE ENTIRE AREA SURROUNDING THE CONSTRUCTION SITE IS DEVELOPED. CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE THE IMPACT OF BOTH EXPECTED AND UNEXPECTED, POTENTIALLY DAMAGING, OR OTHER UNUSUAL WEATHER CONDITIONS. CLEAN UP IS THE RESPONSIBILITY OF THE CONTRACTOR. ANTICIPATION OF STORMS WILL REDUCE CLEANUP EFFORTS. ADDITIONAL HAYBALES, SILT FENCE, COCOLOGS, AND EROSION BLANKET SHALL BE MAINTAINED ON-SITE TO RESPOND TO UPCOMING WEATHER AT THE CONTRACTOR'S EXPENSE.
23. FINAL SLOPES MUST RECEIVE PERMANENT COVER WITHIN 48 HOURS. IF COVER TAKES LONGER THAN 1 DAY TO INSTALL, EXPOSED SOIL SHALL BE COVERED WITH TACIFIER VIA HYDROSEEDER. REAPPLY IF ANY AREAS ARE THEN DISTURBED.
24. WHERE PERMANENT COVER IS GRASS, HYDROSEED AND USE SEED MIX AS SPECIFIED. WHERE GRASS GROWTH IS NOT EFFECTIVE WITHIN 30 DAYS OF ORIGINAL APPLICATION, CONTRACTOR SHALL PROVIDE A SECOND APPLICATION IN ALL AREAS OF LIMITED GROWTH (AS DETERMINED BY LANDSCAPE ARCHITECT) WITHIN 10 DAYS OF DETERMINING IF NEED IS REQUIRED.
25. PROJECT IS SUBJECT TO APPROVALS FROM THE TOWN, AND IS SUBJECT TO INSPECTIONS THROUGHOUT CONSTRUCTION. PROJECT LANDSCAPE ARCHITECT AND TOWN TO REVIEW EROSION CONTROL THROUGHOUT CONSTRUCTION.
26. CONTRACTOR IS RESPONSIBLE TO CALL BEFORE YOU DIG (1800-922-4455) CONTRACTOR RESPONSIBLE TO IDENTIFY AND PROTECT EXISTING UNDERGROUND UTILITIES. NOT ALL EXISTING UTILITIES ARE SHOWN ON SURVEY OR PLANS. CONTRACTOR TO IDENTIFY ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
27. INTERMEDIATE RIPRAP (WITH FABRIC) ALL SWALES OVER 5%.
28. CONTRACTOR IS RESPONSIBLE FOR TOUCH UP (TOPSOIL, RAKING, SEED & MULCH) ANY AREAS WHERE EROSION OCCURS UNTIL THE LANDSCAPE ARCHITECT RECOMMENDS FINAL OWNER ACCEPTANCE.
29. WHERE SLOPES ARE LABELED: 3:1 SLOPE = HORIZONTAL : VERTICAL
30. CONCRETE WASHOUT TO BE DONE ONLY AT LOCATION PROVIDED BY OWNER.
31. ALL ISLANDS IN PARKING AREAS, ENTRANCE ROADS, ETC. TO BE SEEDED TO LAWN.
32. SUBSTITUTIONS MUST BE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
33. OWNER TO RESURFACE AND IMPROVE EXISTING WALKWAY TO ELIMINATE POTENTIAL TRIPPING HAZARDS ALONG ACCESSIBLE PATH AS PART OF REGULAR MAINTENANCE.

DRAINAGE NOTES:

1. CONTRACTOR SHALL BACKFILL WITH APPROVED SAND OR GRAVEL OVER TOP OF PIPE TO BOTTOM OF REQUIRED BASE OF PAVEMENT WHEN STORM LINES CROSS DRIVES AND PARKING.
2. STONE RIP RAP SHALL CONSIST OF SOUND, TOUGH, DURABLE ROCK, FREE FROM DECOMPOSED STONE OR OTHER DEFECTS IMPAIRING ITS DURABILITY. SIZE OF MATERIAL SHALL CONFORM TO GRADATION FOR INTERMEDIATE RIP RAP AS SPECIFIED BY CONNECTICUT STATE D.O.T.
3. FLARED END SECTIONS SHALL BE INSTALLED AT ALL OPEN ENDS OF STORM LINES UNLESS OTHERWISE SHOWN.
4. ALL GRATES, COVERS, AND DRAINAGE STRUCTURES SHALL MEET THE STATE CONNECTICUT D.O.T. REQUIREMENTS FOR MATERIAL AND CONSTRUCTION METHODS.
5. DEWATERING OF EXCAVATIONS IS THE CONTRACTORS RESPONSIBILITY. DEWATERING DISCHARGES MUST BE FILTERED AND CLEANED PRIOR TO DISCHARGE INTO THE EXISTING STORM WATER SYSTEM. DEWATERING OVER THE BANK IS NOT PERMITTED.

Drawing List

Sheet Number	Sheet Title
L-1	Cover
L-2	Site Plan
L-3	Details

**PRIOR TO START OF CONSTRUCTION
CALL 1-800-922-4455 BEFORE YOU DIG!**

Owner: Simsbury Real Estate Holdings, LLC
140 Nod Road
Weatogue, CT 06089

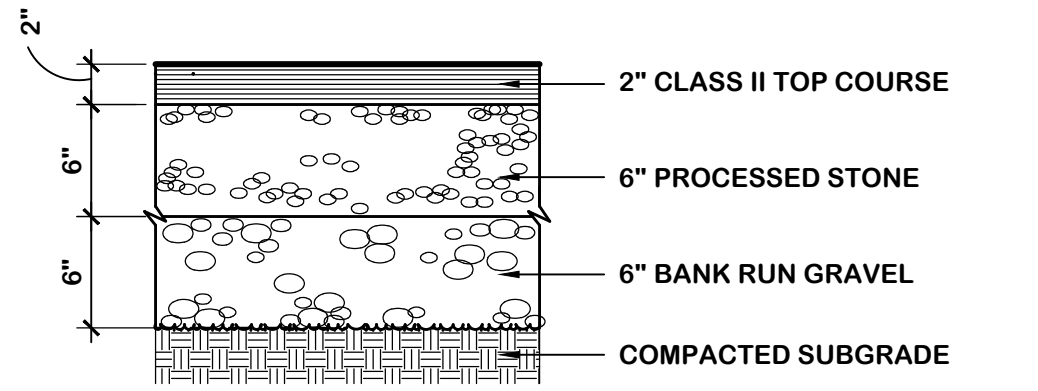
Applicant: Simsbury Real Estate Holdings, LLC
140 Nod Road
Weatogue, CT 06089

Date	Description	No.
05/07/24	Town Comments	1

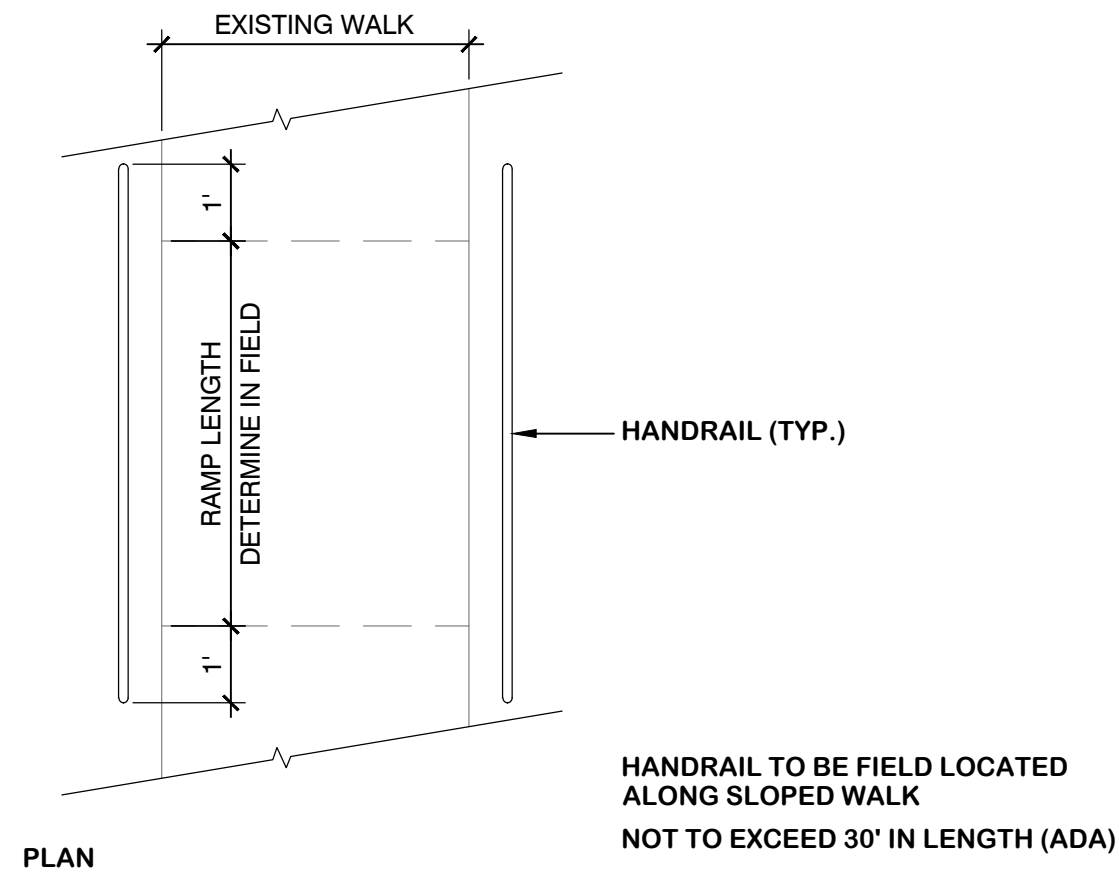
Cover
Site Plan Modification Application
Two Sisters Ice Cream at Talcott Mountain
140 Nod Road
Simsbury, CT

Project: 2412
Scale: As Shown
Date: 04/30/24
Drawn by: LADA
Checked by: TH
Drawing No. **L-1**

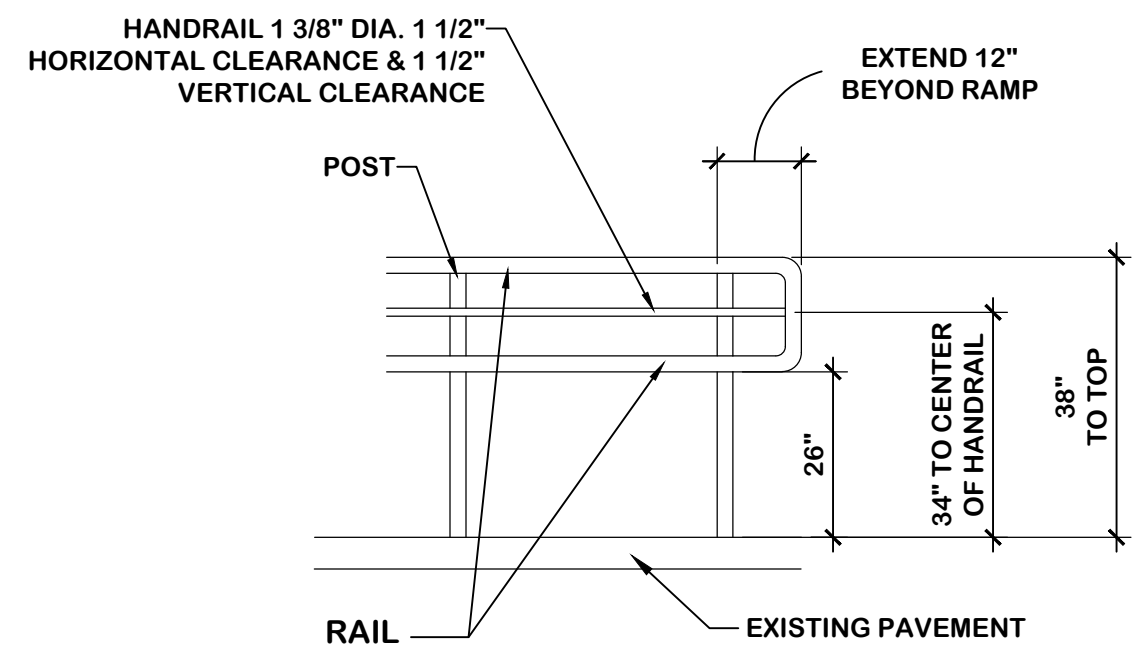
O:\CT\19\2412_lowes Ridge Mini Golf\DWG\2412_Site Plan Modification.dwg - 1 Cover\lada\May 9, 2024



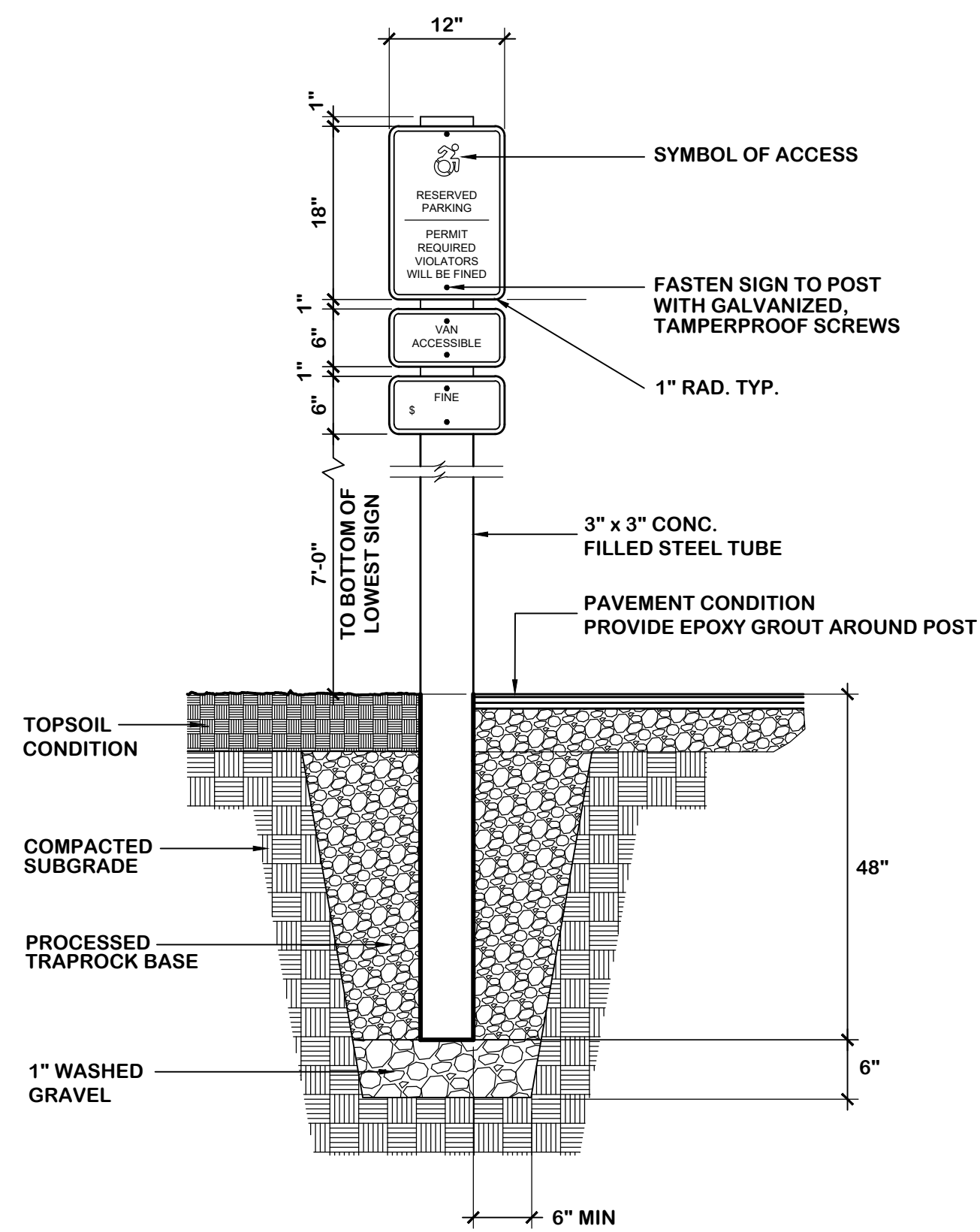
20A BITUMINOUS CONCRETE PAVEMENT
N.T.S.



HANDRAIL TO BE FIELD LOCATED ALONG SLOPED WALK NOT TO EXCEED 30' IN LENGTH (ADA)

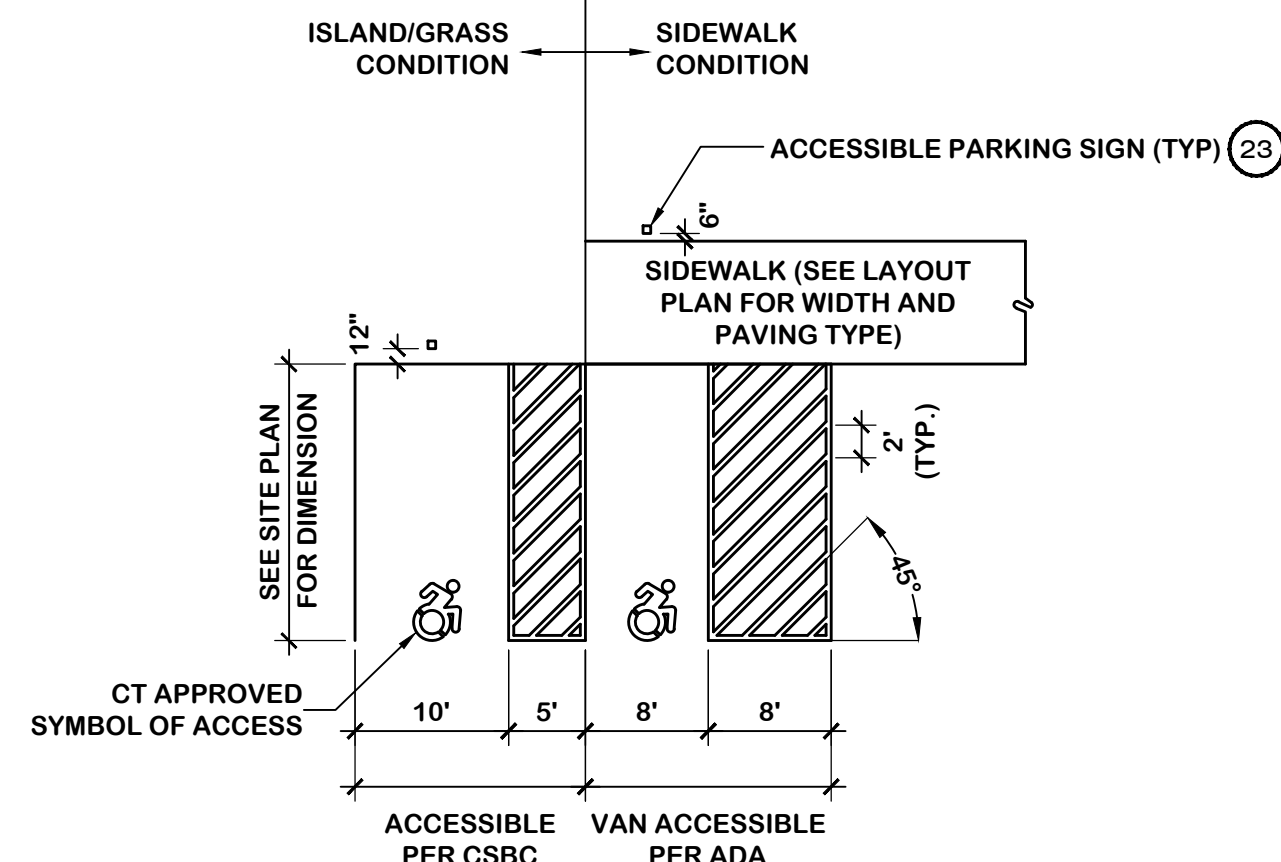


20A ARTICULATED HANDRAIL
N.T.S.



NOTES:
WORDING, HEIGHT & COLOR TO MEET ADA AND CONNECTICUT STANDARDS.
AMOUNT OF FINE TO BE DETERMINED AT DATE OF INSTALLATION.
"A" DETAIL - ACCESSIBLE SIGN ONLY
"B" DETAIL - ADD VAN ACCESSIBLE SIGN
FINE SIGN TO BE INCLUDED ON ALL POSTS

23 ACCESSIBLE PARKING SIGNAGE & TYPICAL SIGN MOUNTING
N.T.S.



NOTES:
• LINES TO BE 4" WIDE
• COLOR OF LINES TO MEET TOWN, STATE & ADA REQUIREMENTS.
• PROVIDE SIGN ON POST AT CENTER OF EACH ACCESSIBLE SPACE OR AS SHOWN ON SITE PLAN.
• SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
• ACCESS AISLES MAY BE SHARED BETWEEN TWO CAR SPACES OR TWO VAN SPACES.
• A CAR AND VAN SHALL NOT SHARE A COMMON ACCESS ISLE (2016 CSBC, SECTION 502.4.1)
• THERE SHALL BE ONE VAN FOR EVERY SIX PARKING SPACES AS PER 2016 CSBC, SECTION 1106.5

24 ACCESSIBLE PARKING SPACES
N.T.S.



76 EXISTING POLE MOUNTED LIGHT
N.T.S.

WDGE3 LED
Architectural Wall Sconce

Specifications
Depth (D1): 6"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs (without options)

WDGE LED Family Overview

Luminaire	Standard DR VTC	Color Temp.	Beam	W	H	D1	D2	W	H	W	H
WDGE2 LED	400	3000K	30°	12.00	3.00	6.00	1.50	18.00	9.00	18.00	9.00
WDGE2 LED	500	3000K	30°	12.00	3.00	6.00	1.50	18.00	9.00	18.00	9.00
WDGE2 LED	1500	3000K	30°	12.00	3.00	6.00	1.50	18.00	9.00	18.00	9.00
WDGE4 LED	400	3000K	30°	12.00	3.00	6.00	1.50	18.00	9.00	18.00	9.00

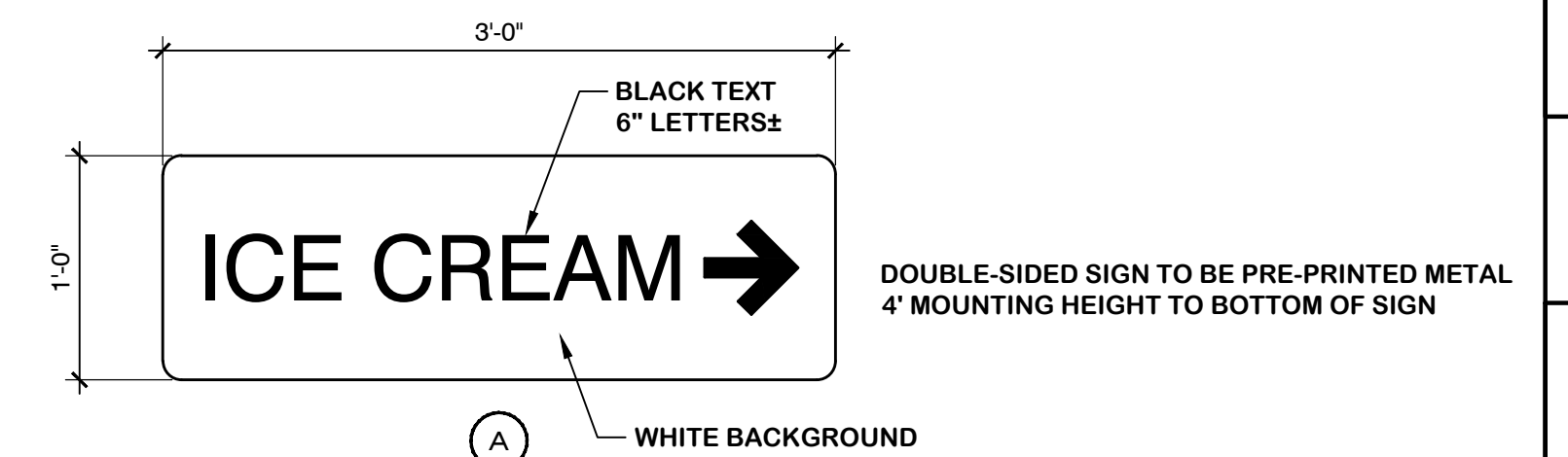
Ordering Information

Series	Package	Color Temperature	Beam	W	H	D1	D2	W	H	W	H
WDGE3 LED	P1	3000K	30°	12.00	3.00	6.00	1.50	18.00	9.00	18.00	9.00
	P2	3000K	30°	12.00	3.00	6.00	1.50	18.00	9.00	18.00	9.00
	P3	3000K	30°	12.00	3.00	6.00	1.50	18.00	9.00	18.00	9.00
	P4	3000K	30°	12.00	3.00	6.00	1.50	18.00	9.00	18.00	9.00

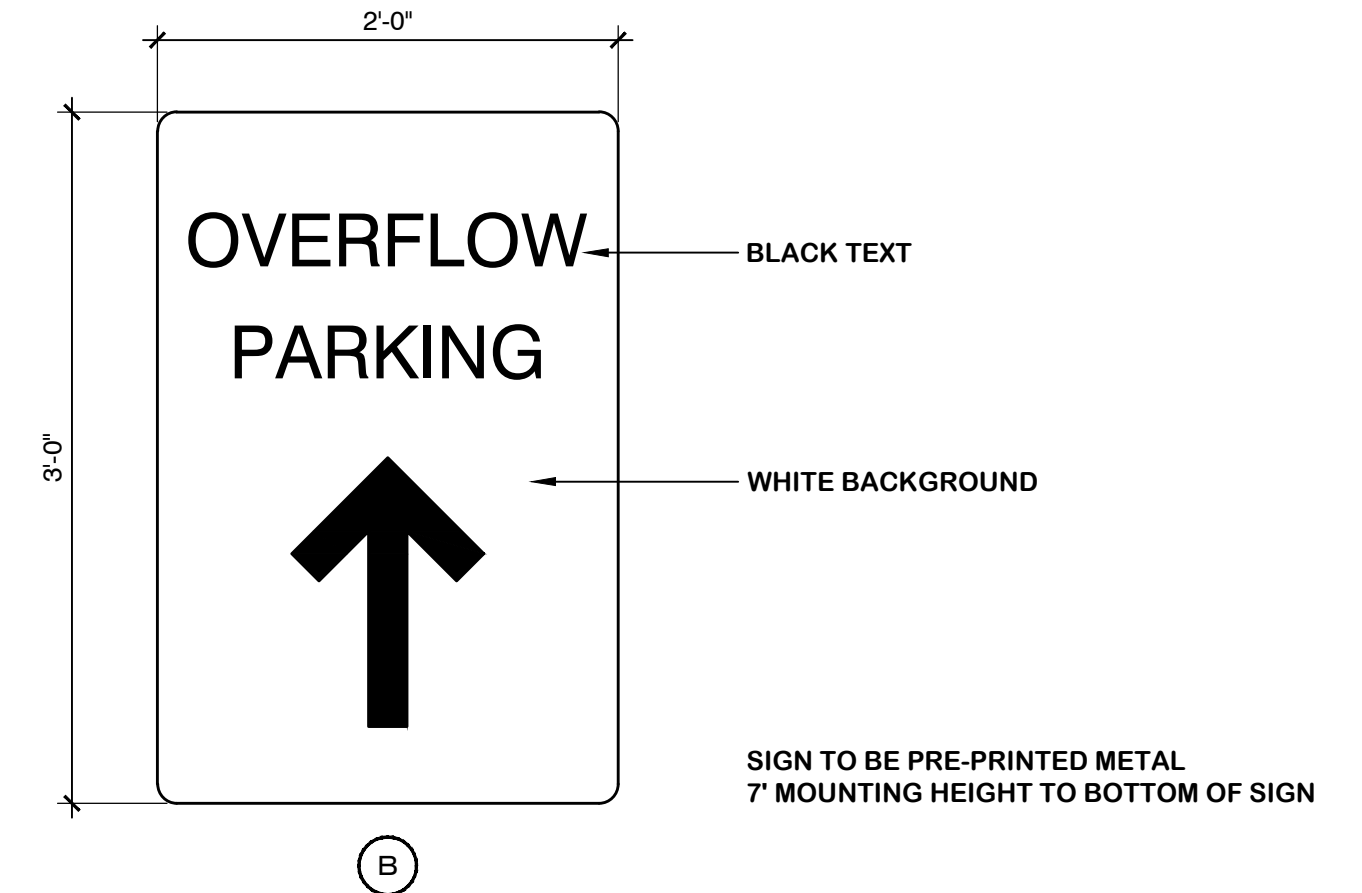
Accessories

- ESM91 Emergency battery backup, Certified in US
- ESM92 Emergency battery backup, Certified in US
- ESM93 Emergency battery backup, Certified in US
- ESM94 Emergency battery backup, Certified in US
- ESM95 Emergency battery backup, Certified in US
- ESM96 Emergency battery backup, Certified in US
- ESM97 Emergency battery backup, Certified in US
- ESM98 Emergency battery backup, Certified in US
- ESM99 Emergency battery backup, Certified in US
- ESM100 Emergency battery backup, Certified in US

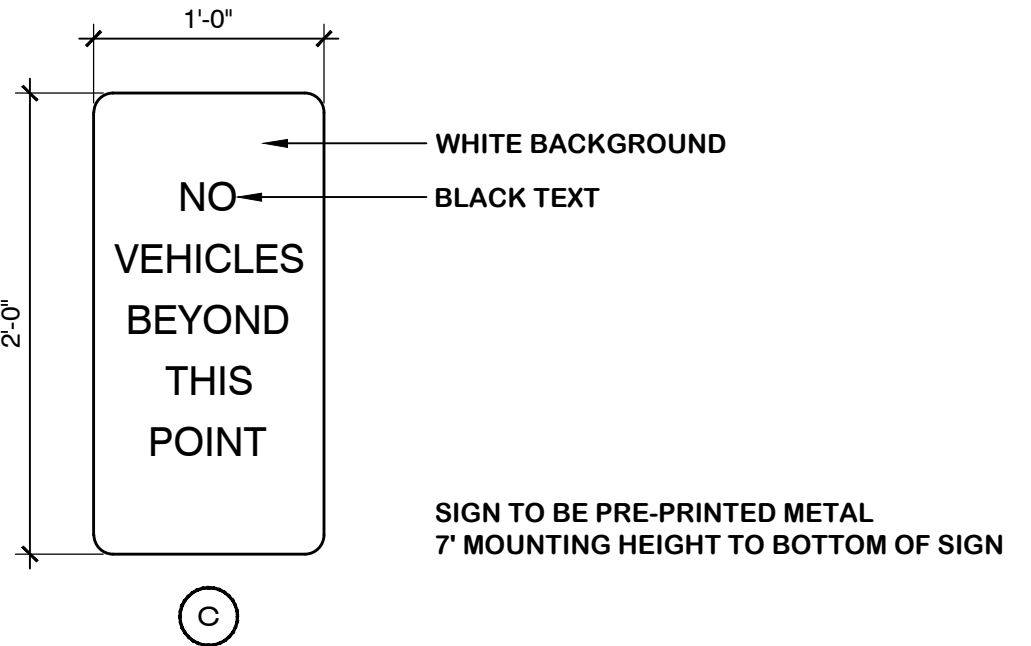
77 BUILDING MOUNTED LIGHT
N.T.S.



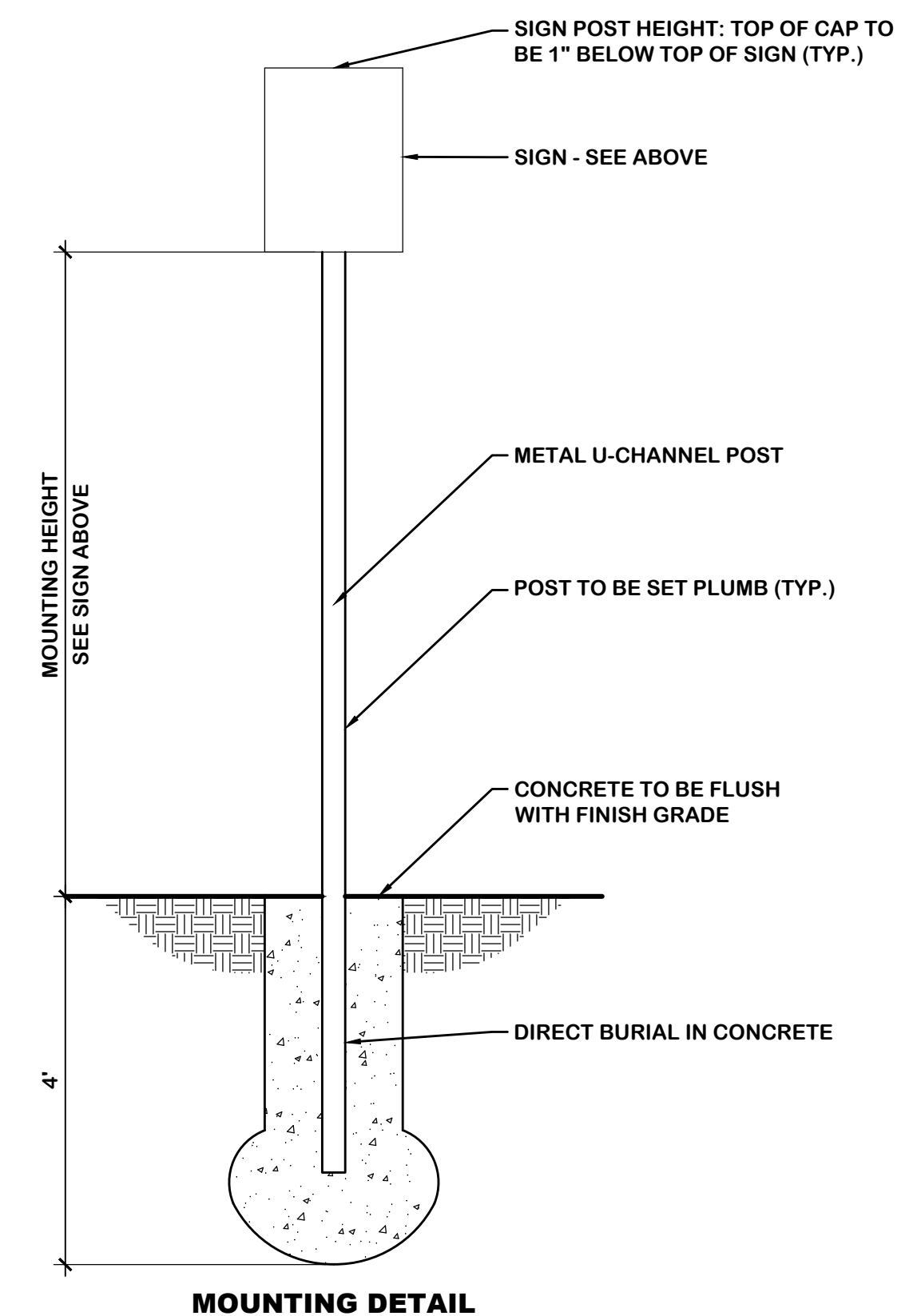
DIRECTORY SIGN



OVERFLOW PARKING



TRAFFIC SIGNS



MOUNTING DETAIL

86 SIGNS
N.T.S.

PRIOR TO START OF CONSTRUCTION CALL 1-800-922-4455 BEFORE YOU DIG!

Owner: Simsbury Real Estate Holdings, LLC
140 Nod Road
Weatogue, CT 06089

Applicant: Simsbury Real Estate Holdings, LLC
140 Nod Road
Weatogue, CT 06089

Date	Description	No.
05/07/24	Town Comments	1

Details
Site Plan Modification Application
Two Sisters Ice Cream at Talcott Mountain
140 Nod Road
Simsbury, CT

Project: 2412
Scale: As Shown
Date: 04/30/24
Drawn by: LADA
Checked by: TH
Drawing No: L-3